

# 2025 CRC SIGNIFICANT CHANGES

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# COURSE DESCRIPTION

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Stay ahead of the curve with the most significant updates coming to the 2025 California Residential Code (CBC). This two-hour webinar will explore the biggest forthcoming changes in the 2025 California Residential Code (CRC) and their implications for construction and design professionals. This webinar is essential for architects, engineers, builders, and code officials who need to stay ahead of the curve with the upcoming code changes. The most impactful changes in Chapters 1- 9 (Admin, Definitions and Building) of the 2025 CRC will be discussed. The session will cover the rationale behind these changes, real-world applications, and practical illustrations to help attendees navigate the new requirements effectively.

# OBJECTIVES

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1. Identify the changes between the 2022 and the 2025 CRC
2. Note if the revision is an addition, modification, clarification or deletion
3. Explain the intent behind the revision
4. Note the importance of each revision

## SECTION R102.7 WILDLAND URBAN INTERFACE CODE

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There is a new reference to Part 7 of Title 24 for the CA Wildland-Urban Interface Code.

This is the newest code in the CA suite of codes!

More on this when we get to Section R337.



## SECTION R103 CODE COMPLIANCE AGENCY

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This is really only a revision to recognize that many jurisdictions have different titles for the agency that issues building permits.

However, there is a blank field for inserting the actual name of the jurisdiction's agency that does issue permits, such as:

Building Department

Building and Safety Division of the Community Development Dept

Etc.....

# SECTION R104 ALTERNATE MATERIALS, METHODS AND DESIGNS

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Section has been reformatted for consistency within ICC code family

- Building Official responsibility for determining code compliance has been updated to address recent means of evaluating alternate materials, methods and designs.
- Four methods of determination of compliance are provided:
  1. Listed compliance Sec 104.2.1
  2. Technical assistance Sec 104.2.2
  3. Alternate materials, design and methods of construction and equipment Sec 104.2.3
  4. Modifications Sec 104.2.4

## SECTION R105.2 POOL BARRIER PERMITTING (2025 CBC)

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The 2025 CRC does not have a revision to this exemption.

However, the 2025 CBC does where swimming pool barrier fences are now not exempt from permit

Emphasizes the importance of proper pool barrier installation provided by fence height, opening size, climb-ability and gate controls.

Helps to ensure proper pool barrier installation thru plan review and inspection processes.

# CHAPTER 2 DEFINITIONS OF VARIOUS TYPES OF LOCKS (2025 CBC)

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The 2025 CRC did not add these definitions!

New definitions have been added in the CBC for Automatic Flush Bolt, Constant Latching Bolt, Dead Bolt and Manual Bolt.

A new CBC Table 1010.2.4 has been added with the conditions of use of these various bolted locks in specific occupancies.

# CHAPTER 3 REORGANIZATION

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Added two sections

Section R315 Sleeping Lofts

Section R320 Handrails

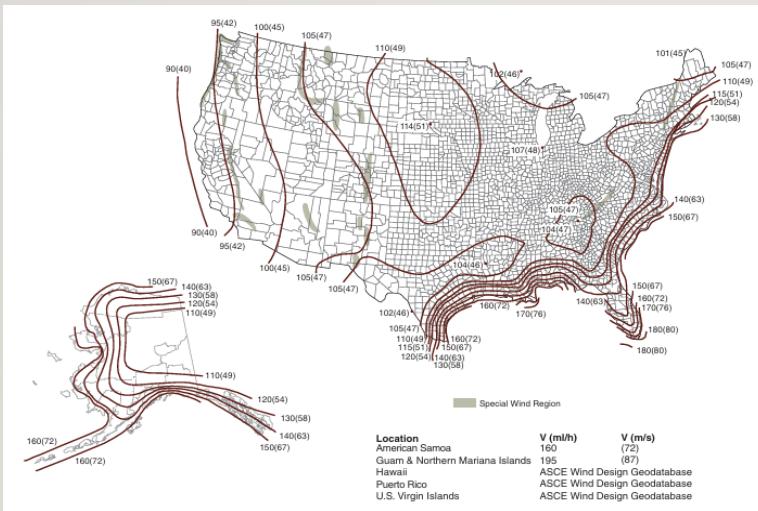
Then moved a number of sections around in Chapter 3.

