

Environmental Review Record

for the
Northwind Senior Apartments Project

Contents:

- Appendix A: CalEEMod Air Quality Modeling Results (Raney Planning & Management, Inc.)
- Appendix B: Phase I Environmental Site Assessment Report (KCE Matrix, Inc.)
- Appendix C: Subsurface Environmental Site Assessment Report (KCE Matrix, Inc.)
- Appendix D: Archaeological Survey (Sean Jensen Archaeological Consulting)
- Appendix E: Native American Heritage Commission Results (Native American Heritage Commission)
- Appendix F: Additional Sources

APPENDIX A

CALEEMOD AIR QUALITY MODELING RESULTS

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

**Northwind Senior Apartments Project
Butte County AQMD Air District, Annual**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Apartments Low Rise	21.00	Dwelling Unit	1.42	21,000.00	60
Parking Lot	27.00	Space	0.24	10,800.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	71
Climate Zone	3			Operational Year	2025
Utility Company					
CO2 Intensity (lb/MWhr)	0	CH4 Intensity (lb/MWhr)	0	N2O Intensity (lb/MWhr)	0

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Acreages adjusted to represent total site area

Construction Phase - Phasing based on CalEEMod defaults (with the exception of architectural coating which was assumed to start two weeks after building construction and last for the same duration)

Water Mitigation -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	200.00
tblConstructionPhase	PhaseEndDate	2/7/2025	1/10/2025
tblConstructionPhase	PhaseEndDate	1/10/2025	12/27/2024
tblConstructionPhase	PhaseEndDate	4/5/2024	3/8/2024
tblConstructionPhase	PhaseEndDate	1/24/2025	3/22/2024

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

tblConstructionPhase	PhaseEndDate	4/1/2024	3/4/2024
tblConstructionPhase	PhaseStartDate	1/25/2025	4/6/2024
tblConstructionPhase	PhaseStartDate	4/6/2024	3/23/2024
tblConstructionPhase	PhaseStartDate	4/2/2024	3/5/2024
tblConstructionPhase	PhaseStartDate	1/11/2025	3/9/2024
tblConstructionPhase	PhaseStartDate	3/29/2024	3/1/2024
tblLandUse	LotAcreage	1.31	1.42

2.0 Emissions Summary

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.1 Overall Construction

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2024	0.3805	1.4538	1.6888	3.0500e-003	0.0365	0.0604	0.0969	0.0142	0.0582	0.0724	0.0000	256.3329	256.3329	0.0410	1.3900e-003	257.7715
2025	8.7000e-003	4.6100e-003	7.5500e-003	1.0000e-005	9.0000e-005	2.1000e-004	2.9000e-004	2.0000e-005	2.1000e-004	2.3000e-004	0.0000	1.0905	1.0905	6.0000e-005	0.0000	1.0926
Maximum	0.3805	1.4538	1.6888	3.0500e-003	0.0365	0.0604	0.0969	0.0142	0.0582	0.0724	0.0000	256.3329	256.3329	0.0410	1.3900e-003	257.7715

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2024	0.3805	1.4538	1.6888	3.0500e-003	0.0365	0.0604	0.0969	0.0142	0.0582	0.0724	0.0000	256.3326	256.3326	0.0410	1.3900e-003	257.7712
2025	8.7000e-003	4.6100e-003	7.5500e-003	1.0000e-005	9.0000e-005	2.1000e-004	2.9000e-004	2.0000e-005	2.1000e-004	2.3000e-004	0.0000	1.0905	1.0905	6.0000e-005	0.0000	1.0926
Maximum	0.3805	1.4538	1.6888	3.0500e-003	0.0365	0.0604	0.0969	0.0142	0.0582	0.0724	0.0000	256.3326	256.3326	0.0410	1.3900e-003	257.7712

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	3-1-2024	5-31-2024	0.6147	0.6147
2	6-1-2024	8-31-2024	0.5317	0.5317
3	9-1-2024	11-30-2024	0.5260	0.5260
4	12-1-2024	2-28-2025	0.1729	0.1729
		Highest	0.6147	0.6147

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	2.5661	0.0487	3.1796	5.4600e-003		0.4245	0.4245		0.4245	0.4245	40.2179	16.1715	56.3895	0.0363	3.1700e-003	58.2397
Energy	1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843
Mobile	0.0930	0.1354	0.7308	1.3000e-003	0.1251	1.4600e-003	0.1266	0.0335	1.3700e-003	0.0349	0.0000	122.4698	122.4698	9.0300e-003	7.3800e-003	124.8951
Waste						0.0000	0.0000		0.0000	0.0000	1.9609	0.0000	1.9609	0.1159	0.0000	4.8580
Water						0.0000	0.0000		0.0000	0.0000	0.4341	0.0000	0.4341	0.0446	1.0500e-003	1.8624
Total	2.6607	0.1973	3.9160	6.8400e-003	0.1251	0.4270	0.5521	0.0335	0.4269	0.4604	42.6129	153.9348	196.5477	0.2061	0.0119	205.2395

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.2 Overall Operational

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	2.5661	0.0487	3.1796	5.4600e-003		0.4245	0.4245		0.4245	0.4245	40.2179	16.1715	56.3895	0.0363	3.1700e-003	58.2397
Energy	1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843
Mobile	0.0930	0.1354	0.7308	1.3000e-003	0.1251	1.4600e-003	0.1266	0.0335	1.3700e-003	0.0349	0.0000	122.4698	122.4698	9.0300e-003	7.3800e-003	124.8951
Waste						0.0000	0.0000		0.0000	0.0000	1.9609	0.0000	1.9609	0.1159	0.0000	4.8580
Water						0.0000	0.0000		0.0000	0.0000	0.4341	0.0000	0.4341	0.0446	1.0500e-003	1.8624
Total	2.6607	0.1973	3.9160	6.8400e-003	0.1251	0.4270	0.5521	0.0335	0.4269	0.4604	42.6129	153.9348	196.5477	0.2061	0.0119	205.2395

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	3/1/2024	3/28/2024	5	20	
2	Site Preparation	Site Preparation	3/1/2024	3/4/2024	5	2	
3	Grading	Grading	3/5/2024	3/8/2024	5	4	

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4	Paving	Paving	3/9/2024	3/22/2024	5	10
5	Building Construction	Building Construction	3/23/2024	12/27/2024	5	200
6	Architectural Coating	Architectural Coating	4/6/2024	1/10/2025	5	200

Acres of Grading (Site Preparation Phase): 1.88

Acres of Grading (Grading Phase): 4

Acres of Paving: 0.24

Residential Indoor: 42,525; Residential Outdoor: 14,175; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 648 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Architectural Coating	Air Compressors	1	6.00	78	0.48
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Grading	Graders	1	8.00	187	0.41
Site Preparation	Graders	1	8.00	187	0.41
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	20.00	4.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	4.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

3.2 Demolition - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0144	0.1389	0.1349	2.4000e-004		6.3100e-003	6.3100e-003		5.8900e-003	5.8900e-003	0.0000	21.0916	21.0916	5.3400e-003	0.0000	21.2250
Total	0.0144	0.1389	0.1349	2.4000e-004		6.3100e-003	6.3100e-003		5.8900e-003	5.8900e-003	0.0000	21.0916	21.0916	5.3400e-003	0.0000	21.2250

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.8000e-004	2.4000e-004	2.7200e-003	1.0000e-005	6.9000e-004	0.0000	7.0000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5758	0.5758	3.0000e-005	2.0000e-005	0.5826
Total	3.8000e-004	2.4000e-004	2.7200e-003	1.0000e-005	6.9000e-004	0.0000	7.0000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5758	0.5758	3.0000e-005	2.0000e-005	0.5826

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0144	0.1389	0.1349	2.4000e-004		6.3100e-003	6.3100e-003		5.8900e-003	5.8900e-003	0.0000	21.0915	21.0915	5.3400e-003	0.0000	21.2250
Total	0.0144	0.1389	0.1349	2.4000e-004		6.3100e-003	6.3100e-003		5.8900e-003	5.8900e-003	0.0000	21.0915	21.0915	5.3400e-003	0.0000	21.2250

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.8000e-004	2.4000e-004	2.7200e-003	1.0000e-005	6.9000e-004	0.0000	7.0000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5758	0.5758	3.0000e-005	2.0000e-005	0.5826
Total	3.8000e-004	2.4000e-004	2.7200e-003	1.0000e-005	6.9000e-004	0.0000	7.0000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5758	0.5758	3.0000e-005	2.0000e-005	0.5826

3.3 Site Preparation - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					6.2700e-003	0.0000	6.2700e-003	3.0000e-003	0.0000	3.0000e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.1100e-003	0.0118	6.6300e-003	2.0000e-005		4.8000e-004	4.8000e-004		4.4000e-004	4.4000e-004	0.0000	1.5113	1.5113	4.9000e-004	0.0000	1.5235
Total	1.1100e-003	0.0118	6.6300e-003	2.0000e-005	6.2700e-003	4.8000e-004	6.7500e-003	3.0000e-003	4.4000e-004	3.4400e-003	0.0000	1.5113	1.5113	4.9000e-004	0.0000	1.5235

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.0000e-005	1.0000e-005	1.7000e-004	0.0000	4.0000e-005	0.0000	4.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0354	0.0354	0.0000	0.0000	0.0359
Total	2.0000e-005	1.0000e-005	1.7000e-004	0.0000	4.0000e-005	0.0000	4.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0354	0.0354	0.0000	0.0000	0.0359

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					6.2700e-003	0.0000	6.2700e-003	3.0000e-003	0.0000	3.0000e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	1.1100e-003	0.0118	6.6300e-003	2.0000e-005		4.8000e-004	4.8000e-004		4.4000e-004	4.4000e-004	0.0000	1.5113	1.5113	4.9000e-004	0.0000	1.5235
Total	1.1100e-003	0.0118	6.6300e-003	2.0000e-005	6.2700e-003	4.8000e-004	6.7500e-003	3.0000e-003	4.4000e-004	3.4400e-003	0.0000	1.5113	1.5113	4.9000e-004	0.0000	1.5235

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.0000e-005	1.0000e-005	1.7000e-004	0.0000	4.0000e-005	0.0000	4.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0354	0.0354	0.0000	0.0000	0.0359
Total	2.0000e-005	1.0000e-005	1.7000e-004	0.0000	4.0000e-005	0.0000	4.0000e-005	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0354	0.0354	0.0000	0.0000	0.0359

3.4 Grading - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0142	0.0000	0.0142	6.8500e-003	0.0000	6.8500e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	2.6000e-003	0.0276	0.0174	4.0000e-005		1.1400e-003	1.1400e-003		1.0500e-003	1.0500e-003	0.0000	3.6207	3.6207	1.1700e-003	0.0000	3.6500
Total	2.6000e-003	0.0276	0.0174	4.0000e-005	0.0142	1.1400e-003	0.0153	6.8500e-003	1.0500e-003	7.9000e-003	0.0000	3.6207	3.6207	1.1700e-003	0.0000	3.6500

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	4.0000e-005	4.2000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0886	0.0886	0.0000	0.0000	0.0896
Total	6.0000e-005	4.0000e-005	4.2000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0886	0.0886	0.0000	0.0000	0.0896

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0142	0.0000	0.0142	6.8500e-003	0.0000	6.8500e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	2.6000e-003	0.0276	0.0174	4.0000e-005		1.1400e-003	1.1400e-003		1.0500e-003	1.0500e-003	0.0000	3.6207	3.6207	1.1700e-003	0.0000	3.6500
Total	2.6000e-003	0.0276	0.0174	4.0000e-005	0.0142	1.1400e-003	0.0153	6.8500e-003	1.0500e-003	7.9000e-003	0.0000	3.6207	3.6207	1.1700e-003	0.0000	3.6500

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.0000e-005	4.0000e-005	4.2000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0886	0.0886	0.0000	0.0000	0.0896
Total	6.0000e-005	4.0000e-005	4.2000e-004	0.0000	1.1000e-004	0.0000	1.1000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0886	0.0886	0.0000	0.0000	0.0896

3.5 Paving - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	3.0900e-003	0.0293	0.0441	7.0000e-005		1.4100e-003	1.4100e-003		1.3000e-003	1.3000e-003	0.0000	5.8870	5.8870	1.8700e-003	0.0000	5.9337
Paving	3.1000e-004					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	3.4000e-003	0.0293	0.0441	7.0000e-005		1.4100e-003	1.4100e-003		1.3000e-003	1.3000e-003	0.0000	5.8870	5.8870	1.8700e-003	0.0000	5.9337

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Paving - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.9000e-004	1.2000e-004	1.3600e-003	0.0000	3.5000e-004	0.0000	3.5000e-004	9.0000e-005	0.0000	9.0000e-005	0.0000	0.2879	0.2879	1.0000e-005	1.0000e-005	0.2913
Total	1.9000e-004	1.2000e-004	1.3600e-003	0.0000	3.5000e-004	0.0000	3.5000e-004	9.0000e-005	0.0000	9.0000e-005	0.0000	0.2879	0.2879	1.0000e-005	1.0000e-005	0.2913

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	3.0900e-003	0.0293	0.0441	7.0000e-005		1.4100e-003	1.4100e-003		1.3000e-003	1.3000e-003	0.0000	5.8870	5.8870	1.8700e-003	0.0000	5.9337
Paving	3.1000e-004					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	3.4000e-003	0.0293	0.0441	7.0000e-005		1.4100e-003	1.4100e-003		1.3000e-003	1.3000e-003	0.0000	5.8870	5.8870	1.8700e-003	0.0000	5.9337

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Paving - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.9000e-004	1.2000e-004	1.3600e-003	0.0000	3.5000e-004	0.0000	3.5000e-004	9.0000e-005	0.0000	9.0000e-005	0.0000	0.2879	0.2879	1.0000e-005	1.0000e-005	0.2913
Total	1.9000e-004	1.2000e-004	1.3600e-003	0.0000	3.5000e-004	0.0000	3.5000e-004	9.0000e-005	0.0000	9.0000e-005	0.0000	0.2879	0.2879	1.0000e-005	1.0000e-005	0.2913

3.6 Building Construction - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1420	1.1064	1.2517	2.2100e-003		0.0451	0.0451		0.0435	0.0435	0.0000	181.6113	181.6113	0.0302	0.0000	182.3674
Total	0.1420	1.1064	1.2517	2.2100e-003		0.0451	0.0451		0.0435	0.0435	0.0000	181.6113	181.6113	0.0302	0.0000	182.3674

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Building Construction - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	5.1000e-004	0.0179	5.8000e-003	7.0000e-005	2.1500e-003	1.1000e-004	2.2600e-003	6.2000e-004	1.1000e-004	7.3000e-004	0.0000	6.5524	6.5524	2.0000e-005	9.7000e-004	6.8435
Worker	5.9100e-003	3.7300e-003	0.0418	9.0000e-005	0.0106	6.0000e-005	0.0107	2.8300e-003	6.0000e-005	2.8900e-003	0.0000	8.8588	8.8588	3.9000e-004	3.2000e-004	8.9626
Total	6.4200e-003	0.0216	0.0476	1.6000e-004	0.0128	1.7000e-004	0.0130	3.4500e-003	1.7000e-004	3.6200e-003	0.0000	15.4112	15.4112	4.1000e-004	1.2900e-003	15.8061

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1420	1.1064	1.2517	2.2100e-003		0.0451	0.0451		0.0435	0.0435	0.0000	181.6110	181.6110	0.0302	0.0000	182.3672
Total	0.1420	1.1064	1.2517	2.2100e-003		0.0451	0.0451		0.0435	0.0435	0.0000	181.6110	181.6110	0.0302	0.0000	182.3672