- Structural/passive fire resistance in Sections R301 thru R307
- Active fire resistance in Sections R308 thru R311
- Rooms and other areas in Sections R312 thru R317
- Means of egress in Section R318 thru R321
- Accessibility/Elevators in Sections R322 and R323
- Home safety in Sections R324 thru R328
- Energy collection and storage in Sections R329 thru R332
- CA specific amendments in Sections R333 thru R340

## FIGURE R301.2 WIND SPEED MAPS - ASCE 7

The ASCE 7 Hazard Tool is allowed to be used to determine wind speeds.

Footnote 8 of the Wind Speed map refers to [Asce7hazardtool.online](http://Asce7hazardtool.online)



## SECTION R301.2.2.10 APPLIANCE SEISMIC RESTRAINT

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Provision has been expanded from just water heaters to all appliances and equipment that are designed to be fixed in place.

Four exceptions are provided:

1. Suspended ducts, conduit, automatic fire sprinklers and plumbing systems
2. Where an appliance bears on an elevated floor or roof and the housing height is not greater than 1.5 times the width of the house base in either direction.
3. Where the installed weight of suspended appliances or equipment is 50 lbs or less
4. Where the installed weight is 400 lbs or less and the bottom is 4 feet or less above the floor.

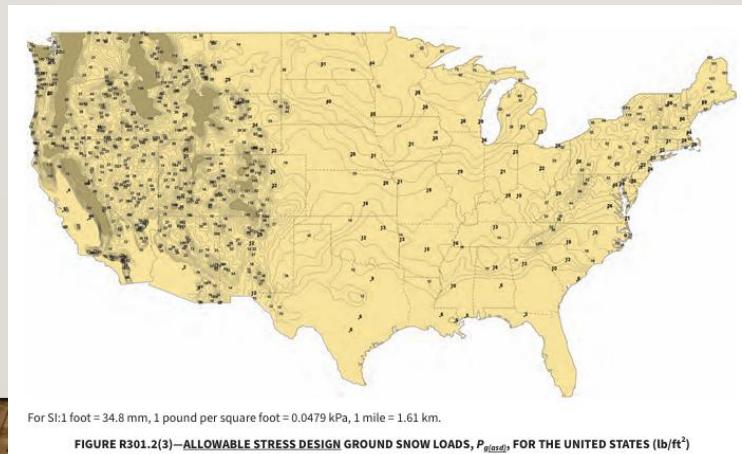
## SECTION R301.2.3 SNOW LOADS

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ASCE has updated their snow loads maps based on a new methodology.

The snow loads are higher but when applied in stress design, result in similar results in most areas of CA.

The CA State agencies are allowing specific site snow studies which will help.



## SECTION R302.1 EXTERIOR WALLS

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Fire separation distance issues with duplexes and townhouses on the same lot are addressed in much more detail now.

Previously, the code only addressed generically dwellings and accessory buildings on the same lot.

Also, exception 2 that exempts dwelling units and accessory structures has been revised to read “and accessory buildings.”

## SECTION R302.3 TWO-FAMILY DWELLINGS FIRE SEPARATION FIRE-RESISTANCE

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The fire-resistance of the separation between duplexes has been improved by expanding the criteria and creating several subsections for clarity.

A new sentence has been added indicating that the separation criteria in this section applies to duplexes whether a lot exists between the duplex units or not.

The continuity of the fire-resistance rated separations has been added in Section R302.3.3.

## SECTION R302.3.5 VERTICALLY STACKED DWELLING UNITS

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A new provision, when duplex units are stacked and an automatic sprinkler system is not provided in both units the following applies:

1. Horizontal and vertical assemblies separating the units, including interior stairways, shall be built to limit the movement of smoke and
2. A notification appliance shall be connected to smoke alarms in each unit

## SECTION R302.3.6 SHARED ACCESSORY ROOMS

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Duplexes can now share accessory rooms that are accessed from inside each dwelling.

The criteria mirrors attached garage separation criteria with the use of  $\frac{1}{2}$  inch gypsum board on vertical assemblies and  $\frac{5}{8}$  inch Type X gypsum for horizontal assemblies.

This term is intended for shared storage rooms, laundry facilities, etc. There is no limitation on the use inside the shared accessory rooms.

## SECTION R302.13 FLOOR PROTECTION

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A new exception 8 has been added for small detached accessory buildings (<600 sq ft in area) with no habitable space above the floor.

# SECTION R303 FOAM PLASTIC

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A new ICC Standard for Spray-applied Polyurethane Foam Plastic Insulation has been added.

There are 3 ASTM standards new to the CRC for Foam Plastic Insulating Sheathing

**TABLE R303.1.2** Material Standards for Foam Plastic Insulating

## Sheathing

<u>Foam Plastic Insulating Sheathing</u>	<u>Material Standards</u>
<u>Expanded Polystyrene (EPS)</u>	<u>ASTM C578</u>
<u>Extruded Polystyrene (XPS)</u>	<u>ASTM C578</u>
<u>Polyisocyanurate</u>	<u>ASTM C1289</u>

## SECTION R310 SMOKE ALARMS

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The location criteria for smoke alarms has been updated to include Sleeping Loft locations. Also, a new reference for smoke alarms to be installed per its listing and meet manufacturer's installation instructions has been added.

The installation near cooking appliances has been changed to be within 10 feet of permanently installed cooking appliances.

## SECTION R315 SLEEPING LOFTS

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New criteria added to address sleeping lofts that are not considered an additional story.

Sleeping lofts comply with the following:

1. Floor area shall be less than 70 sq ft in area and
2. Ceiling height shall not exceed 7 feet for more than  $\frac{1}{2}$  of the sleeping loft floor area.

There is criteria added allowing either reduced stairway criteria or ladders to provide egress.

## SECTION R317.6 EV CHARGING

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Charging stations for electric vehicles are required now to be installed by the CEC, listed and labeled per UL 2022 and supply equipment listed and labeled by UL 2594 per CalGreen.

## SECTION R317.7 AUTOMOTIVE LIFTS

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A new standard is provided for the installation of automotive lifts in uses covered by the CRC.

ALI ACTV is the new listing and labeling standard.

This has been a question for some time in such residential uses.

Interesting condition, such auto lifts shall not be installed in the habitable space of dwelling units.

## SECTION R318.7.6 STAIR LANDINGS

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All stairway landing exceptions have been combined into one section now.

4 exceptions listed:

1. No required landing at the top of interior stairways with a door opening away
2. One 7-3/4 inch step down landing
3. No top landing at the top of exterior stairways with a door opening away
4. For exterior stairways again, with 3 or fewer risers serving a deck, porch or patio so long as the stairway is not serving the main egress door.

## SECTION R320 HANDRAILS

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The handrail criteria has been relocated into its own section, Section R320.

The handrail height and alternating tread device requirements are included.

Handrail returns now have a requirement that they don't form a gap more than a  $\frac{1}{4}$  inch from the adjacent wall.

# SECTION R323.I.I ELEVATORS AND PLATFORM LIFTS

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Private residence elevators have been added in the CRC. The referenced standard is ASME A17.1

Section 5.3 of ASME A17.1 regulates private residence elevators.

Hoistway and opening protection criteria is found in Sections 5.3.I.1 and 5.3.I.8 of the standard.

# SECTION R325 LIGHT, VENTILATION AND HEATING

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The criteria has been relocated to this section and separated for ease of use.

Natural Light – Section R325.1.1

Natural Ventilation - Section R325.1.2

Adjoining Rooms – Section R325.1.3

## SECTION R329 SOLAR ENERGY (BIPV)

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Building Integrated Photovoltaic systems (BIPV) criteria has been added.

The hazardous areas shall be marked to identify approved locations for ladder placement and shall be approved by the fire code official.

An exception is provided for those BIPV systems that are listed in accordance with UL 3741. This exception recognizes that the standard allows for removal or cutting of BIPV system areas without exposing the fire fighters to harm.

## SECTION R329 SOLAR ENERGY (BIPV)

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Elevated PV support structures both as accessory structures are addressed. If used on a building shall be considered as a roof for number of stories and fire separation distance determinations.