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Building Construction - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	5.1000e-004	0.0179	5.8000e-003	7.0000e-005	2.1500e-003	1.1000e-004	2.2600e-003	6.2000e-004	1.1000e-004	7.3000e-004	0.0000	6.5524	6.5524	2.0000e-005	9.7000e-004	6.8435
Worker	5.9100e-003	3.7300e-003	0.0418	9.0000e-005	0.0106	6.0000e-005	0.0107	2.8300e-003	6.0000e-005	2.8900e-003	0.0000	8.8588	8.8588	3.9000e-004	3.2000e-004	8.9626
Total	6.4200e-003	0.0216	0.0476	1.6000e-004	0.0128	1.7000e-004	0.0130	3.4500e-003	1.7000e-004	3.6200e-003	0.0000	15.4112	15.4112	4.1000e-004	1.2900e-003	15.8061

3.7 Architectural Coating - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.1914					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0174	0.1170	0.1738	2.9000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003	0.0000	24.5112	24.5112	1.3800e-003	0.0000	24.5457
Total	0.2087	0.1170	0.1738	2.9000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003	0.0000	24.5112	24.5112	1.3800e-003	0.0000	24.5457

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2024

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.1400e-003	7.2000e-004	8.0300e-003	2.0000e-005	2.0400e-003	1.0000e-005	2.0600e-003	5.4000e-004	1.0000e-005	5.6000e-004	0.0000	1.7009	1.7009	7.0000e-005	6.0000e-005	1.7208
Total	1.1400e-003	7.2000e-004	8.0300e-003	2.0000e-005	2.0400e-003	1.0000e-005	2.0600e-003	5.4000e-004	1.0000e-005	5.6000e-004	0.0000	1.7009	1.7009	7.0000e-005	6.0000e-005	1.7208

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.1914					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0174	0.1170	0.1738	2.9000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003	0.0000	24.5112	24.5112	1.3800e-003	0.0000	24.5457
Total	0.2087	0.1170	0.1738	2.9000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003	0.0000	24.5112	24.5112	1.3800e-003	0.0000	24.5457

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2024

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	1.1400e-003	7.2000e-004	8.0300e-003	2.0000e-005	2.0400e-003	1.0000e-005	2.0600e-003	5.4000e-004	1.0000e-005	5.6000e-004	0.0000	1.7009	1.7009	7.0000e-005	6.0000e-005	1.7208
Total	1.1400e-003	7.2000e-004	8.0300e-003	2.0000e-005	2.0400e-003	1.0000e-005	2.0600e-003	5.4000e-004	1.0000e-005	5.6000e-004	0.0000	1.7009	1.7009	7.0000e-005	6.0000e-005	1.7208

3.7 Architectural Coating - 2025

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	7.9700e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	6.8000e-004	4.5800e-003	7.2400e-003	1.0000e-005		2.1000e-004	2.1000e-004		2.1000e-004	2.1000e-004	0.0000	1.0213	1.0213	6.0000e-005	0.0000	1.0227
Total	8.6500e-003	4.5800e-003	7.2400e-003	1.0000e-005		2.1000e-004	2.1000e-004		2.1000e-004	2.1000e-004	0.0000	1.0213	1.0213	6.0000e-005	0.0000	1.0227

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2025

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.0000e-005	3.0000e-005	3.1000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0692	0.0692	0.0000	0.0000	0.0699
Total	4.0000e-005	3.0000e-005	3.1000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0692	0.0692	0.0000	0.0000	0.0699

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	7.9700e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	6.8000e-004	4.5800e-003	7.2400e-003	1.0000e-005		2.1000e-004	2.1000e-004		2.1000e-004	2.1000e-004	0.0000	1.0213	1.0213	6.0000e-005	0.0000	1.0227
Total	8.6500e-003	4.5800e-003	7.2400e-003	1.0000e-005		2.1000e-004	2.1000e-004		2.1000e-004	2.1000e-004	0.0000	1.0213	1.0213	6.0000e-005	0.0000	1.0227

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2025

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.0000e-005	3.0000e-005	3.1000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0692	0.0692	0.0000	0.0000	0.0699
Total	4.0000e-005	3.0000e-005	3.1000e-004	0.0000	9.0000e-005	0.0000	9.0000e-005	2.0000e-005	0.0000	2.0000e-005	0.0000	0.0692	0.0692	0.0000	0.0000	0.0699

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.0930	0.1354	0.7308	1.3000e-003	0.1251	1.4600e-003	0.1266	0.0335	1.3700e-003	0.0349	0.0000	122.4698	122.4698	9.0300e-003	7.3800e-003	124.8951
Unmitigated	0.0930	0.1354	0.7308	1.3000e-003	0.1251	1.4600e-003	0.1266	0.0335	1.3700e-003	0.0349	0.0000	122.4698	122.4698	9.0300e-003	7.3800e-003	124.8951

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	153.72	170.94	131.88	339,219	339,219
Parking Lot	0.00	0.00	0.00		
Total	153.72	170.94	131.88	339,219	339,219

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	7.30	3.00	7.90	35.00	17.00	48.00	86	11	3
Parking Lot	6.00	6.00	6.00	0.00	0.00	0.00	0	0	0

4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.493657	0.054963	0.187598	0.144453	0.043526	0.008501	0.010722	0.015710	0.000733	0.000410	0.033593	0.001127	0.005006
Parking Lot	0.493657	0.054963	0.187598	0.144453	0.043526	0.008501	0.010722	0.015710	0.000733	0.000410	0.033593	0.001127	0.005006

5.0 Energy Detail

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Natural Gas Mitigated	1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843
Natural Gas Unmitigated	1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	286587	1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total		1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Apartments Low Rise	286587	1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total		1.5500e-003	0.0132	5.6200e-003	8.0000e-005		1.0700e-003	1.0700e-003		1.0700e-003	1.0700e-003	0.0000	15.2934	15.2934	2.9000e-004	2.8000e-004	15.3843

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

5.3 Energy by Land Use - Electricity

Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	86751.6	0.0000	0.0000	0.0000	0.0000
Parking Lot	3780	0.0000	0.0000	0.0000	0.0000
Total		0.0000	0.0000	0.0000	0.0000

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Low Rise	86751.6	0.0000	0.0000	0.0000	0.0000
Parking Lot	3780	0.0000	0.0000	0.0000	0.0000
Total		0.0000	0.0000	0.0000	0.0000

6.0 Area Detail

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	2.5661	0.0487	3.1796	5.4600e-003		0.4245	0.4245		0.4245	0.4245	40.2179	16.1715	56.3895	0.0363	3.1700e-003	58.2397
Unmitigated	2.5661	0.0487	3.1796	5.4600e-003		0.4245	0.4245		0.4245	0.4245	40.2179	16.1715	56.3895	0.0363	3.1700e-003	58.2397

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0199					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.0827					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	2.4588	0.0469	3.0236	5.4500e-003		0.4236	0.4236		0.4236	0.4236	40.2179	15.9163	56.1343	0.0360	3.1700e-003	57.9784
Landscaping	4.7000e-003	1.8000e-003	0.1560	1.0000e-005		8.7000e-004	8.7000e-004		8.7000e-004	8.7000e-004	0.0000	0.2552	0.2552	2.5000e-004	0.0000	0.2613
Total	2.5661	0.0487	3.1796	5.4600e-003		0.4245	0.4245		0.4245	0.4245	40.2179	16.1715	56.3895	0.0363	3.1700e-003	58.2397

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0199					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.0827					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Hearth	2.4588	0.0469	3.0236	5.4500e-003		0.4236	0.4236		0.4236	0.4236	40.2179	15.9163	56.1343	0.0360	3.1700e-003	57.9784
Landscaping	4.7000e-003	1.8000e-003	0.1560	1.0000e-005		8.7000e-004	8.7000e-004		8.7000e-004	8.7000e-004	0.0000	0.2552	0.2552	2.5000e-004	0.0000	0.2613
Total	2.5661	0.0487	3.1796	5.4600e-003		0.4245	0.4245		0.4245	0.4245	40.2179	16.1715	56.3895	0.0363	3.1700e-003	58.2397

7.0 Water Detail

7.1 Mitigation Measures Water

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	0.4341	0.0446	1.0500e-003	1.8624
Unmitigated	0.4341	0.0446	1.0500e-003	1.8624

7.2 Water by Land Use

Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	1.36823 / 0.862583	0.4341	0.0446	1.0500e-003	1.8624
Parking Lot	0 / 0	0.0000	0.0000	0.0000	0.0000
Total		0.4341	0.0446	1.0500e-003	1.8624

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

7.2 Water by Land Use

Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Low Rise	1.36823 / 0.862583	0.4341	0.0446	1.0500e-003	1.8624
Parking Lot	0 / 0	0.0000	0.0000	0.0000	0.0000
Total		0.4341	0.0446	1.0500e-003	1.8624

8.0 Waste Detail

8.1 Mitigation Measures Waste

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	1.9609	0.1159	0.0000	4.8580
Unmitigated	1.9609	0.1159	0.0000	4.8580

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

8.2 Waste by Land Use

Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	9.66	1.9609	0.1159	0.0000	4.8580
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Total		1.9609	0.1159	0.0000	4.8580

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Low Rise	9.66	1.9609	0.1159	0.0000	4.8580
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Total		1.9609	0.1159	0.0000	4.8580

9.0 Operational Offroad

Northwind Senior Apartments Project - Butte County AQMD Air District, Annual

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

User Defined Equipment

Equipment Type	Number
----------------	--------

11.0 Vegetation

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

**Northwind Senior Apartments Project
Butte County AQMD Air District, Summer**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Apartments Low Rise	21.00	Dwelling Unit	1.42	21,000.00	60
Parking Lot	27.00	Space	0.24	10,800.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	71
Climate Zone	3			Operational Year	2025
Utility Company					
CO2 Intensity (lb/MWhr)	0	CH4 Intensity (lb/MWhr)	0	N2O Intensity (lb/MWhr)	0

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Acreages adjusted to represent total site area

Construction Phase - Phasing based on CalEEMod defaults (with the exception of architectural coating which was assumed to start two weeks after building construction and last for the same duration)

Water Mitigation -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	200.00
tblConstructionPhase	PhaseEndDate	2/7/2025	1/10/2025
tblConstructionPhase	PhaseEndDate	1/10/2025	12/27/2024
tblConstructionPhase	PhaseEndDate	4/5/2024	3/8/2024
tblConstructionPhase	PhaseEndDate	1/24/2025	3/22/2024

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

tblConstructionPhase	PhaseEndDate	4/1/2024	3/4/2024
tblConstructionPhase	PhaseStartDate	1/25/2025	4/6/2024
tblConstructionPhase	PhaseStartDate	4/6/2024	3/23/2024
tblConstructionPhase	PhaseStartDate	4/2/2024	3/5/2024
tblConstructionPhase	PhaseStartDate	1/11/2025	3/9/2024
tblConstructionPhase	PhaseStartDate	3/29/2024	3/1/2024
tblLandUse	LotAcreage	1.31	1.42

2.0 Emissions Summary

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2024	3.6876	27.7439	26.8626	0.0486	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,576.1267	4,576.1267	1.2384	0.0162	4,604.1598
2025	2.1781	1.1516	1.8989	3.1700e-003	0.0222	0.0516	0.0739	5.9000e-003	0.0516	0.0575	0.0000	302.3962	302.3962	0.0161	6.1000e-004	302.9807
Maximum	3.6876	27.7439	26.8626	0.0486	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,576.1267	4,576.1267	1.2384	0.0162	4,604.1598

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2024	3.6876	27.7439	26.8626	0.0486	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,576.1267	4,576.1267	1.2384	0.0162	4,604.1598
2025	2.1781	1.1516	1.8989	3.1700e-003	0.0222	0.0516	0.0739	5.9000e-003	0.0516	0.0575	0.0000	302.3962	302.3962	0.0161	6.1000e-004	302.9807
Maximum	3.6876	27.7439	26.8626	0.0486	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,576.1267	4,576.1267	1.2384	0.0162	4,604.1598

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374
Energy	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Mobile	0.7297	0.7705	4.8351	8.5200e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		887.5001	887.5001	0.0578	0.0481	903.2802
Total	34.1366	1.4882	46.9136	0.0818	0.8013	5.6726	6.4739	0.2139	5.6721	5.8860	591.1024	1,216.9288	1,808.0312	0.5920	0.0963	1,851.5396

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374
Energy	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Mobile	0.7297	0.7705	4.8351	8.5200e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		887.5001	887.5001	0.0578	0.0481	903.2802
Total	34.1366	1.4882	46.9136	0.0818	0.8013	5.6726	6.4739	0.2139	5.6721	5.8860	591.1024	1,216.9288	1,808.0312	0.5920	0.0963	1,851.5396

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	3/1/2024	3/28/2024	5	20	
2	Site Preparation	Site Preparation	3/1/2024	3/4/2024	5	2	
3	Grading	Grading	3/5/2024	3/8/2024	5	4	
4	Paving	Paving	3/9/2024	3/22/2024	5	10	
5	Building Construction	Building Construction	3/23/2024	12/27/2024	5	200	
6	Architectural Coating	Architectural Coating	4/6/2024	1/10/2025	5	200	

Acres of Grading (Site Preparation Phase): 1.88

Acres of Grading (Grading Phase): 4

Acres of Paving: 0.24

Residential Indoor: 42,525; Residential Outdoor: 14,175; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 648 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Architectural Coating	Air Compressors	1	6.00	78	0.48
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Building Construction	Generator Sets	1	8.00	84	0.74
Grading	Graders	1	8.00	187	0.41
Site Preparation	Graders	1	8.00	187	0.41
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	20.00	4.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	4.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895		2,324.9459	2,324.9459	0.5884		2,339.6562
Total	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895		2,324.9459	2,324.9459	0.5884		2,339.6562

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716
Total	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895	0.0000	2,324.9459	2,324.9459	0.5884		2,339.6562
Total	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895	0.0000	2,324.9459	2,324.9459	0.5884		2,339.6562

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716
Total	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.1067	11.8407	6.6317	0.0172		0.4823	0.4823		0.4437	0.4437		1,665.8826	1,665.8826	0.5388		1,679.3521
Total	1.1067	11.8407	6.6317	0.0172	6.2662	0.4823	6.7485	3.0041	0.4437	3.4478		1,665.8826	1,665.8826	0.5388		1,679.3521

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0294	0.0137	0.1940	4.2000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		42.9346	42.9346	1.5900e-003	1.3200e-003	43.3672
Total	0.0294	0.0137	0.1940	4.2000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		42.9346	42.9346	1.5900e-003	1.3200e-003	43.3672

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.1067	11.8407	6.6317	0.0172		0.4823	0.4823		0.4437	0.4437	0.0000	1,665.8826	1,665.8826	0.5388		1,679.3521
Total	1.1067	11.8407	6.6317	0.0172	6.2662	0.4823	6.7485	3.0041	0.4437	3.4478	0.0000	1,665.8826	1,665.8826	0.5388		1,679.3521

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0294	0.0137	0.1940	4.2000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		42.9346	42.9346	1.5900e-003	1.3200e-003	43.3672
Total	0.0294	0.0137	0.1940	4.2000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		42.9346	42.9346	1.5900e-003	1.3200e-003	43.3672

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.3015	13.8178	8.6998	0.0206		0.5722	0.5722		0.5265	0.5265		1,995.5803	1,995.5803	0.6454		2,011.7155
Total	1.3015	13.8178	8.6998	0.0206	7.0826	0.5722	7.6548	3.4247	0.5265	3.9512		1,995.5803	1,995.5803	0.6454		2,011.7155

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0367	0.0172	0.2425	5.2000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		53.6682	53.6682	1.9900e-003	1.6500e-003	54.2089
Total	0.0367	0.0172	0.2425	5.2000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		53.6682	53.6682	1.9900e-003	1.6500e-003	54.2089

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.3015	13.8178	8.6998	0.0206		0.5722	0.5722		0.5265	0.5265	0.0000	1,995.5803	1,995.5803	0.6454		2,011.7155
Total	1.3015	13.8178	8.6998	0.0206	7.0826	0.5722	7.6548	3.4247	0.5265	3.9512	0.0000	1,995.5803	1,995.5803	0.6454		2,011.7155