PV panels install over an open grid framing system or noncombustible deck and over roof assemblies are also added to the code.

## SECTION R330 ENERGY STORAGE SYSTEMS

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The CA State Fire Marshal is repealing existing CA amendments to allow for ESS to be in utility closets that open to the dwelling unit.

There is now opening protection criteria similar to the garage to dwelling unit opening criteria.

Openings shall be self latching and provided with a self- or automatic closer.

Doors shall be 1-3/8 inch solid wood, solid or honeycomb-core doors or a 20-minute FRR door.

# SECTION R337 CA WILDLAND URBAN INTERFACE CODE

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All the WUI criteria has been removed in favor of a reference to Title 24, Part 7 CA Wildland Urban Interface Code (CWUI).



# TABLE R403.1.2 CONTINUOUS FOOTINGS IN SDC D

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Criteria has been added for buildings with a plan dimension greater than 50 feet and 3 stories in height. It requires interior continuous footings for required interior braced wall lines.

**TABLE R403.1.2** Continuous Footing Requirements in Seismic Design Categories  $D_0$ ,  $D_1$  and  $D_2$

<u>Building Plan Dimensions</u>	1-Story						2-Story						3-Story	
	50 feet or less			> 50 feet			50 feet or less			> 50 feet			Any	
<u>SDC</u>	$D_0$	$D_1$	$D_2$	$D_0$	$D_1$	$D_2$	$D_0$	$D_1$	$D_2$	$D_0$	$D_1$	$D_2$	$D_0$	$D_1$
<u>Continuous footings supporting exterior walls</u>	<u>Required</u>			<u>Required</u>			<u>Required</u>			<u>Required</u>			<u>Required</u>	
<u>Continuous footings supporting required interior braced wall panels</u>	<u>Not Required</u>			<u>Required<sup>a</sup></u>			<u>NR</u>	<u>NR</u>	<u>R<sup>a</sup></u>	<u>Required<sup>a</sup></u>			<u>Required</u>	

## SECTION R502.11 GUARD POST ATTACHMENT

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Detailing the bracing of floors when attaching a guard system is addressed much more specifically now.

A new term “Roll brace” or “Roll bracing” is introduced.

## SECTION R506.2 POST-TENSIONED SLAB-ON-GRADE FLOORS

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A new reference standard has been added for prescriptive design of post-tensioned slab-on-grade floor systems.

This standard, PTI DCI0.5-2019, is allowed for both stable and expansive soils conditions.

## SECTION R506.3.3 VAPOR RETARDER THICKNESS

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The thickness of required under slab vapor retarders has returned to 6 mil from 10 mil.

This thickness was found to be appropriate for residential construction.

## SECTION R507.5 DECK BEAMS

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The deck beam table has been updated.

New options have been added for deck joist spans and cantilevered beams.

The code still uses built-up beams using 2X members.

## SECTION R507.5.1 DECK BEAM BEARING

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The code has been clarified to require all plies (2X members) of beams to be continuous from support to support and to be supported by either a post or wall element.

Cantilevered beams are allowed to prescriptively extend beyond supports by  $\frac{1}{4}$  of the actual beam span.

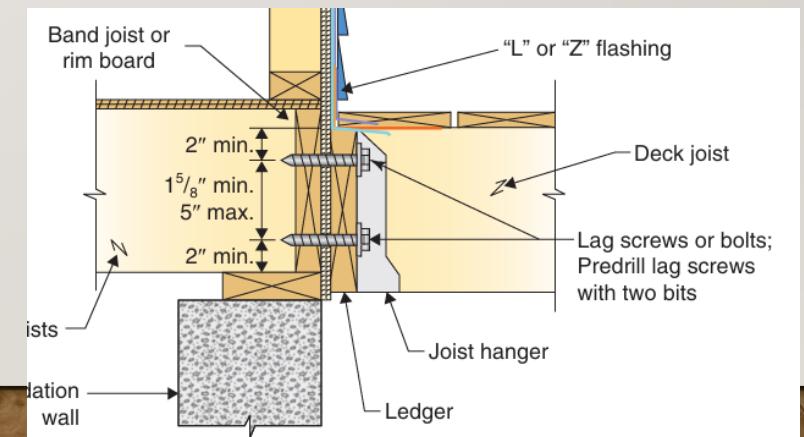
# SECTION R507.9.1.3 LEDGER TO BAND JOIST DETAILS

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The holes for ledger attachments to band joists have very specific drilling details now.