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0367	0.0172	0.2425	5.2000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		53.6682	53.6682	1.9900e-003	1.6500e-003	54.2089
Total	0.0367	0.0172	0.2425	5.2000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		53.6682	53.6682	1.9900e-003	1.6500e-003	54.2089

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Paving - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6180	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594		1,297.8688	1,297.8688	0.4114		1,308.1547
Paving	0.0629					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6808	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594		1,297.8688	1,297.8688	0.4114		1,308.1547

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716
Total	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Paving - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6180	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594	0.0000	1,297.8688	1,297.8688	0.4114		1,308.1547
Paving	0.0629					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6808	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594	0.0000	1,297.8688	1,297.8688	0.4114		1,308.1547

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716
Total	0.0477	0.0223	0.3153	6.8000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		69.7687	69.7687	2.5900e-003	2.1400e-003	70.4716

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Building Construction - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348		2,001.9214	2,001.9214	0.3334		2,010.2563
Total	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348		2,001.9214	2,001.9214	0.3334		2,010.2563

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	5.2400e-003	0.1701	0.0571	6.8000e-004	0.0223	1.1000e-003	0.0234	6.4300e-003	1.0600e-003	7.4800e-003		72.1543	72.1543	2.7000e-004	0.0107	75.3579
Worker	0.0734	0.0343	0.4850	1.0400e-003	0.1111	6.4000e-004	0.1118	0.0295	5.9000e-004	0.0301		107.3365	107.3365	3.9800e-003	3.2900e-003	108.4179
Total	0.0787	0.2043	0.5422	1.7200e-003	0.1334	1.7400e-003	0.1352	0.0359	1.6500e-003	0.0376		179.4907	179.4907	4.2500e-003	0.0140	183.7758

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Building Construction - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348	0.0000	2,001.9214	2,001.9214	0.3334		2,010.2563
Total	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348	0.0000	2,001.9214	2,001.9214	0.3334		2,010.2563

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	5.2400e-003	0.1701	0.0571	6.8000e-004	0.0223	1.1000e-003	0.0234	6.4300e-003	1.0600e-003	7.4800e-003		72.1543	72.1543	2.7000e-004	0.0107	75.3579
Worker	0.0734	0.0343	0.4850	1.0400e-003	0.1111	6.4000e-004	0.1118	0.0295	5.9000e-004	0.0301		107.3365	107.3365	3.9800e-003	3.2900e-003	108.4179
Total	0.0787	0.2043	0.5422	1.7200e-003	0.1334	1.7400e-003	0.1352	0.0359	1.6500e-003	0.0376		179.4907	179.4907	4.2500e-003	0.0140	183.7758

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609		281.4481	281.4481	0.0159		281.8443
Total	2.1743	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609		281.4481	281.4481	0.0159		281.8443

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0147	6.8600e-003	0.0970	2.1000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		21.4673	21.4673	8.0000e-004	6.6000e-004	21.6836
Total	0.0147	6.8600e-003	0.0970	2.1000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		21.4673	21.4673	8.0000e-004	6.6000e-004	21.6836

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609	0.0000	281.4481	281.4481	0.0159		281.8443
Total	2.1743	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609	0.0000	281.4481	281.4481	0.0159		281.8443

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0147	6.8600e-003	0.0970	2.1000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		21.4673	21.4673	8.0000e-004	6.6000e-004	21.6836
Total	0.0147	6.8600e-003	0.0970	2.1000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		21.4673	21.4673	8.0000e-004	6.6000e-004	21.6836

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2025

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515		281.4481	281.4481	0.0154		281.8319
Total	2.1644	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515		281.4481	281.4481	0.0154		281.8319

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0137	6.1400e-003	0.0897	2.0000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		20.9481	20.9481	7.2000e-004	6.1000e-004	21.1488
Total	0.0137	6.1400e-003	0.0897	2.0000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		20.9481	20.9481	7.2000e-004	6.1000e-004	21.1488

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2025

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515	0.0000	281.4481	281.4481	0.0154		281.8319
Total	2.1644	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515	0.0000	281.4481	281.4481	0.0154		281.8319

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0137	6.1400e-003	0.0897	2.0000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		20.9481	20.9481	7.2000e-004	6.1000e-004	21.1488
Total	0.0137	6.1400e-003	0.0897	2.0000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		20.9481	20.9481	7.2000e-004	6.1000e-004	21.1488

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.7297	0.7705	4.8351	8.5200e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		887.5001	887.5001	0.0578	0.0481	903.2802
Unmitigated	0.7297	0.7705	4.8351	8.5200e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		887.5001	887.5001	0.0578	0.0481	903.2802

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	153.72	170.94	131.88	339,219	339,219
Parking Lot	0.00	0.00	0.00		
Total	153.72	170.94	131.88	339,219	339,219

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	7.30	3.00	7.90	35.00	17.00	48.00	86	11	3
Parking Lot	6.00	6.00	6.00	0.00	0.00	0.00	0	0	0

4.4 Fleet Mix

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.493657	0.054963	0.187598	0.144453	0.043526	0.008501	0.010722	0.015710	0.000733	0.000410	0.033593	0.001127	0.005006
Parking Lot	0.493657	0.054963	0.187598	0.144453	0.043526	0.008501	0.010722	0.015710	0.000733	0.000410	0.033593	0.001127	0.005006

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
NaturalGas Unmitigated	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

5.2 Energy by Land Use - NaturalGas

Unmitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	785.171	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220

Mitigated

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	0.785171	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220

6.0 Area Detail

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374
Unmitigated	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1092					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4532					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	32.7838	0.6255	40.3141	0.0727		5.6482	5.6482		5.6482	5.6482	591.1024	233.9301	825.0326	0.5295	0.0465	852.1368
Landscaping	0.0522	0.0200	1.7336	9.0000e-005		9.6100e-003	9.6100e-003		9.6100e-003	9.6100e-003		3.1255	3.1255	3.0000e-003		3.2006
Total	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1092					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4532					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	32.7838	0.6255	40.3141	0.0727		5.6482	5.6482		5.6482	5.6482	591.1024	233.9301	825.0326	0.5295	0.0465	852.1368
Landscaping	0.0522	0.0200	1.7336	9.0000e-005		9.6100e-003	9.6100e-003		9.6100e-003	9.6100e-003		3.1255	3.1255	3.0000e-003		3.2006
Total	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374

7.0 Water Detail

7.1 Mitigation Measures Water

Northwind Senior Apartments Project - Butte County AQMD Air District, Summer

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

User Defined Equipment

Equipment Type	Number
----------------	--------

11.0 Vegetation

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

**Northwind Senior Apartments Project
Butte County AQMD Air District, Winter**

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Apartments Low Rise	21.00	Dwelling Unit	1.42	21,000.00	60
Parking Lot	27.00	Space	0.24	10,800.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	71
Climate Zone	3			Operational Year	2025
Utility Company					
CO2 Intensity (lb/MWhr)	0	CH4 Intensity (lb/MWhr)	0	N2O Intensity (lb/MWhr)	0

1.3 User Entered Comments & Non-Default Data

Project Characteristics -

Land Use - Acreages adjusted to represent total site area

Construction Phase - Phasing based on CalEEMod defaults (with the exception of architectural coating which was assumed to start two weeks after building construction and last for the same duration)

Water Mitigation -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	200.00
tblConstructionPhase	PhaseEndDate	2/7/2025	1/10/2025
tblConstructionPhase	PhaseEndDate	1/10/2025	12/27/2024
tblConstructionPhase	PhaseEndDate	4/5/2024	3/8/2024
tblConstructionPhase	PhaseEndDate	1/24/2025	3/22/2024

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

tblConstructionPhase	PhaseEndDate	4/1/2024	3/4/2024
tblConstructionPhase	PhaseStartDate	1/25/2025	4/6/2024
tblConstructionPhase	PhaseStartDate	4/6/2024	3/23/2024
tblConstructionPhase	PhaseStartDate	4/2/2024	3/5/2024
tblConstructionPhase	PhaseStartDate	1/11/2025	3/9/2024
tblConstructionPhase	PhaseStartDate	3/29/2024	3/1/2024
tblLandUse	LotAcreage	1.31	1.42

2.0 Emissions Summary

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.1 Overall Construction (Maximum Daily Emission)

Unmitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2024	3.6703	27.7527	26.7687	0.0484	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,555.748 1	4,555.748 1	1.2392	0.0170	4,584.055 0
2025	2.1754	1.1530	1.8885	3.1500e-003	0.0222	0.0516	0.0739	5.9000e-003	0.0516	0.0575	0.0000	299.9708	299.9708	0.0162	7.0000e-004	300.5848
Maximum	3.6703	27.7527	26.7687	0.0484	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,555.748 1	4,555.748 1	1.2392	0.0170	4,584.055 0

Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2024	3.6703	27.7527	26.7687	0.0484	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,555.748 1	4,555.748 1	1.2392	0.0170	4,584.055 0
2025	2.1754	1.1530	1.8885	3.1500e-003	0.0222	0.0516	0.0739	5.9000e-003	0.0516	0.0575	0.0000	299.9708	299.9708	0.0162	7.0000e-004	300.5848
Maximum	3.6703	27.7527	26.7687	0.0484	7.2104	1.2041	8.4145	3.4586	1.1166	4.5753	0.0000	4,555.748 1	4,555.748 1	1.2392	0.0170	4,584.055 0

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

2.2 Overall Operational

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374
Energy	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Mobile	0.5375	0.8835	4.7774	7.8100e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		813.2747	813.2747	0.0664	0.0523	830.5157
Total	33.9445	1.6013	46.8560	0.0811	0.8013	5.6726	6.4739	0.2139	5.6721	5.8860	591.1024	1,142.7034	1,733.8058	0.6006	0.1005	1,778.7751

Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374
Energy	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Mobile	0.5375	0.8835	4.7774	7.8100e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		813.2747	813.2747	0.0664	0.0523	830.5157
Total	33.9445	1.6013	46.8560	0.0811	0.8013	5.6726	6.4739	0.2139	5.6721	5.8860	591.1024	1,142.7034	1,733.8058	0.6006	0.1005	1,778.7751

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	3/1/2024	3/28/2024	5	20	
2	Site Preparation	Site Preparation	3/1/2024	3/4/2024	5	2	
3	Grading	Grading	3/5/2024	3/8/2024	5	4	
4	Paving	Paving	3/9/2024	3/22/2024	5	10	
5	Building Construction	Building Construction	3/23/2024	12/27/2024	5	200	
6	Architectural Coating	Architectural Coating	4/6/2024	1/10/2025	5	200	

Acres of Grading (Site Preparation Phase): 1.88

Acres of Grading (Grading Phase): 4

Acres of Paving: 0.24

Residential Indoor: 42,525; Residential Outdoor: 14,175; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 648 (Architectural Coating – sqft)

OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Architectural Coating	Air Compressors	1	6.00	78	0.48
Paving	Cement and Mortar Mixers	1	6.00	9	0.56
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Building Construction	Cranes	1	6.00	231	0.29
Building Construction	Forklifts	1	6.00	89	0.20

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Building Construction	Generator Sets	1	8.00	84	0.74
Grading	Graders	1	8.00	187	0.41
Site Preparation	Graders	1	8.00	187	0.41
Paving	Pavers	1	6.00	130	0.42
Paving	Paving Equipment	1	8.00	132	0.36
Paving	Rollers	1	7.00	80	0.38
Demolition	Rubber Tired Dozers	1	8.00	247	0.40
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Site Preparation	Rubber Tired Dozers	1	7.00	247	0.40
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Demolition	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	5	13.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	3	8.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	7	20.00	4.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Paving	5	13.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	4.00	0.00	0.00	7.30	6.00	20.00	LD_Mix	HDT_Mix	HHDT

3.1 Mitigation Measures Construction

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895		2,324.9459	2,324.9459	0.5884		2,339.6562
Total	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895		2,324.9459	2,324.9459	0.5884		2,339.6562

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780
Total	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.2 Demolition - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895	0.0000	2,324.9459	2,324.9459	0.5884		2,339.6562
Total	1.4397	13.8867	13.4879	0.0241		0.6311	0.6311		0.5895	0.5895	0.0000	2,324.9459	2,324.9459	0.5884		2,339.6562

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780
Total	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.1067	11.8407	6.6317	0.0172		0.4823	0.4823		0.4437	0.4437		1,665.8826	1,665.8826	0.5388		1,679.3521
Total	1.1067	11.8407	6.6317	0.0172	6.2662	0.4823	6.7485	3.0041	0.4437	3.4478		1,665.8826	1,665.8826	0.5388		1,679.3521

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0237	0.0168	0.1707	3.7000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		37.9519	37.9519	1.8800e-003	1.5100e-003	38.4480
Total	0.0237	0.0168	0.1707	3.7000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		37.9519	37.9519	1.8800e-003	1.5100e-003	38.4480

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.3 Site Preparation - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.2662	0.0000	6.2662	3.0041	0.0000	3.0041			0.0000			0.0000
Off-Road	1.1067	11.8407	6.6317	0.0172		0.4823	0.4823		0.4437	0.4437	0.0000	1,665.8826	1,665.8826	0.5388		1,679.3521
Total	1.1067	11.8407	6.6317	0.0172	6.2662	0.4823	6.7485	3.0041	0.4437	3.4478	0.0000	1,665.8826	1,665.8826	0.5388		1,679.3521

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0237	0.0168	0.1707	3.7000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		37.9519	37.9519	1.8800e-003	1.5100e-003	38.4480
Total	0.0237	0.0168	0.1707	3.7000e-004	0.0445	2.6000e-004	0.0447	0.0118	2.4000e-004	0.0120		37.9519	37.9519	1.8800e-003	1.5100e-003	38.4480

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.3015	13.8178	8.6998	0.0206		0.5722	0.5722		0.5265	0.5265		1,995.5803	1,995.5803	0.6454		2,011.7155
Total	1.3015	13.8178	8.6998	0.0206	7.0826	0.5722	7.6548	3.4247	0.5265	3.9512		1,995.5803	1,995.5803	0.6454		2,011.7155

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0296	0.0210	0.2134	4.6000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		47.4399	47.4399	2.3400e-003	1.8800e-003	48.0600
Total	0.0296	0.0210	0.2134	4.6000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		47.4399	47.4399	2.3400e-003	1.8800e-003	48.0600

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.4 Grading - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					7.0826	0.0000	7.0826	3.4247	0.0000	3.4247			0.0000			0.0000
Off-Road	1.3015	13.8178	8.6998	0.0206		0.5722	0.5722		0.5265	0.5265	0.0000	1,995.5803	1,995.5803	0.6454		2,011.7155
Total	1.3015	13.8178	8.6998	0.0206	7.0826	0.5722	7.6548	3.4247	0.5265	3.9512	0.0000	1,995.5803	1,995.5803	0.6454		2,011.7155

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0296	0.0210	0.2134	4.6000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		47.4399	47.4399	2.3400e-003	1.8800e-003	48.0600
Total	0.0296	0.0210	0.2134	4.6000e-004	0.0556	3.2000e-004	0.0559	0.0147	3.0000e-004	0.0150		47.4399	47.4399	2.3400e-003	1.8800e-003	48.0600

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Paving - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6180	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594		1,297.8688	1,297.8688	0.4114		1,308.1547
Paving	0.0629					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6808	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594		1,297.8688	1,297.8688	0.4114		1,308.1547

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780
Total	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.5 Paving - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	0.6180	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594	0.0000	1,297.8688	1,297.8688	0.4114		1,308.1547
Paving	0.0629					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	0.6808	5.8607	8.8253	0.0136		0.2810	0.2810		0.2594	0.2594	0.0000	1,297.8688	1,297.8688	0.4114		1,308.1547

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780
Total	0.0385	0.0273	0.2775	6.0000e-004	0.0722	4.2000e-004	0.0726	0.0192	3.9000e-004	0.0196		61.6718	61.6718	3.0500e-003	2.4500e-003	62.4780

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Building Construction - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348		2,001.9214	2,001.9214	0.3334		2,010.2563
Total	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348		2,001.9214	2,001.9214	0.3334		2,010.2563

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	4.9300e-003	0.1841	0.0593	6.9000e-004	0.0223	1.1100e-003	0.0234	6.4300e-003	1.0600e-003	7.4900e-003		72.3293	72.3293	2.6000e-004	0.0108	75.5448
Worker	0.0592	0.0420	0.4268	9.2000e-004	0.1111	6.4000e-004	0.1118	0.0295	5.9000e-004	0.0301		94.8797	94.8797	4.6900e-003	3.7700e-003	96.1199
Total	0.0641	0.2261	0.4861	1.6100e-003	0.1334	1.7500e-003	0.1352	0.0359	1.6500e-003	0.0376		167.2090	167.2090	4.9500e-003	0.0145	171.6647

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.6 Building Construction - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348	0.0000	2,001.9214	2,001.9214	0.3334		2,010.2563
Total	1.4200	11.0639	12.5172	0.0221		0.4506	0.4506		0.4348	0.4348	0.0000	2,001.9214	2,001.9214	0.3334		2,010.2563

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	4.9300e-003	0.1841	0.0593	6.9000e-004	0.0223	1.1100e-003	0.0234	6.4300e-003	1.0600e-003	7.4900e-003		72.3293	72.3293	2.6000e-004	0.0108	75.5448
Worker	0.0592	0.0420	0.4268	9.2000e-004	0.1111	6.4000e-004	0.1118	0.0295	5.9000e-004	0.0301		94.8797	94.8797	4.6900e-003	3.7700e-003	96.1199
Total	0.0641	0.2261	0.4861	1.6100e-003	0.1334	1.7500e-003	0.1352	0.0359	1.6500e-003	0.0376		167.2090	167.2090	4.9500e-003	0.0145	171.6647

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2024

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609		281.4481	281.4481	0.0159		281.8443
Total	2.1743	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609		281.4481	281.4481	0.0159		281.8443

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0118	8.3900e-003	0.0854	1.8000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		18.9759	18.9759	9.4000e-004	7.5000e-004	19.2240
Total	0.0118	8.3900e-003	0.0854	1.8000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		18.9759	18.9759	9.4000e-004	7.5000e-004	19.2240

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2024

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1808	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609	0.0000	281.4481	281.4481	0.0159		281.8443
Total	2.1743	1.2188	1.8101	2.9700e-003		0.0609	0.0609		0.0609	0.0609	0.0000	281.4481	281.4481	0.0159		281.8443

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0118	8.3900e-003	0.0854	1.8000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		18.9759	18.9759	9.4000e-004	7.5000e-004	19.2240
Total	0.0118	8.3900e-003	0.0854	1.8000e-004	0.0222	1.3000e-004	0.0224	5.9000e-003	1.2000e-004	6.0100e-003		18.9759	18.9759	9.4000e-004	7.5000e-004	19.2240

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2025

Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515		281.4481	281.4481	0.0154		281.8319
Total	2.1644	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515		281.4481	281.4481	0.0154		281.8319

Unmitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0110	7.5100e-003	0.0794	1.8000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		18.5228	18.5228	8.5000e-004	7.0000e-004	18.7529
Total	0.0110	7.5100e-003	0.0794	1.8000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		18.5228	18.5228	8.5000e-004	7.0000e-004	18.7529

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

3.7 Architectural Coating - 2025

Mitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	1.9936					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.1709	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515	0.0000	281.4481	281.4481	0.0154		281.8319
Total	2.1644	1.1455	1.8091	2.9700e-003		0.0515	0.0515		0.0515	0.0515	0.0000	281.4481	281.4481	0.0154		281.8319

Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0110	7.5100e-003	0.0794	1.8000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		18.5228	18.5228	8.5000e-004	7.0000e-004	18.7529
Total	0.0110	7.5100e-003	0.0794	1.8000e-004	0.0222	1.2000e-004	0.0224	5.9000e-003	1.1000e-004	6.0100e-003		18.5228	18.5228	8.5000e-004	7.0000e-004	18.7529

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.5375	0.8835	4.7774	7.8100e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		813.2747	813.2747	0.0664	0.0523	830.5157
Unmitigated	0.5375	0.8835	4.7774	7.8100e-003	0.8013	8.9600e-003	0.8102	0.2139	8.4300e-003	0.2224		813.2747	813.2747	0.0664	0.0523	830.5157

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Apartments Low Rise	153.72	170.94	131.88	339,219	339,219
Parking Lot	0.00	0.00	0.00		
Total	153.72	170.94	131.88	339,219	339,219

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Low Rise	7.30	3.00	7.90	35.00	17.00	48.00	86	11	3
Parking Lot	6.00	6.00	6.00	0.00	0.00	0.00	0	0	0

4.4 Fleet Mix

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Low Rise	0.493657	0.054963	0.187598	0.144453	0.043526	0.008501	0.010722	0.015710	0.000733	0.000410	0.033593	0.001127	0.005006
Parking Lot	0.493657	0.054963	0.187598	0.144453	0.043526	0.008501	0.010722	0.015710	0.000733	0.000410	0.033593	0.001127	0.005006

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
NaturalGas Unmitigated	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

5.2 Energy by Land Use - Natural Gas

Unmitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	785.171	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220

Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Low Rise	0.785171	8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Total		8.4700e-003	0.0724	0.0308	4.6000e-004		5.8500e-003	5.8500e-003		5.8500e-003	5.8500e-003		92.3731	92.3731	1.7700e-003	1.6900e-003	92.9220

6.0 Area Detail

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374
Unmitigated	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1092					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4532					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	32.7838	0.6255	40.3141	0.0727		5.6482	5.6482		5.6482	5.6482	591.1024	233.9301	825.0326	0.5295	0.0465	852.1368
Landscaping	0.0522	0.0200	1.7336	9.0000e-005		9.6100e-003	9.6100e-003		9.6100e-003	9.6100e-003		3.1255	3.1255	3.0000e-003		3.2006
Total	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

6.2 Area by SubCategory

Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1092					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.4532					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	32.7838	0.6255	40.3141	0.0727		5.6482	5.6482		5.6482	5.6482	591.1024	233.9301	825.0326	0.5295	0.0465	852.1368
Landscaping	0.0522	0.0200	1.7336	9.0000e-005		9.6100e-003	9.6100e-003		9.6100e-003	9.6100e-003		3.1255	3.1255	3.0000e-003		3.2006
Total	33.3985	0.6454	42.0478	0.0728		5.6578	5.6578		5.6578	5.6578	591.1024	237.0556	828.1581	0.5325	0.0465	855.3374

7.0 Water Detail

7.1 Mitigation Measures Water

Northwind Senior Apartments Project - Butte County AQMD Air District, Winter

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

User Defined Equipment

Equipment Type	Number
----------------	--------

11.0 Vegetation

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Butte County AQMD Air District, Mitigation Report

Construction Mitigation Summary

Phase	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction												
Architectural Coating	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Building Construction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Demolition	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Grading	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Paving	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Site Preparation	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

OFFROAD Equipment Mitigation

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Equipment Type	Fuel Type	Tier	Number Mitigated	Total Number of Equipment	DPF	Oxidation Catalyst
Air Compressors	Diesel	No Change	0	1	No Change	0.00
Cement and Mortar Mixers	Diesel	No Change	0	1	No Change	0.00
Concrete/Industrial Saws	Diesel	No Change	0	1	No Change	0.00
Cranes	Diesel	No Change	0	1	No Change	0.00
Forklifts	Diesel	No Change	0	1	No Change	0.00
Graders	Diesel	No Change	0	2	No Change	0.00
Pavers	Diesel	No Change	0	1	No Change	0.00
Rollers	Diesel	No Change	0	1	No Change	0.00
Rubber Tired Dozers	Diesel	No Change	0	3	No Change	0.00
Tractors/Loaders/Backhoes	Diesel	No Change	0	8	No Change	0.00
Generator Sets	Diesel	No Change	0	1	No Change	0.00
Paving Equipment	Diesel	No Change	0	1	No Change	0.00
Welders	Diesel	No Change	0	3	No Change	0.00

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Equipment Type	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Unmitigated tons/yr							Unmitigated mt/yr					
Air Compressors	1.80400E-002	1.21590E-001	1.81010E-001	3.00000E-004	6.05000E-003	6.05000E-003	0.00000E+000	2.55325E+001	2.55325E+001	1.44000E-003	0.00000E+000	2.55684E+001
Cement and Mortar Mixers	2.20000E-004	1.38000E-003	1.16000E-003	0.00000E+000	5.00000E-005	5.00000E-005	0.00000E+000	1.71850E-001	1.71850E-001	2.00000E-005	0.00000E+000	1.72300E-001
Concrete/Industrial Saws	3.13000E-003	2.41400E-002	3.65000E-002	6.00000E-005	1.11000E-003	1.11000E-003	0.00000E+000	5.37656E+000	5.37656E+000	2.60000E-004	0.00000E+000	5.38295E+000
Cranes	2.48800E-002	2.62820E-001	1.33100E-001	4.30000E-004	1.09400E-002	1.00600E-002	0.00000E+000	3.80206E+001	3.80206E+001	1.23000E-002	0.00000E+000	3.83280E+001
Forklifts	7.06000E-003	6.62600E-002	8.54500E-002	1.10000E-004	3.83000E-003	3.52000E-003	0.00000E+000	1.00719E+001	1.00719E+001	3.26000E-003	0.00000E+000	1.01533E+001
Generator Sets	2.85000E-002	2.54450E-001	3.66390E-001	6.60000E-004	1.10700E-002	1.10700E-002	0.00000E+000	5.65208E+001	5.65208E+001	2.29000E-003	0.00000E+000	5.65779E+001
Graders	1.06000E-003	1.24700E-002	4.97000E-003	2.00000E-005	4.00000E-004	3.70000E-004	0.00000E+000	1.74318E+000	1.74318E+000	5.60000E-004	0.00000E+000	1.75727E+000
Pavers	6.90000E-004	6.53000E-003	1.08500E-002	2.00000E-005	3.10000E-004	2.80000E-004	0.00000E+000	1.54844E+000	1.54844E+000	5.00000E-004	0.00000E+000	1.56096E+000
Paving Equipment	8.20000E-004	7.48000E-003	1.28500E-002	2.00000E-005	3.60000E-004	3.30000E-004	0.00000E+000	1.78927E+000	1.78927E+000	5.80000E-004	0.00000E+000	1.80373E+000
Rollers	6.40000E-004	6.67000E-003	8.09000E-003	1.00000E-005	3.50000E-004	3.20000E-004	0.00000E+000	1.00869E+000	1.00869E+000	3.30000E-004	0.00000E+000	1.01684E+000
Rubber Tired Dozers	8.95000E-003	9.17700E-002	4.03100E-002	1.10000E-004	4.13000E-003	3.80000E-003	0.00000E+000	9.65914E+000	9.65914E+000	3.12000E-003	0.00000E+000	9.73724E+000
Tractors/Loaders/Backhoes	1.64800E-002	1.65820E-001	2.55980E-001	3.60000E-004	7.61000E-003	7.00000E-003	0.00000E+000	3.13453E+001	3.13453E+001	1.01400E-002	0.00000E+000	3.15988E+001
Welders	7.07500E-002	4.14230E-001	4.99110E-001	7.70000E-004	1.42400E-002	1.42400E-002	0.00000E+000	5.64662E+001	5.64662E+001	5.76000E-003	0.00000E+000	5.66103E+001

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Equipment Type	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Mitigated tons/yr							Mitigated mt/yr					
Air Compressors	1.80400E-002	1.21590E-001	1.81010E-001	3.00000E-004	6.05000E-003	6.05000E-003	0.00000E+000	2.55325E+001	2.55325E+001	1.44000E-003	0.00000E+000	2.55684E+001
Cement and Mortar Mixers	2.20000E-004	1.38000E-003	1.16000E-003	0.00000E+000	5.00000E-005	5.00000E-005	0.00000E+000	1.71850E-001	1.71850E-001	2.00000E-005	0.00000E+000	1.72300E-001
Concrete/Industrial Saws	3.13000E-003	2.41400E-002	3.65000E-002	6.00000E-005	1.11000E-003	1.11000E-003	0.00000E+000	5.37656E+000	5.37656E+000	2.60000E-004	0.00000E+000	5.38294E+000
Cranes	2.48800E-002	2.62820E-001	1.33100E-001	4.30000E-004	1.09400E-002	1.00600E-002	0.00000E+000	3.80206E+001	3.80206E+001	1.23000E-002	0.00000E+000	3.83280E+001
Forklifts	7.06000E-003	6.62600E-002	8.54500E-002	1.10000E-004	3.83000E-003	3.52000E-003	0.00000E+000	1.00718E+001	1.00718E+001	3.26000E-003	0.00000E+000	1.01533E+001
Generator Sets	2.85000E-002	2.54450E-001	3.66390E-001	6.60000E-004	1.10700E-002	1.10700E-002	0.00000E+000	5.65207E+001	5.65207E+001	2.29000E-003	0.00000E+000	5.65779E+001
Graders	1.06000E-003	1.24700E-002	4.97000E-003	2.00000E-005	4.00000E-004	3.70000E-004	0.00000E+000	1.74317E+000	1.74317E+000	5.60000E-004	0.00000E+000	1.75727E+000
Pavers	6.90000E-004	6.53000E-003	1.08500E-002	2.00000E-005	3.10000E-004	2.80000E-004	0.00000E+000	1.54843E+000	1.54843E+000	5.00000E-004	0.00000E+000	1.56095E+000
Paving Equipment	8.20000E-004	7.48000E-003	1.28500E-002	2.00000E-005	3.60000E-004	3.30000E-004	0.00000E+000	1.78926E+000	1.78926E+000	5.80000E-004	0.00000E+000	1.80373E+000
Rollers	6.40000E-004	6.67000E-003	8.09000E-003	1.00000E-005	3.50000E-004	3.20000E-004	0.00000E+000	1.00869E+000	1.00869E+000	3.30000E-004	0.00000E+000	1.01684E+000
Rubber Tired Dozers	8.95000E-003	9.17700E-002	4.03100E-002	1.10000E-004	4.13000E-003	3.80000E-003	0.00000E+000	9.65913E+000	9.65913E+000	3.12000E-003	0.00000E+000	9.73723E+000
Tractors/Loaders/Balckhoes	1.64800E-002	1.65820E-001	2.55980E-001	3.60000E-004	7.61000E-003	7.00000E-003	0.00000E+000	3.13453E+001	3.13453E+001	1.01400E-002	0.00000E+000	3.15987E+001
Welders	7.07500E-002	4.14230E-001	4.99110E-001	7.70000E-004	1.42400E-002	1.42400E-002	0.00000E+000	5.64661E+001	5.64661E+001	5.76000E-003	0.00000E+000	5.66102E+001

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Equipment Type	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction												
Air Compressors	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.17497E-006	1.17497E-006	0.00000E+000	0.00000E+000	1.17332E-006
Cement and Mortar Mixers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Concrete/Industrial Saws	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.85772E-006
Cranes	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.05206E-006	1.05206E-006	0.00000E+000	0.00000E+000	1.30453E-006
Forklifts	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	9.92866E-007	9.92866E-007	0.00000E+000	0.00000E+000	9.84903E-007
Generator Sets	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.23848E-006	1.23848E-006	0.00000E+000	0.00000E+000	1.06048E-006
Graders	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	5.73664E-006	5.73664E-006	0.00000E+000	0.00000E+000	0.00000E+000
Pavers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	6.45811E-006	6.45811E-006	0.00000E+000	0.00000E+000	6.40631E-006
Paving Equipment	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	5.58887E-006	5.58887E-006	0.00000E+000	0.00000E+000	0.00000E+000
Rollers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Rubber Tired Dozers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.03529E-006	1.03529E-006	0.00000E+000	0.00000E+000	1.02699E-006
Tractors/Loaders/Backhoes	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.27611E-006	1.27611E-006	0.00000E+000	0.00000E+000	9.49405E-007
Welders	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.23968E-006	1.23968E-006	0.00000E+000	0.00000E+000	1.23652E-006