Holes for  $\frac{1}{2}$  inch lag screws shall be predrilled using two drill bits. A half-inch hole is drilled into the ledger and a smaller hole, of  $\frac{5}{16}$ - to  $\frac{3}{8}$ -inch is drilled through the band joist the ledger is attaching to

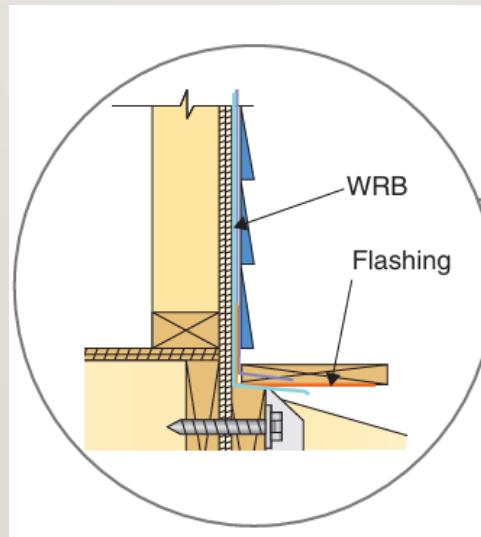
Interesting criteria



## SECTION R507.9.1.5 DECK LEDGER FLASHING AND WRBS

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Much more specific requirements for flashing details at ledgers has been added. WRBs are required behind the ledger and flashing now. Installs on existing walls addressed too.



## SECTION R602.10.2.2 BRACED WALL PANELS

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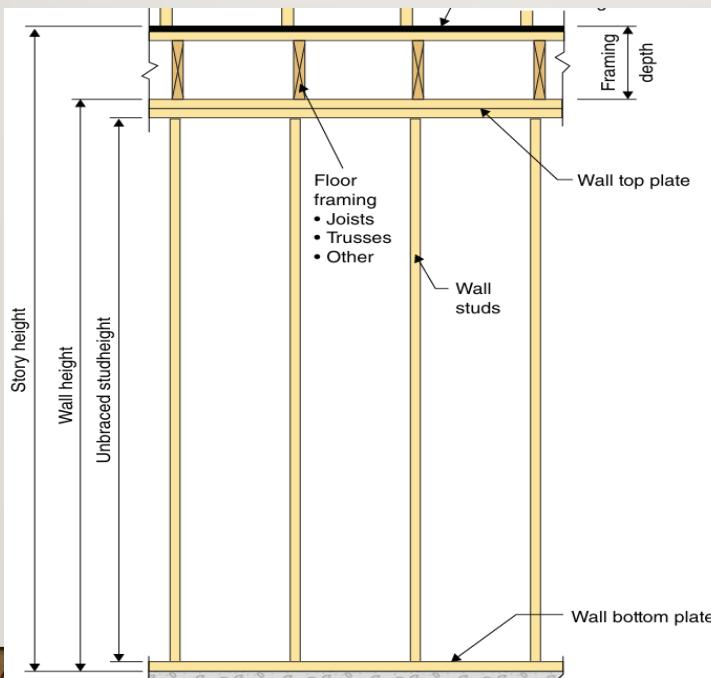
The figure showing the location of braced wall panels has been clarified.

The braced wall panels now have to be located within 10 feet of the end of braced wall lines, not begin at that point.

# SECTION R602.3.1 WALL HEIGHT

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Wall height is clarified that it is the vertical distance from the lower edge of the bottom plate to the upper edge of the upper top plate.



## SECTION R602.10.6 LENGTH OF PORTAL FRAMES

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The length of determining braced wall panel spacing has been clarified.

The end of the of Methods PFH, PFG and CS-PF is defined as the end of the header.