Fugitive Dust Mitigation

Yes/No	Mitigation Measure	Mitigation Input	Mitigation Input	Mitigation Input
No	Soil Stabilizer for unpaved Roads	PM10 Reduction	PM2.5 Reduction	

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

No	Replace Ground Cover of Area Disturbed	PM10 Reduction		PM2.5 Reduction			
No	Water Exposed Area	PM10 Reduction		PM2.5 Reduction		Frequency (per day)	
No	Unpaved Road Mitigation	Moisture Content %		Vehicle Speed (mph)	0.00		
No	Clean Paved Road	% PM Reduction	0.00				

Phase	Source	Unmitigated		Mitigated		Percent Reduction	
		PM10	PM2.5	PM10	PM2.5	PM10	PM2.5
Architectural Coating	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Architectural Coating	Roads	0.00	0.00	0.00	0.00	0.00	0.00
Building Construction	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Building Construction	Roads	0.01	0.00	0.01	0.00	0.00	0.00
Demolition	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Demolition	Roads	0.00	0.00	0.00	0.00	0.00	0.00
Grading	Fugitive Dust	0.01	0.01	0.01	0.01	0.00	0.00
Grading	Roads	0.00	0.00	0.00	0.00	0.00	0.00
Paving	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Paving	Roads	0.00	0.00	0.00	0.00	0.00	0.00
Site Preparation	Fugitive Dust	0.01	0.00	0.01	0.00	0.00	0.00
Site Preparation	Roads	0.00	0.00	0.00	0.00	0.00	0.00

Operational Percent Reduction Summary

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Category	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction												
Architectural Coating	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Consumer Products	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Hearth	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Landscaping	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Mobile	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Natural Gas	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Water Indoor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Water Outdoor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Operational Mobile Mitigation

Project Setting:

Mitigation	Category	Measure	% Reduction	Input Value 1	Input Value 2	Input Value 3
No	Land Use	Increase Density	0.00			
No	Land Use	Increase Diversity	0.08	0.28		
No	Land Use	Improve Walkability Design	0.00			
No	Land Use	Improve Destination Accessibility	0.00			
No	Land Use	Increase Transit Accessibility	0.25			
No	Land Use	Integrate Below Market Rate Housing	0.00			
	Land Use	Land Use SubTotal	0.00			

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

No	Neighborhood Enhancements	Improve Pedestrian Network			
No	Neighborhood Enhancements	Provide Traffic Calming Measures			
No	Neighborhood Enhancements	Implement NEV Network	0.00		
	Neighborhood Enhancements	Neighborhood Enhancements Subtotal	0.00		
No	Parking Policy Pricing	Limit Parking Supply	0.00		
No	Parking Policy Pricing	Unbundle Parking Costs	0.00		
No	Parking Policy Pricing	On-street Market Pricing	0.00		
	Parking Policy Pricing	Parking Policy Pricing Subtotal	0.00		
No	Transit Improvements	Provide BRT System	0.00		
No	Transit Improvements	Expand Transit Network	0.00		
No	Transit Improvements	Increase Transit Frequency	0.00		
	Transit Improvements	Transit Improvements Subtotal	0.00		
		Land Use and Site Enhancement Subtotal	0.00		
No	Commute	Implement Trip Reduction Program			
No	Commute	Transit Subsidy			
No	Commute	Implement Employee Parking "Cash Out"			
No	Commute	Workplace Parking Charge			
No	Commute	Encourage Telecommuting and Alternative Work Schedules	0.00		
No	Commute	Market Commute Trip Reduction Option	0.00		
No	Commute	Employee Vanpool/Shuttle	0.00		2.00

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

No	Commuter	Provide Ride Sharing Program			
	Commuter	Commuter Subtotal	0.00		
No	School Trip	Implement School Bus Program	0.00		
		Total VMT Reduction	0.00		

Area Mitigation

Measure Implemented	Mitigation Measure	Input Value
No	Only Natural Gas Hearth	
No	No Hearth	
No	Use Low VOC Cleaning Supplies	
No	Use Low VOC Paint (Residential Interior)	150.00
No	Use Low VOC Paint (Residential Exterior)	150.00
No	Use Low VOC Paint (Non-residential Interior)	150.00
No	Use Low VOC Paint (Non-residential Exterior)	150.00
No	Use Low VOC Paint (Parking)	150.00
No	% Electric Lawnmower	
No	% Electric Leafblower	
No	% Electric Chainsaw	

Energy Mitigation Measures

Measure Implemented	Mitigation Measure	Input Value 1	Input Value 2
No	Exceed Title 24		

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

No	Install High Efficiency Lighting		
No	On-site Renewable		

Appliance Type	Land Use Subtype	% Improvement
ClothWasher		30.00
DishWasher		15.00
Fan		50.00
Refrigerator		15.00

Water Mitigation Measures

Measure Implemented	Mitigation Measure	Input Value 1	Input Value 2
No	Apply Water Conservation on Strategy	0.00	20.00
No	Use Reclaimed Water	0.00	0.00
No	Use Grey Water	0.00	
No	Install low-flow bathroom faucet	32.00	
No	Install low-flow Kitchen faucet	18.00	
No	Install low-flow Toilet	20.00	
No	Install low-flow Shower	20.00	
No	Turf Reduction	0.00	
No	Use Water Efficient Irrigation Systems	6.10	
No	Water Efficient Landscape	0.00	0.00

Solid Waste Mitigation

Northwind Senior Apartments Project

EMFAC Off-Model Adjustment Factors for Gasoline Light Duty Vehicle to Account for the SAFE Vehicle Rule Applied

Mitigation Measures	Input Value
Institute Recycling and Composting Services Percent Reduction in Waste Disposed	

APPENDIX B
PHASE I ENVIRONMENTAL SITE ASSESSMENT
REPORT

PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

**Vacant Land
6983 Pentz Road
Paradise, California 95969
(APN: 050-082-023)**

Prepared For:

**Pacific West Communities, Inc.
430 East State Street, Suite 100
Eagle, Idaho 83616**

**KCE-2022-427E-R1
November 14, 2022**

TABLE OF CONTENTS

I.	SUMMARY AND CONCLUSIONS	1
II.	INTRODUCTION	3
A.	Purpose.....	3
B.	Detailed Scope-of-Services.....	4
C.	Significant Assumptions	4
D.	Limitations and Exceptions.....	4
E.	Special Terms and Conditions	5
F.	User Reliance	5
III.	SITE DESCRIPTION	6
A.	Location and Description.....	6
B.	Site and Vicinity General Characteristics.....	6
C.	Current Use of the Property	6
D.	Description of Structures and Other Improvements	6
E.	Current Uses of the Adjoining Properties.....	6
IV.	USER PROVIDED INFORMATION	7
A.	Title Records.....	7
B.	Environmental Liens or Activity and Use Limitations	7
C.	Specialized Knowledge.....	7
D.	Commonly Known or Reasonably Ascertainable Information.....	7
E.	Valuation Reduction for Environmental Issues	8
F.	Owner, Property Manager, and Occupant Information	8
G.	Reason for Performing Phase I	8
H.	Vapor Encroachment	8
I.	Other	8
V.	RECORDS REVIEW.....	8
A.	Standard Environmental Record Sources	8
A1.	Subject Site	8
A2.	Site Vicinity	9
B.	Additional Environmental Record Sources	9
C.	Physical Setting Source(s)	11
C1.	Topography.....	11
C2.	Geology/Hydrogeology	11

D.	Historical Use Information - Subject Property	12
D1.	Building Records	12
D2.	Historic Maps	13
D3.	Aerial Photographs	13
D4.	Historical Topographic Maps	13
D5.	City Directory Abstract	14
D6.	Recorded Land Title Records	14
E.	Historical Use Information - Adjoining Properties.....	14
E1.	Historic Maps	14
E2.	Aerial Photographs	14
E3.	Historical Topographic Maps	15
E4.	City Directory Abstract	15
VI.	SITE RECONNAISSANCE	15
A.	Non-ASTM Scope Considerations	15
B.	General Site Setting	16
C.	Observations	16
D.	Site Vicinity Reconnaissance.....	18
VII.	INTERVIEWS	18
A.	Interview with Owner	18
B.	Interview with Site Manager.....	18
C.	Interviews with Occupants.....	18
D.	Interviews with Others.....	19
E.	Interviews with Local Government Officials	19
VIII.	VAPOR ENCROACHMENT SCREEN	19
A.	Subject Property - VES.....	19
B.	Site Vicinity - VES	20
IX.	FINDINGS.....	20
X.	SIGNATURE.....	22
XI.	QUALIFICATIONS	22

APPENDICES

- Appendix A. Figures 1 through 3
- Appendix B. Environmental Data Resources, Inc. (EDR) Radius Map Report
- Appendix C. Regulatory Records Search
 - Appendix C-1. California State Regional Water Quality Control Board
 - Appendix C-2. California State Department of Toxic Substance Control
 - Appendix C-3. Butte County – Department of Health Services –
Environmental Health Division
 - Appendix C-4. Butte County Fire Department
 - Appendix C-5. Town of Paradise – Clerk’s Office – Fire Department
 - Appendix C-6. Hydrology Information
 - Appendix C-7. National Wetlands Inventory – Wetland Map
 - Appendix C-8. Federal Emergency Management Agency – National Flood
Hazard Map
- Appendix D. Historical Research Documentation
 - Appendix D-1. Town of Paradise – Clerk’s Office – Building Department
and Butte County Property Search Database
 - Appendix D-2. Historic Maps
 - Appendix D-3. Aerial Photographs
 - Appendix D-4. Historical Topographic Maps
 - Appendix D-5. City Directory Abstract
- Appendix E. User Questionnaire and Title Report
- Appendix F. Site Photographs
- Appendix G. Vapor Encroachment Screen
- Appendix H. Qualifications of Environmental Professionals

I. SUMMARY AND CONCLUSIONS

KCE Matrix, Inc. (KCE Matrix) has been retained by Pacific West Communities, Inc. (referred to as “the client” and/or “the user” in this report) to conduct a Phase I Environmental Site Assessment (ESA) in accordance with the American Society of Testing and Materials (ASTM) standard practice E1527-13 for the property consisting of vacant land that has the Assessor’s Parcel Number (APN) of 050-082-023, and located at 6983 Pentz Road, Paradise, California (referred to as “the subject property” in this report).

The following summarizes the findings of this Phase I ESA:

- The subject property is located in an essentially residential area on the northwest corner of the intersection of Pentz Road and Kingdom Court, in Paradise, California. The property consists of one parcel of land with Assessor’s Parcel Number (APN): 050-082-023; measures approximately 72,540 square feet (or approximately 1.66 acres) in size; has a rectangular-shaped configuration; appears to be relatively flat and has an approximate elevation of 2,200 feet above mean sea level. The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. The site can be accessed along the entire eastern property line from Pentz Road, from the entire southern property line from Kingdom Court and from the vacant strip of land along the entire northern property line.
- Based on the historic information obtained during this investigation (including research of Sanborn Maps, Aerial Photographs, regulatory records and city directories), the subject property was occupied by a residential structure, that was constructed in approximately 1940, along with a large storage structure (barn). The barn was demolished in 1996 and the residential structure was demolished and removed from the site as of 2006. From 2006 and through the present, the site consisted of vacant unoccupied land with a dirt surface and no structures. In 1952, the areas surrounding the structure on site appears to have been used for agricultural purposes. As of 2021, a permit issued by the Town of Paradise was granted to a construction company known as Fiberco General Engineering Contractors, Inc. and the subject property has been used for temporary storage and as a staging area for construction of utilities elsewhere in the Town of Paradise since that time. On October 27, 2022, a representative of KCE Matrix conducted site inspection of the subject property and confirmed the site is currently vacant unoccupied land with a dirt/gravel surface and no structures. During site reconnaissance, KCE Matrix observed that the subject property is currently occupied by a construction company and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.
- As reported in the search of government environmental databases and as presented in Section V-A2 of this report, the subject property is located in an essentially residential

area where information related to environmental assessment, remediation and/or management practices is documented for other properties in the general vicinity of the subject site. Only one such other site was identified as being located within a radius of approximately 500 feet of the subject property. This other site was identified as an historic and current orchard property (known as Noble Orchard) that has been and/or was operational for an extended period of time. Based on the information obtained during this investigation and the site vicinity reconnaissance performed, KCE Matrix did not discover or observe subsurface environmental site assessment activity that would indicate potential migration of contamination from this other nearby site towards the subject property.

- Based on the Vapor Encroachment Screen (VES) conducted during this investigation, a Vapor Encroachment Condition (VEC) originating from the subject property could not be ruled out. Furthermore, based on the research conducted during this investigation, a VEC originating from other nearby sites in the vicinity for the subject property could not be ruled out.
- KCE Matrix conducted a search of groundwater monitoring data as maintained by the State Water Resources Control Board (SWRCB) – Geotracker database for hydrology information for the site and site vicinity. Based on data collected during environmental site assessment activities from soil borings located at a site that is approximately 1.25-miles south of the subject property, the groundwater was encountered at an approximate depth of 14 feet below the surface in August of 2019. Based on monitoring data collected from wells located at a second site that is approximately 1.54-miles southwest of the subject property, the depth to groundwater was reported to range between 5.35 feet and 15.27 feet below the surface as monitored in February of 2010.

The ASTM standard practice E1527-13 defines the following terms:

Recognized Environmental Condition (REC) as “the presence or likely presence of any hazardous substances or petroleum products in, on or at a property: (1) due to release to the environment; (2) under conditions indicative of a release to the environment; or (3) under conditions that pose a material threat of a future release to the environment”.

Historical Recognized Environmental Condition (HREC) as “a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria as established by the regulatory authority, without subjecting the property to any required controls”.

Controlled Recognized Environmental Condition (CREC) as “a recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls”.

KCE Matrix has performed a *Phase I Environmental Site Assessment* in conformance with the scope and limitations of ASTM Practice E1527-13 of the property consisting of vacant land with the APN of 050-082-023, and located at 6983 Pentz Road, Paradise, California, the subject property. Any exceptions to, or deletions from, this practice are described in this report. This assessment has revealed no evidence of a REC, an HREC or a CREC in connection with the subject property, except as follows:

- REC – Historic agricultural land use. The subject property (primarily the eastern portion of the site) has been historically used as agricultural land. The exact dates of agricultural usage were not determined during this investigation, but began some time prior to 1952 and the site was no longer used for agricultural purposes as of 1969. As such, KCE Matrix recommends that subsurface environmental assessment work be performed for the subject property to determine whether or not the property has been impacted by the potential former usage of pesticides over some period of time, and to assess any potential impact from metals (such as Arsenic). The proposed subsurface assessment work should also be conducted in a manner so as to address potential vapor encroachment conditions.

In addition, KCE Matrix defines an environmental concern as a matter that does not necessarily qualify as a REC but warrants disclosure and possible further evaluation. Based on the work performed and the historic and current information obtained during this investigation, the following environmental concerns were identified:

- Environmental Concern: During this assessment, a representative of KCE Matrix conducted site inspection of the subject property and observed that the site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. This usage of the site began in approximately October of 2021 and has continued since that time. Based on site inspection, various small quantities of what appear to be hazardous materials along with various equipment are stored at the subject property and not all such materials appear to be stored with secondary containment and in a fashion so as to minimize any potential impact to the surface and subsurface soil. As such, KCE Matrix recommends that any and all such hazardous materials and equipment be stored in a manner so as to eliminate any potential unauthorized release of hazardous materials at the subject property.

II. INTRODUCTION

A. Purpose

This report presents the results of a Phase I ESA conducted by KCE Matrix for the subject property. The purpose of this investigation is to research and report existing environmental conditions for the subject property based on the American Society of Testing and Materials (ASTM) standard practice E1527-13. Performing a Phase I ESA according to the ASTM Standard E1527-13 is

intended to permit a user to satisfy one of the requirements in qualifying for the *innocent landowner*, *contiguous property owner*, or *bona fide prospective purchaser* limitations on Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) liability (the “*landowner liability protections*,” or “*LLPs*”). This practice constitutes “all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice”.

B. Detailed Scope-of-Services

The scope of services performed during this Phase I ESA project includes:

1. Collecting available information concerning the property as it pertains to:
 - a. Past land use
 - b. Past owners
 - c. Location of buried storage tanks, hazardous waste storage, wastewater treatment facilities and/or on-site landfills, etc.
 - d. Types of chemicals used on site, past and present
 - e. Geologic and hydrogeologic features
 - f. Past geotechnical investigations (if available)
 - g. Other data pertinent to the specific site
2. Conducting a site visit to:
 - a. Identify vegetative features
 - b. Locate surface waters
 - c. Assess physical features
 - d. Observe adjacent land use
 - e. Gather evidence of indiscriminate and/or illegal waste disposal
3. Conducting a review of records maintained by regulatory agencies as follows:
 - a. Reviewing regulatory files regarding the property in question
 - b. Contacting appropriate regulatory personnel
4. Conducting a Vapor Encroachment Screen.
5. Preparing the Phase I Environmental Site Assessment Report, summarizing our findings and inclusive of supporting documentation.

C. Significant Assumptions

No significant assumptions were made during the course of this investigation.

D. Limitations and Exceptions

This type of ESA does not include air, soil or water sampling; or sampling of building materials. Site-specific conditions such as soil deposits and rock formations may vary in thickness, lithology, saturation strength, and other properties across any site beyond what available documentation indicates. Therefore, it is possible that undocumented or concealed improvements or alterations to the property could exist beyond the inquiry of the activities conducted during this site assessment.

In addition, environmental changes, either naturally occurring or artificially induced, may cause changes or alterations (which can be significant) to the property as compared to the conditions found at the time that this assessment was conducted.

Based on the best available investigative technologies, no amount of assessment can guarantee that the subject property does not contain contaminants or hazardous substances. The activities conducted during this limited investigation cannot identify all potential concerns for the subject property, and do not eliminate the possibility that the subject property is completely free of environmental concerns.

KCE Matrix has analyzed and evaluated the information collected during this investigation using what we believe to be the currently applicable assessment and engineering techniques and principles. KCE Matrix assumes no liability from other parties involved in losses sustained as a result of decisions made based on interpretations of this report. KCE Matrix makes no warranty, either expressed or implied, regarding the work conducted, except that our services were performed in accordance with the generally accepted professional principles and practices existing for such work.

In performing this Phase I assessment, KCE Matrix requested that the records of several regulatory agencies be searched, obtained (if applicable), reviewed and evaluated. These agencies included but were not limited to the Regional Water Quality Control Board (RWQCB) – Central Valley Region. As of the date of this report, a response to the request for regulatory records was not received from this agency and is therefore considered as a data gap.

There are no other significant data gaps to report during this investigation.

E. Special Terms and Conditions

This report and all information obtained during this site assessment are considered confidential and will not be released without written permission by the owner of the subject property, the owner authorized entity conducting this assessment, or as required by law. The owner of the subject property is typically responsible for mitigation of contamination, corrective or remedial action, and disclosure of any information related to environmental issues that may or may not be discovered during this site assessment.

F. User Reliance

This report was prepared for the exclusive use of the client and/or user. No other person or entity is entitled to rely upon this report without the specific written authorization of KCE Matrix. Any such reliance by any third party is at the sole risk of said third party, and such reliance is subject to the same limitations, terms and conditions as the original contract with the client. KCE Matrix specifically disclaims any responsibility for any unauthorized use of this report.

III. SITE DESCRIPTION

A. Location and Description

The subject property is located on the northwest corner of the intersection of Pentz Road and Kingdom Court, in Paradise, California. A Location Map, Site Plan, and Site Vicinity Map are presented in Appendix A, as Figures 1, 2 and 3, respectively.

B. Site and Vicinity General Characteristics

The subject property is located in an essentially residential area. The property consists of one parcel of land with Assessor's Parcel Number (APN): 050-082-023; measures approximately 72,540 square feet (or approximately 1.66 acres) in size; has a rectangular-shaped configuration; appears to be relatively flat and has an approximate elevation of 2,200 feet above mean sea level. The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. The site can be accessed along the entire eastern property line from Pentz Road, from the entire southern property line from Kingdom Court and from the vacant strip of land along the entire northern property line.

C. Current Use of the Property

The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.

D. Description of Structures and Other Improvements

The property consists of one parcel of land with Assessor's Parcel Number (APN): 050-082-023; measures approximately 72,540 square feet (or approximately 1.66 acres) in size; has a rectangular-shaped configuration; appears to be relatively flat and has an approximate elevation of 2,200 feet above mean sea level. The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. The site can be accessed along the entire eastern property line from Pentz Road, from the entire southern property line from Kingdom Court and from the vacant strip of land along the entire northern property line.

E. Current Uses of the Adjoining Properties

The adjoining properties are comprised of the following:

- North: Vacant land, residential properties, Mulberry Lane, vacant land and other residential properties.
- East: Pentz Road, intersection of Pentz Road and Apple View Way, residential properties, agricultural land and other vacant properties.
- South: Kingdom Court, a Church property and vacant land.
- West: Vacant land and residential properties.

IV. USER PROVIDED INFORMATION

A user questionnaire was completed by the client and was provided to KCE Matrix during this investigation. A copy of the completed user questionnaire is presented in Appendix E of this report.

A. Title Records

The client provided KCE Matrix with a copy of a Preliminary Title Report for the subject property as prepared by First American Title Company, dated October 12, 2022. Based on review of the title report for the subject property, no environmental liens and/or Activity and Use Limitations (AUL's), which indicate a past or present release of a hazardous substance or petroleum products, were presented or recorded. A copy of the title report as prepared by First American Title Company dated October 12, 2022 is presented in Appendix E.

B. Environmental Liens or Activity and Use Limitations

The user reported the Activity and Use Limitations (AUL's) that are filed or recorded against the property include land use zoning and conditional use permit limitations. The user also reported that he is not aware of any environmental cleanup liens that are filed or recorded against the property under federal, tribal, state or local law.

C. Specialized Knowledge

The user did not report any specialized knowledge related to the property or to nearby properties.

D. Commonly Known or Reasonably Ascertainable Information

The user reported the property previously contained a residential structure and was used as an orchard, and currently the site is being temporarily used as a "lay-down yard" for a utility construction company. The user did not report any other commonly known or reasonably ascertainable information related to the property.

E. Valuation Reduction for Environmental Issues

The user reported that the purchase price of this property reasonably reflects the fair market value of the property. The user did not report any other information with regard to the value of the subject property based on environmental issues.

F. Owner, Property Manager, and Occupant Information

The user identified Mr. William “Bill” Martin as a site contact for the subject property. The user did not provide any other information regarding the ownership, management or occupancy of the subject property.

G. Reason for Performing Phase I

This Phase I ESA is being performed for the client as part of a due diligence investigation of the subject site for property purchase.

H. Vapor Encroachment

The user reported that the site consists of vacant land that has a septic tank. The user also reported that neither a gas station nor a dry cleaner operates or will operate on site. No additional information was provided regarding the future development of the subject property.

I. Other

The user did not report any other knowledge or experience for the subject property with regard to environmental condition.

V. RECORDS REVIEW

A. Standard Environmental Record Sources

KCE Matrix retained Environmental Data Resources, Inc. (EDR) to conduct a search of government and regulatory databases in an attempt to locate and obtain information about the subject site and other sites in the vicinity of the subject property that may affect the environmental quality of the property. The environmental disclosure report prepared by EDR provides a summary of the various databases searched and is presented in Appendix B of this report. The database research presents summaries for the subject site and selected adjoining properties as follows:

A1. Subject Site

The target property was not listed in any of the databases searched by EDR.

A2. Site Vicinity

With regard to the summary report prepared by EDR, KCE Matrix has prepared the following table that shows one other site located in the general vicinity of the subject property up to a reported radius of approximately 500 feet. This summary table includes the site name, the reported distance from the subject property, as well as a brief summary of the information reported by the databases searched.

Facility Name	Address	Dist. (ft)	Database	Regulatory History and/or Reported Impact and Current Status
Noble Orchard	7050 Pentz Rd	385 NNE	HIST UST	Reported one UST with a capacity of 1,000 gallons, installed in 1970 and used for Diesel.
Noble Orchard	7050 Pentz Rd	385 NNE	UST	Reported the permitting agency as "Butte County". The capacity of the tank is not reported.
Noble Orchard	7050 Pentz Rd	385 NNE	SWEEPS UST	Reported one UST with a capacity of 1,000 gallons used for Diesel.
Noble Orchard	7050 Pentz Rd	385 NNE	CA FID UST	Reported the facility ID number and the status as "Active".

B. Additional Environmental Record Sources

Regional Water Quality Control Board

On October 25, 2022, KCE Matrix submitted a written request to the Regional Water Quality Control Board (RWQCB), Central Valley Region – File Review Department; for information regarding Underground Storage Tanks (USTs) and hazardous materials for the subject property. On October 27, 2022, KCE Matrix received a reply email from the RWQCB confirming receipt of the records request, and that their staff is reviewing their records and will reply when their research is completed. As of the date of this report, KCE Matrix has not received a response to the specific request for information from the RWQCB for the subject site. A copy of the written request made by KCE Matrix dated October 25, 2022 and the RWQCB response email dated October 27, 2022 are presented in Appendix C-1.

KCE Matrix also researched the records maintained by the State Water Resources Control Board (SWRCB) – Geotracker Database online for information regarding Underground Storage Tanks (UST) and hazardous materials for the subject property. This database typically contains records that are also maintained by the various local RWQCB's. The results of this online research indicated that the SWRCB-RWQCB does not maintain such records for the subject property.

Department of Toxic Substances Control

On October 25, 2022, KCE Matrix submitted a written request to the California State Department of Toxic Substances Control (DTSC) – Sacramento Regional Office for information regarding hazardous materials and USTs for the subject property. Based on a letter response issued by the DTSC to KCE Matrix dated October 26, 2022, this agency does not maintain any records for the

subject property. A copy of the written request made by KCE Matrix dated October 25, 2022 and a copy of the DTSC letter response dated October 26, 2022 are presented in Appendix C-2.

KCE Matrix also researched the records maintained by the DTSC Envirostor Database online for information regarding environmental assessment and remediation matters for the subject property. The results of this online research indicated that the DTSC Envirostor Database does not maintain such records for the subject property.

In addition, KCE Matrix researched the records maintained by the DTSC Hazardous Waste Tracking System database online for information regarding hazardous wastes generated and/or stored at the subject property. The results of this online research indicated that the DTSC Hazardous Waste Tracking System online database does not maintain such records for the subject property.

Butte County – Department of Health Services – Environmental Health Division

On October 25, 2022, KCE Matrix submitted a written request to the Butte County – Environmental Health Division (BCEHD) regarding Underground Storage Tanks (UST) and hazardous materials for the subject property. Based on an email response issued by the BCEHD dated November 4, 2022, this agency does not maintain any records for the subject property. A copy of the of the written request made by KCE Matrix dated October 25, 2022 and a copy of the email response issued by the BCEHD dated November 4, 2022 are presented in Appendix C-3.

Butte County Fire Department

On October 25, 2022, KCE Matrix submitted a written request to the Butte County Fire Department (BCFD) regarding Underground Storage Tanks (USTs) and hazardous materials for the subject property. Based on an email response issued by the BCFD dated November 1, 2022, this agency does not maintain any records for the subject property. A copy of the written request made by KCE Matrix dated October 25, 2022 and a copy of the email response issued by the BCFD dated November 1, 2022 are presented in Appendix C-4.

Town of Paradise – Clerk’s Office – Fire Department

On October 25, 2022, KCE Matrix submitted a written request to the Town of Paradise – Clerk’s Office via their online “NextRequest” portal for records (including the City Fire Department) regarding Underground Storage Tanks (USTs) and hazardous materials for the subject property. Based on an email response issued by the Town of Paradise Clerk’s office dated October 26, 2022, this agency does not maintain any records for the subject property. A copy of the written request made by KCE Matrix dated October 25, 2022 and a copy of the email response issued by the City Clerk’s Office dated October 26, 2022 are presented in Appendix C-5.

California Geologic Energy Management Division

KCE Matrix researched the records maintained by the California Geologic Energy Management (CalGEM) Division (formerly known as the Division of Oil, Gas, and Geothermal Resources (DOGGR)) Database online for information regarding oil and natural gas wells for the subject property and the general vicinity. The results of this online research did not indicate references to any oil and/or natural gas wells as being located on the subject property.

California Environmental Protection Agency

KCE Matrix researched the records maintained by the California Environmental Protection Agency (CalEPA) Database online for information regarding environmentally regulated sites and facilities. The results of this online research indicated that the CalEPA Database does not maintain such records for the subject property.

C. Physical Setting Source(s)

C1. Topography

The site has an approximate elevation of 2,203 feet above mean sea level. A Location Map that shows the physical setting of the subject property and vicinity is presented in Appendix A, as Figure 1.

C2. Geology/Hydrogeology

KCE Matrix conducted a search of groundwater monitoring data as maintained by the State Water Resources Control Board (SWRCB) – Geotracker database for hydrology information for the site and site vicinity. Based on data collected during environmental site assessment activities from soil borings located at a site that is approximately 1.25-miles south of the subject property, the groundwater was encountered at an approximate depth of 14 feet below the surface in August of 2019. Based on monitoring data collected from wells located at a second site that is approximately 1.54-miles southwest of the subject property, the depth to groundwater was reported to range between 5.35 feet and 15.27 feet below the surface as monitored in February of 2010. The groundwater information obtained from the SWRCB Geotracker Database for the general site vicinity is presented in Appendix C-6.

The surface of the subject property is essentially flat and has an approximate elevation of 2,203 feet above mean sea level. With regard to the surrounding area, the general topographic gradient is reported to have a gradual slope down to the southwest based on information obtained from EDR. General subsurface soil and topographic gradient information for the site and vicinity is presented in the Physical Setting Source Summary Report prepared by EDR in Appendix B (pages A-1 through A-6).

The National Wetlands Inventory (NWI) was established by the United States (U.S.) Fish and Wildlife Service (Service) in 1974 to conduct a nationwide inventory of U.S. wetlands to provide

its biologists and others with information on the distribution of wetlands to aid in wetland conservation efforts. Based on review of information obtained from the NWI as maintained by the Service online, the subject property does not appear to be a designated wetland area. The NWI map identifies the following wetland(s) as the closest designated wetland area(s) in the vicinity of the subject property:

Wetland	Distance
Creek	0.13 mi To the west of the subject site
Creek	0.80 mi To the east of the subject site
West Branch Feather River	0.85 mi To the east of the subject site
Creek	0.92 mi To the northwest of the subject site

The NWI wetland map for the vicinity of the subject property is presented in Appendix C-7. In addition, references to the nearest wetland areas are presented in the maps presented in the Executive Summary of the EDR report presented in Appendix B.

The Federal Emergency Management Agency (FEMA) has defined geographic areas as Flood Zones according to varying levels of flood risk. These zones are depicted on a community's Flood Insurance Rate Map (FIRM) or Flood Hazard Boundary Map. Each zone reflects the severity or type of flooding in the area. Based on review of information obtained from the FEMA's National Flood Hazard Layer (NFHL) Viewer online, the subject property is located in Zone X, an area of minimal flood hazard. The NFHL map for the general vicinity of the subject property is presented in Appendix C-8.

D. Historical Use Information - Subject Property

D1. Building Records

On October 25, 2022, KCE Matrix submitted a written request to the Town of Paradise – Clerk's Office via their online "NextRequest" portal for any records that may be maintained by the Town Departments, including the Building Division. On November 3, 2022, KCE Matrix received documentation from the Town of Paradise related to the subject property.

The documentation consisted of records related to a percolation test, site evaluation report, tree falling permit application, demolition permit application and wastewater disposal system operating permit all dated between 1996 and 2021. The documentation also included numerous records related to previous application regarding development of an assisted living facility on the subject property dated 2012.