## SECTION R703.2 WATER-RESISTIVE BARRIERS (WRBS)

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The continuity of WRBs has been expanded to extend behind deck ledgers as well as exterior wall veneer.

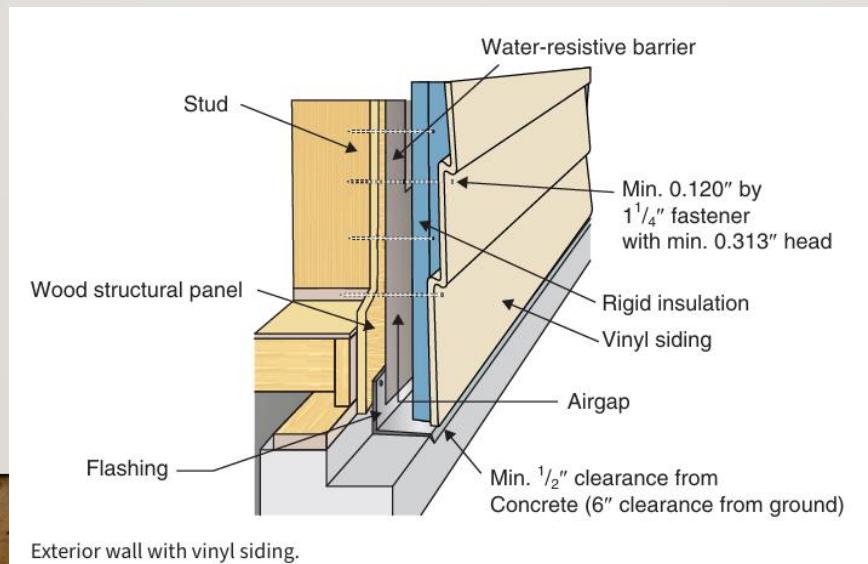
A new pointer for continuous air barriers and foam plastic insulation sheathing as WRBs.

An exception has also been added for unconditioned detached tool sheds, etc.

# SECTION R703.3.1 AND R703.3.4 EXTERIOR WALL CLADDING CLEARANCES

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Unless specified by the cladding manufacturer, polypropylene, insulated vinyl and vinyl claddings shall have a clearance of 6 inches from ground and at least  $\frac{1}{2}$  inch from other adjacent surfaces such as decks, roofs and slabs.



## SECTION R703.4 FLASHING

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The application of flashing has been clarified by clarifying that overlapped flashing shall be installed shingle style.

## SECTION R703.7.3 WATER-RESISTIVE BARRIERS BEHIND STUCCO

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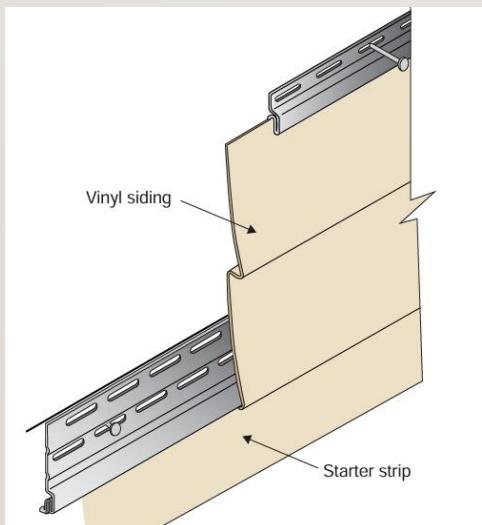
A new exception to eliminate the installation of WRBs been added where construction is not subject to the accumulation, condensation or freezing of moisture when it won't damage the stucco.

# SECTION R703.11 AND R703.14 VINYL AND POLYPROPYLENE SIDING

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The criteria for vinyl and polypropylene siding has been updated and clarified.

The requirements for starter strips and openings at edges have been added.