With regard to site history and based on the records reviewed, a residential structure, that was constructed in approximately 1940, along with a large storage shed (barn) were previously located on site. The residential structure had a wastewater disposal (septic) tank and absorption field system on site. The barn was demolished in 1996, and the residential structure was donated to the Town of Paradise Fire Department. Subsequently, a "burn practice" was conducted by the Fire Department in June of 2006 and the residential structure was no longer on site after that time.

As of 2021, a permit issued by the Town of Paradise was granted to a construction firm known as Fiberco General Engineering Contractors, Inc. to temporarily use the site for storage and staging of equipment and materials related to construction of underground utilities (communication lines).

A copy of the written request made by KCE Matrix dated October 25, 2022 and copies of the records as provided by the Town of Paradise are presented in Appendix D-1.

In addition, KCE Matrix researched the Butte County Property Search Database online for information related to site history information including building permits, certificates of occupancy and notice of violations. Based on review of the information available in the online database, the County reported the property as measuring 1.66 acres of land area. Copies of the documentation obtained based on the online research performed are presented in Appendix D-1.

D2. Historic Maps

KCE Matrix contacted EDR in an effort to obtain historic Sanborn® Maps of the subject site and vicinity. Based on a search of the EDR historic map collection, no such historic maps were maintained by EDR for the subject property and immediate vicinity. A copy of the Sanborn® Map Report dated October 25, 2022 indicating that there is no coverage for the subject property and vicinity is presented in Appendix D-2.

D3. Aerial Photographs

KCE Matrix contacted EDR in an effort to obtain historic and/or recent Aerial Photographs of the subject site and vicinity. Based on the Aerial Photographs for the subject property dated from 1952 through 2016 as obtained by KCE Matrix from EDR, it appears that the site was occupied by a relatively small structure located on the central portion of the property between 1952 and 1998. As of 2006 and through 2016, the property consisted of vacant land with no structures and had a dirt surface. In 1952, the areas surrounding the structure on site appears to have been used as agricultural land. Copies of aerial photographs dated 1952, 1969, 1973, 1975, 1984, 1993, 1998, 2006, 2009, 2012 and 2016 for the subject property and site vicinity obtained by KCE Matrix from EDR are presented in Appendix D-3.

D4. Historical Topographic Maps

KCE Matrix contacted EDR in an effort to obtain historic and/or recent Topographic Maps of the subject site and vicinity. Based on the historic and/or recent Topographic Maps dated 1891 through 2018 as obtained by KCE Matrix from EDR, it appears that the subject property was vacant land between 1891 and 1895. In 1953, the property appears to have been occupied by a structure located on the central portion of the site. Detailed information regarding the subject property was not provided in the Topographic Maps dated 1980 through 2018. Copies of the Historical Topographic Maps dated 1891, 1893, 1895, 1953, 1980, 1994, 2012, 2015 and 2018 as obtained from EDR and reviewed by KCE Matrix are presented in Appendix D-4.

D5. City Directory Abstract

The following presents a review of the City Directory Abstract for the subject property as obtained by KCE Matrix from EDR.

6983 Pentz Ride

Year	Occupant Name
2005	Occupant Unknown
2000	Occupant Unknown
1995	MODRELL, GARY W

A copy of the City Directory Abstract obtained from EDR and reviewed by KCE Matrix is presented in Appendix D-5.

D6. Recorded Land Title Records

The client provided KCE Matrix with a copy of a Preliminary Title Report for the subject property as prepared by First American Title Company, dated October 12, 2022. Based on review of the title report for the subject property, no environmental liens and/or Activity and Use Limitations (AUL's), which indicate a past or present release of a hazardous substance or petroleum products, were presented or recorded. A copy of the title report as prepared by First American Title Company dated October 12, 2022 is presented in Appendix E.

E. Historical Use Information - Adjoining Properties

E1. Historic Maps

KCE Matrix contacted EDR in an effort to obtain historic Sanborn® Maps of the subject site and vicinity. Based on a search of the EDR historic map collection, no such historic maps were maintained by EDR for the subject property and immediate vicinity. A copy of the Sanborn® Map Report dated October 25, 2022 indicating that there is no coverage for the subject property and vicinity is presented in Appendix D-2.

E2. Aerial Photographs

KCE Matrix contacted EDR in an effort to obtain historic and/or recent Aerial Photographs of the subject site and vicinity. Based on the Aerial Photographs for the subject property and vicinity dated from 1952 through 2016 as obtained by KCE Matrix from EDR, the site vicinity consists of essentially residential properties with some areas of agricultural use, and with a few commercial structures. The vicinity to the northeast remains as agricultural land as of 2016. Copies of aerial photographs dated 1952, 1969, 1973, 1975, 1984, 1993, 1998, 2006, 2009, 2012 and 2016 for the subject property and site vicinity obtained by KCE Matrix from EDR are presented in Appendix D-3.

E3. Historical Topographic Maps

KCE Matrix contacted EDR in an effort to obtain historic and/or recent Topographic Maps of the subject site and vicinity. Based on the historic and/or recent Topographic Maps for the subject property and the general vicinity dated from 1891 through 2018 as obtained by KCE Matrix from EDR, the general vicinity appears to have been vacant undeveloped land between 1891 and 1895. From 1953 through 2018, gradual development of residential and/or commercial/retail properties is evident in the general vicinity of the subject property. In 1953, the general vicinity to the northeast, east and south appears to have been used as agricultural land. In 1980, the general vicinity to the northeast and east continue to be used as agricultural land. Copies of the Historical Topographic Maps dated 1891, 1893, 1895, 1953, 1980, 1994, 2012, 2015 and 2018 as obtained from EDR and reviewed by KCE Matrix are presented in Appendix D-4.

E4. City Directory Abstract

Based on review of the City Directory Abstract report obtained by KCE Matrix from EDR; additional information with regard to addresses in the site vicinity is presented. Information with regard to listings that are or were located in the immediate vicinity of the subject property is presented on pages A1 through A23 of the referenced EDR City Directory Abstract report. A copy of the City Directory Abstract report obtained from EDR and reviewed by KCE Matrix is presented in Appendix D-5.

VI. SITE RECONNAISSANCE

A. Non-ASTM Scope Considerations

Site reconnaissance is limited to the areas accessible and inspected during this investigation. There were no buildings or structures observed on site during this investigation. As such, KCE Matrix did not observe any suspect Asbestos Containing Material (ACM) or Lead-Based Paint (LBP) in association with the subject property. No sampling or analysis of any building materials for asbestos content or paint for lead content was conducted during this assessment.

Exposure to asbestos is a health concern when building materials are friable. In working near, repairing or replacing materials such as these, a licensed asbestos abatement contractor, or personnel specially trained in working with or near asbestos should be employed. With regard to LBP, exposure to lead from LBP is a health concern when lead dust is created and can be inhaled or LBP chips are accessible for ingestion. In working near, assessing, repairing or replacing materials that contain LBP, certified lead professionals specially trained in working with or near LBP should be employed.

Radon is a colorless, odorless, naturally occurring, radioactive, inert, gaseous element formed by radioactive decay of radium (Ra) atoms. The United States Environmental Protection Agency (EPA) and the California EPA have prepared a map to assist National, State, and local organizations to target their resources and to implement radon-resistant building codes. It is

important to note that the EPA has found homes with elevated levels of radon in all three designated zones, and the US EPA recommends site-specific testing in order to determine radon levels at a specific location. However, the map does give a valuable indication of the propensity of radon gas accumulation in structures. The map divides the country into three Radon Zones as follows:

- Zone 1: Highest Potential - Counties that have a predicted average indoor radon screening level greater than 4 picocuries per liter (pCi/L), the US EPA Action Limit.
- Zone 2: Moderate Potential - Counties that have a predicted average indoor radon screening level between 2 and 4 pCi/L.
- Zone 3: Low Potential - Counties that have a predicted average indoor radon screening level less than 2 pCi/L.

Radon sampling was not conducted as part of this assessment. Review of the California EPA Map of Radon Zones places the subject property in Zone 3, where average predicted radon levels are less than 2.0 pCi/L. Based upon the radon zone classification, radon is not considered to be a significant environmental concern.

B. General Site Setting

The subject property is located in an essentially residential area on the northwest corner of the intersection of Pentz Road and Kingdom Court, in Paradise, California. The property consists of one parcel of land with Assessor's Parcel Number (APN): 050-082-023; measures approximately 72,540 square feet (or approximately 1.66 acres) in size; has a rectangular-shaped configuration; appears to be relatively flat and has an approximate elevation of 2,200 feet above mean sea level. The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. The site can be accessed along the entire eastern property line from Pentz Road, from the entire southern property line from Kingdom Court and from the vacant strip of land along the entire northern property line.

A Location Map, a Site Plan and a Site Vicinity Map are presented in Appendix A, as Figures 1, 2 and 3, respectively. During site reconnaissance, KCE Matrix also obtained photographs of the subject property and vicinity. Selected photographs are presented in Appendix F.

C. Observations

On October 27, 2022, a representative of KCE Matrix inspected the subject property and recorded the following observations:

	Description	Comments
1	Industrial Use	None observed
2	Gas Station	None observed

	Description	Comments
3	Motor Repair Facility	None observed
4	Commercial Printing Facility	None observed
5	Dry Cleaning	None observed
6	Photo Development Laboratory	None observed
7	Junkyard	None observed
8	Landfill	None observed
9	Waste Treatment	None observed
10	Storage Facility	Temporary storage and staging related to the construction company
11	Disposal Facility	None observed
12	Processing Facility	None observed
13	Recycling Facility	None observed
14	Batteries	None observed
15	Pesticides or agricultural activity	None observed
16	Paints	None observed
17	HazMat storage or use	None observed
18	Potential HazMat storage or use	Small containers of paints and various oil/solvent related to the construction company
19	Dumping or Improper Disposal of HazMat	None observed
20	Drums and Other Containers	None observed
21	PCB's, Transformers, Capacitors or Hydraulic equipment, other equipment	None observed
22	Chemical Products	None observed
23	Asbestos, Age of Building, Blueprints	None observed, the site is vacant land with no structures
24	Paint Condition, LBP	None observed, the site is vacant land with no structures
25	Building Demolition or Renovation	None observed
26	Fill Dirt From Other Locations	Several stockpiles of soil and gravel related to the construction company
27	Stained Soil or Spills	None observed
28	Oil or Gas Wells	None observed
29	Underground Storage Tanks (UST)	None observed
30	Above-ground Storage Tanks (AST's)	Several storage contains related to the construction company
31	Hydraulic Hoists	None observed
32	Clarifier/Wastewater Interceptor	None observed
33	Subsurface or Underground Pipes	None observed, the site is vacant land with no structures
34	Above Ground Pipes	None observed
35	Flooring, Drains or Walls Emitting Foul Odors	None observed
36	Pits, Ponds, Lagoons or Cesspools	None observed
37	Distressed Vegetation	None observed
38	Pools of Liquid, Drains, Sumps, Stains, Septic Tanks	None observed
39	Environmental Liens	None observed
40	Government Notifications Regarding Environmental Violation	None observed
41	HazMat Inventory	None
42	Disclosure of Hazardous Substances or Petroleum Products	None observed
43	Previously Conducted Environmental Site Assessments	None observed
44	Wastewater Generation or Disposal	None observed
45	Water Supply System, Water Usage	None observed

	Description	Comments
46	Regulated Air Emissions	None observed
47	Heating/Cooling	None observed, the site is vacant land with no structures
48	Potable, Irrigation, or Monitoring Wells	None observed
49	Storm water drainage	Dirt/gravel surface
50	Odors	None observed
51	Solid Waste	None observed

In addition, during site reconnaissance, KCE Matrix observed that the subject property is currently occupied by a construction company and the subject property is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.

D. Site Vicinity Reconnaissance

KCE Matrix conducted a brief inspection of the immediate vicinity of the subject property. The adjoining properties are comprised of the following:

- North: Vacant land, residential properties, Mulberry Lane, vacant land and other residential properties.
- East: Pentz Road, intersection of Pentz Road and Apple View Way, residential properties, agricultural land and other vacant properties.
- South: Kingdom Court, a Church property and vacant land.
- West: Vacant land and residential properties.

VII. INTERVIEWS

A. Interview with Owner

KCE Matrix did not conduct an interview with the current owner of the subject property during this investigation.

B. Interview with Site Manager

KCE Matrix did not conduct an interview with the current on site manager of the property during this investigation. During site reconnaissance, KCE Matrix observed that the subject property is currently occupied by a construction company and the subject property is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.

C. Interviews with Occupants

KCE Matrix did not conduct an interview with the current occupant of the property during this investigation. During site reconnaissance, KCE Matrix observed that the subject property is

currently occupied by a construction company and the subject property is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.

D. Interviews with Others

KCE Matrix did not conduct any other interviews regarding the subject property during this investigation.

E. Interviews with Local Government Officials

KCE Matrix did not interview any local government officials regarding the subject property during this investigation.

VIII. VAPOR ENCROACHMENT SCREEN

During this investigation, KCE Matrix conducted a Vapor Encroachment Screen (VES) for the subject property based on the ASTM E2600-10 guideline. The goal of conducting a VES as established by the ASTM, is to identify a potential Vapor Encroachment Condition (VEC) for the subject property, which is defined as the presence or likely presence of Chemicals of Concern (COC) vapors in the subsurface of the subject property caused by the release of vapors from contaminated soil or groundwater either on or near the subject site. Detailed information with regard to the VES evaluation conducted, the methodology used, and the information for other sites located in the immediate vicinity of the subject property as provided to KCE Matrix by EDR is presented in a VES summary report presented in Appendix G of this report.

A. Subject Property - VES

Based on the records reviewed, the subject property was occupied by a residential structure, that was constructed in approximately 1940, along with a large storage structure (barn). The barn was demolished in 1996 and the residential structure was demolished and removed from the site as of 2006. From 2006 and through the present, the site consisted of vacant unoccupied land with a dirt surface and no structures. In 1952, the areas surrounding the structure on site appears to have been used for agricultural purposes.

As of 2021, a permit issued by the Town of Paradise was granted to a construction company known as Fiberco General Engineering Contractors, Inc. and the subject property has been used for temporary storage and as a staging area for construction of utilities elsewhere in the Town of Paradise since that time.

On October 27, 2022, a representative of KCE Matrix conducted site inspection of the subject property and confirmed the site is currently vacant unoccupied land with a dirt/gravel surface and no structures. During site reconnaissance, KCE Matrix observed that the subject property is currently occupied by a construction company and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.

Based on the site history of the subject property which has included agricultural usage over some period of time and based on the current and most recent occupancy of the property both as described above, a VEC originating from the subject site could not be ruled out.

B. Site Vicinity - VES

Based on the research conducted during this investigation for other sites located in the general vicinity of the subject property, only one other site was identified and/or evaluated during this VES. The evaluation of this other site located closest to the subject property consists of the following:

Facility Name	Facility Address	Database
Noble Orchard	7050 Pentz Rd	UST, SWEEPS UST, HIST UST
Noble Orchard	7050 Pentz Rd	CA FID UST

The one site reportedly located in the vicinity of the subject property has been identified as a historic and current orchard property that has been and/or was operational for an extended period of time. Based on the research conducted, this site located at 7050 Pentz Road has had one Underground Storage Tank (UST) with a capacity of 1,000 gallons used for Diesel. Based on reconnaissance of the site vicinity and the research performed during this investigation, KCE Matrix did not discover or observe subsurface environmental site assessment activity that would indicate potential migration of contamination from this other site towards the subject property.

In addition, the properties located immediately adjacent to and to the northeast, east, south and northwest of the subject property were apparently used for agricultural purposes from at least 1952 through at last 1975, and one of these property (identified by the EDR database as Noble Orchard) has remained an active orchard through the present.

Based on the immediate proximity of past agricultural use in relation to the subject property over an extended period of time as presented above, a VEC originating from other nearby sites could not be ruled out for the subject property. Detailed information with regard to the VES evaluation conducted is presented in a VES summary report presented in Appendix G of this report.