## SECTION R703.18 FIBER-MAT REINFORCED CEMENTITIOUS BACKER BOARD

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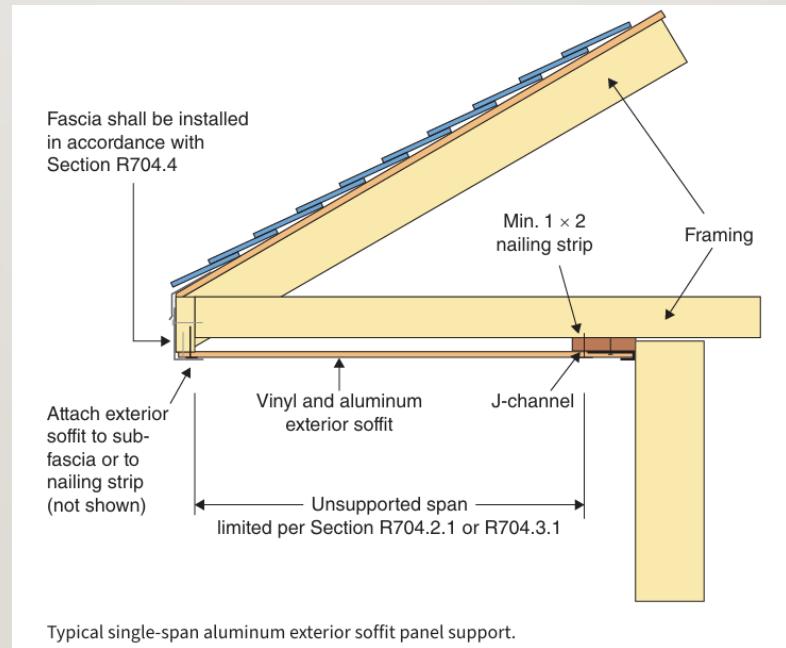
The use of these backer boards has been added for exterior wall applications.

They shall comply with ASTM C1325 and the manufacturer's installation instructions. Corrosion-resistant backer units are required for installation.

# SECTION R704 EXTERIOR SOFFITS AND FASCIA

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The criteria for fascia is split between wind speeds of 30psf or less and when it exceeds 30 psf.



# CHAPTER 9 ROOFING

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There have been many revisions in this chapter due to industry updates.

The term “Roof covering” and “Roofing” have been updated to “Roof Assembly” in many locations.

BIPV roofing has been updated as well with a wind resistance standard, UL 7103, referenced.

# CHAPTER 9 ROOFING

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More specific information for wind resistance has been added for concrete and clay tile, mineral-surfaced roll and slate shingle roofing.

Lastly, self-adhering underlayment may be left in place for reroofs, under specified conditions.

# CHAPTER 9 REROOFING

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Reroofing over an existing roof is generally not allowed with exception.

However, 2 new exceptions have been added and the existing exception revised.

The one consistency among the 3 exceptions now is that the existing sheathing is not water soaked. Difficult for an inspection to verify! Seems to require a pre-roofing inspection.

The other is obvious, the manufacturer of the roofing product allows their product to be installed over an existing roof.

# CHAPTER 9 ROOF COATINGS

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The use of roof coatings has been added to Chapter 9.

Acrylic coating	ASTM D6083
Asphaltic emulsion	ASTM D1227
Asphalt	ASTM D2823
Asphalt roof	ASTM D4479
Aluminum-pigment	ASTM D2824
Silicone	ASTM D6694
Moisture-cured poly	ASTM D6947

# APPENDIX CI SWIMMING POOL SAFETY ACT

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The CA Swimming Pool Safety Act text transcribed into the CRC has been revised to be in line with AB 2866 and SB 552 regulations.

Approved manually or power-operated safety pool covers shall be labeled that they meet ASTM F1346-23.

Door exit alarms and their application on windows that provide direct access to a swimming pool or spa have more specific details provided and can be powered by either battery or the electrical system of the dwelling.

## APPENDIX BO EXISTING BUILDINGS AND STRUCTURES (NOW APP AJ)

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The application of the code to existing buildings has been extensively revised.

These appendix chapter will give better guidance for additions and alterations.

# PART 5 OF THE 2025 CRC SIGNIFICANT CHANGES

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While not directly affecting the CRC, the ICC and State of CA agency amendments are provided in this new Part of the Significant Changes book.



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# 2025 CA RESIDENTIAL CODE SIGNIFICANT CHANGES BOOK

**THANK YOU VERY MUCH**

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**Questions?**

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