IX. FINDINGS

The following presents our findings based on the work performed during this Phase I ESA:

- The subject property is located in an essentially residential area on the northwest corner of the intersection of Pentz Road and Kingdom Court, in Paradise, California. The property consists of one parcel of land with Assessor's Parcel Number (APN): 050-082-023; measures approximately 72,540 square feet (or approximately 1.66 acres) in size; has a rectangular-shaped configuration; appears to be relatively flat and has an approximate elevation of 2,200 feet above mean sea level. The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering

Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. The site can be accessed along the entire eastern property line from Pentz Road, from the entire southern property line from Kingdom Court and from the vacant strip of land along the entire northern property line.

- Based on the historic information obtained during this investigation (including research of Sanborn Maps, Aerial Photographs, regulatory records and city directories), the subject property was occupied by a residential structure, that was constructed in approximately 1940, along with a large storage structure (barn). The barn was demolished in 1996 and the residential structure was demolished and removed from the site as of 2006. From 2006 and through the present, the site consisted of vacant unoccupied land with a dirt surface and no structures. In 1952, the areas surrounding the structure on site appears to have been used for agricultural purposes. As of 2021, a permit issued by the Town of Paradise was granted to a construction company known as Fiberco General Engineering Contractors, Inc. and the subject property has been used for temporary storage and as a staging area for construction of utilities elsewhere in the Town of Paradise since that time. On October 27, 2022, a representative of KCE Matrix conducted site inspection of the subject property and confirmed the site is currently vacant unoccupied land with a dirt/gravel surface and no structures. During site reconnaissance, KCE Matrix observed that the subject property is currently occupied by a construction company and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise.
- As reported in the search of government environmental databases and as presented in Section V-A2 of this report, the subject property is located in an essentially residential area where information related to environmental assessment, remediation and/or management practices is documented for other properties in the general vicinity of the subject site. Only one such other site was identified as being located within a radius of approximately 500 feet of the subject property. This other site was identified as an historic and current orchard property (known as Noble Orchard) that has been and/or was operational for an extended period of time. Based on the information obtained during this investigation and the site vicinity reconnaissance performed, KCE Matrix did not discover or observe subsurface environmental site assessment activity that would indicate potential migration of contamination from this other nearby site towards the subject property.
- Based on the VES conducted during this investigation, a VEC originating from the subject property could not be ruled out. Furthermore, based on the research conducted during this investigation, a VEC originating from other nearby sites in the vicinity for the subject property could not be ruled out.
- KCE Matrix conducted a search of groundwater monitoring data as maintained by the State Water Resources Control Board (SWRCB) – Geotracker database for hydrology information for the site and site vicinity. Based on data collected during environmental

site assessment activities from soil borings located at a site that is approximately 1.25-miles south of the subject property, the groundwater was encountered at an approximate depth of 14 feet below the surface in August of 2019. Based on monitoring data collected from wells located at a second site that is approximately 1.54-miles southwest of the subject property, the depth to groundwater was reported to range between 5.35 feet and 15.27 feet below the surface as monitored in February of 2010.

X. SIGNATURE

KCE Matrix appreciates the opportunity to have provided services for this project. Should you have any questions regarding this report and the assessment work performed, please do not hesitate to contact our office at 818-559-5500.

Sincerely,

KCE Matrix, Inc.



Aram B. Kaloustian, P.E.
Project Manager



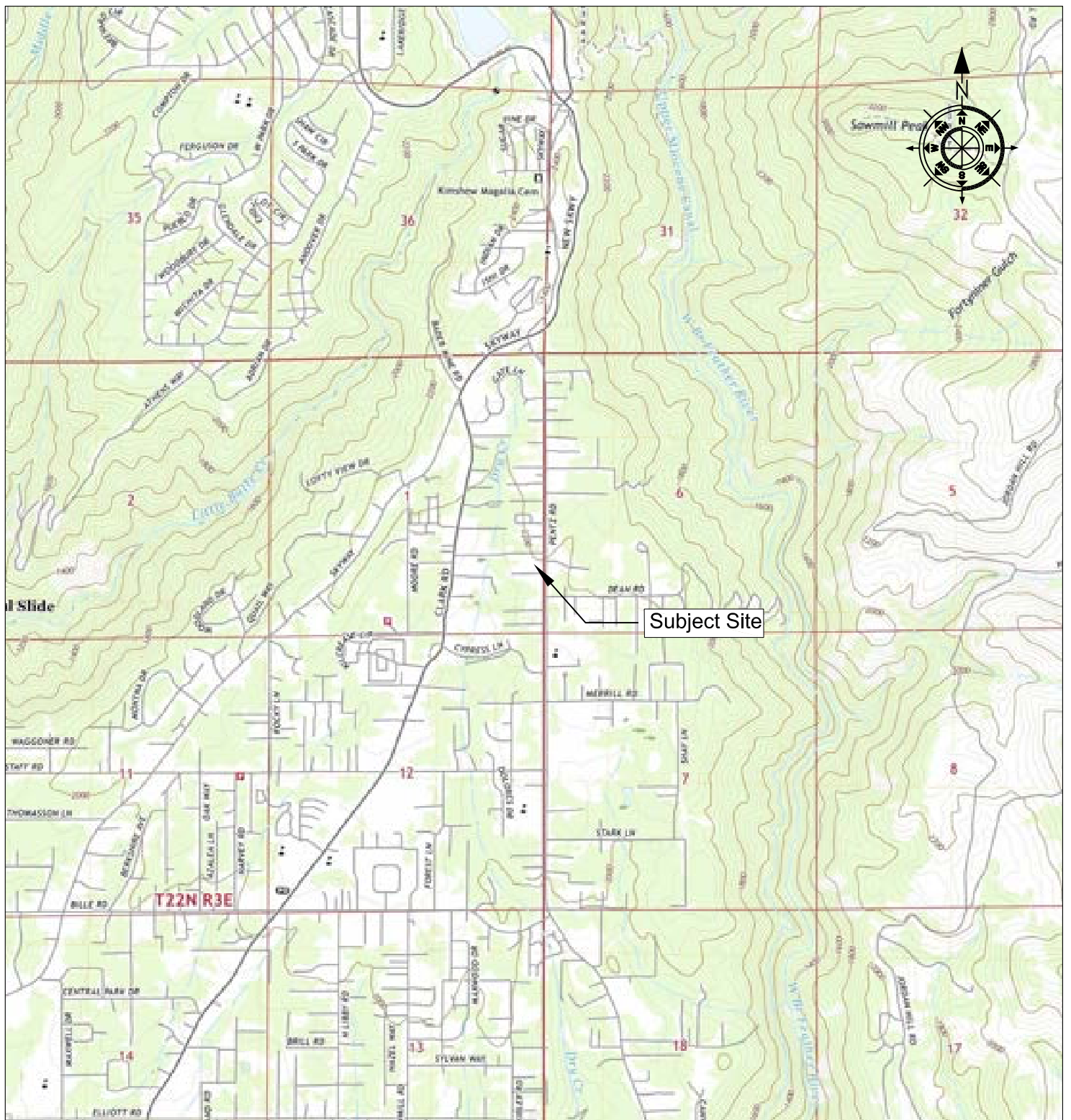
License No. C52428
Expiration Date: 12/31/22

XI. QUALIFICATIONS

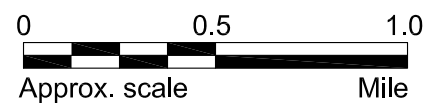
KCE Matrix declares that, to the best of our professional knowledge and belief, we meet the definition of *Environmental Professional* as defined in §312.10 of 40 Code of Federal Regulations (CFR) 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312. Detailed information with regard to the qualifications of the personnel who have worked on this project is presented in Appendix H of this report.

APPENDIX A

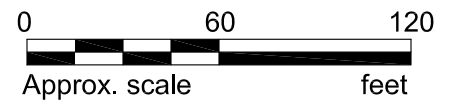
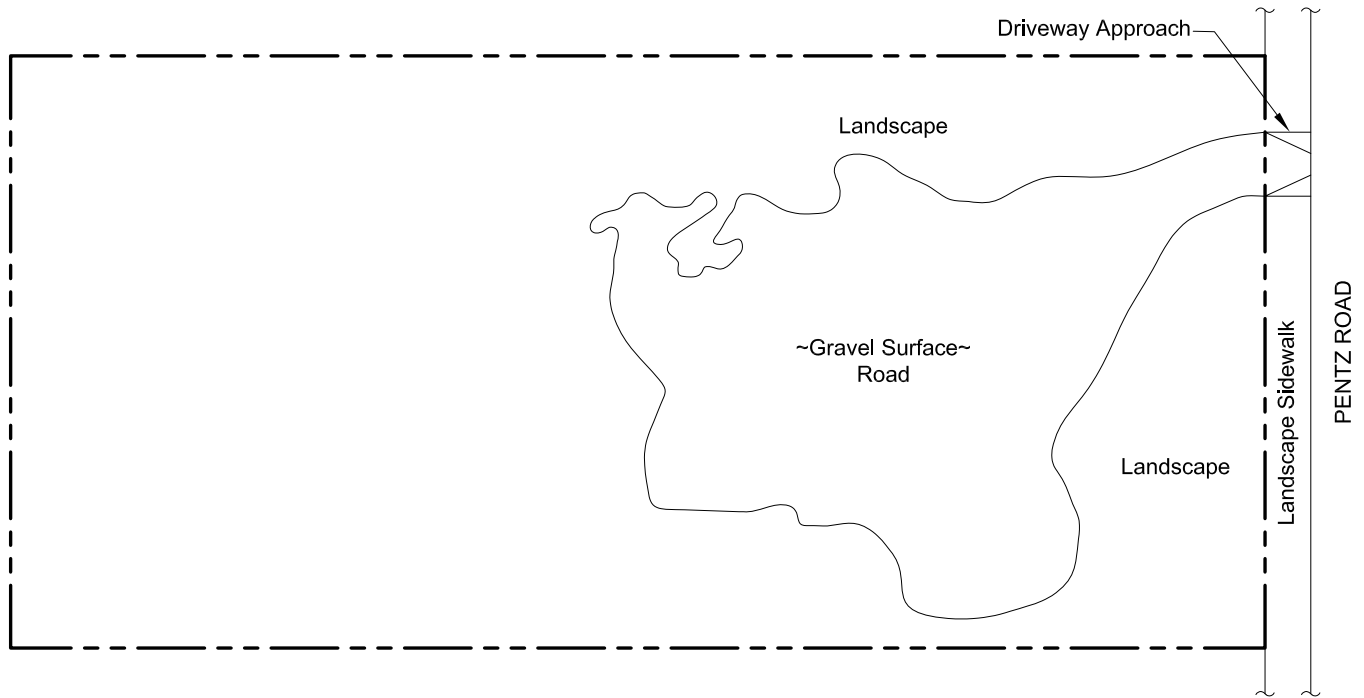
(FIGURES 1 THROUGH 3)



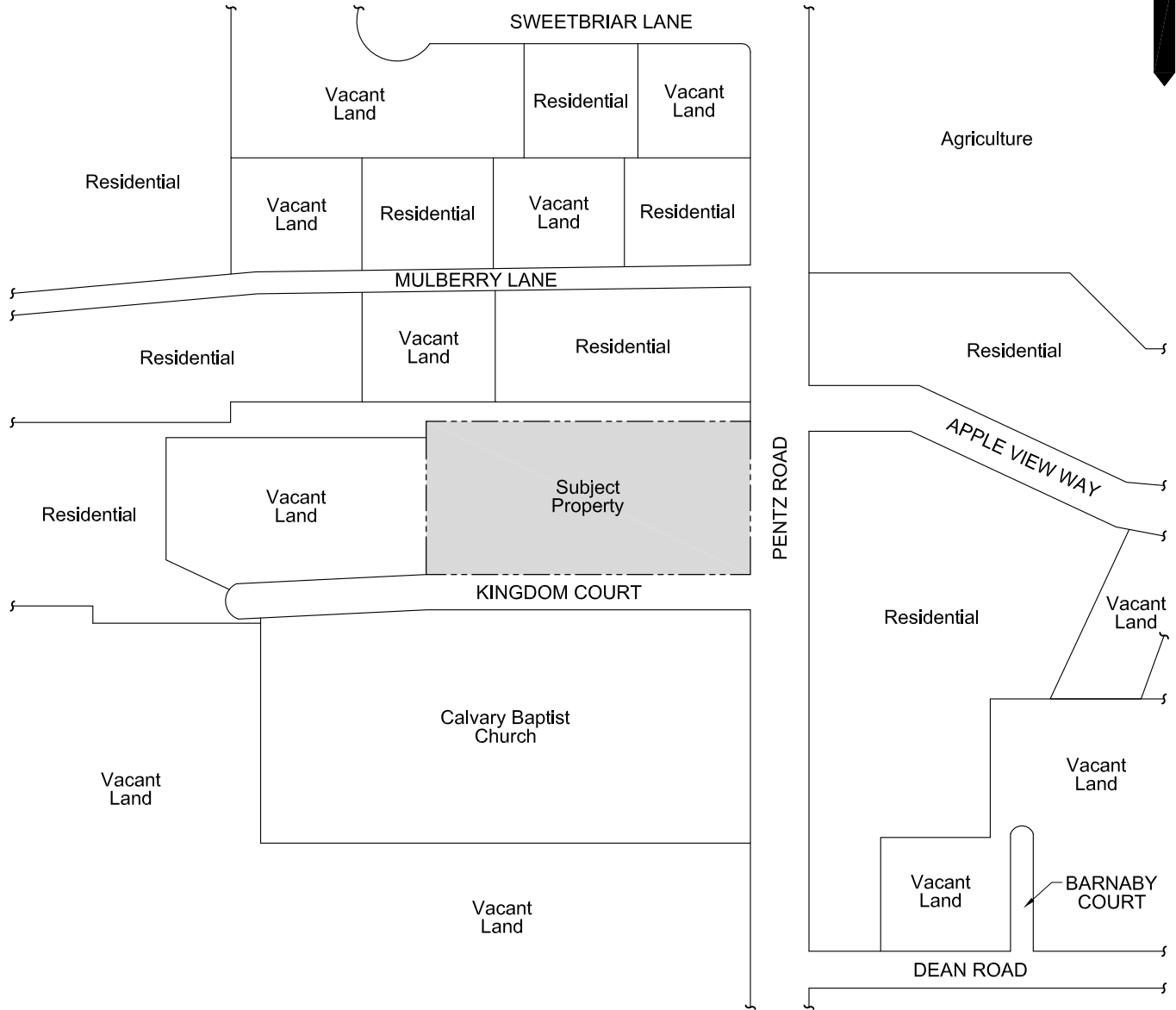
Map Center: Latitude 39.7885, Longitude -121.5804
 Subject site is located on the Paradise east quadrangle (Map Source Year: 2022)



LOCATION MAP



SITE PLAN



SITE VICINITY MAP

APPENDIX B

ENVIRONMENTAL DATA RESOURCES, INC. (EDR)
RADIUS MAP REPORT

Vacant Land

6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

Inquiry Number: 7158980.2s
October 25, 2022

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Overview Map	2
Detail Map	3
Map Findings Summary	4
Map Findings	9
Orphan Summary	18
Government Records Searched/Data Currency Tracking	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum	A-1
Physical Setting Source Summary	A-2
Physical Setting Source Map	A-7
Physical Setting Source Map Findings	A-8
Physical Setting Source Records Searched	PSGR-1

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, LLC. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. This Report is provided on an "AS IS", "AS AVAILABLE" basis. **NO WARRANTY EXPRESS OR IMPLIED IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, LLC AND ITS SUBSIDIARIES, AFFILIATES AND THIRD PARTY SUPPLIERS DISCLAIM ALL WARRANTIES, OF ANY KIND OR NATURE, EXPRESS OR IMPLIED, ARISING OUT OF OR RELATED TO THIS REPORT OR ANY OF THE DATA AND INFORMATION PROVIDED IN THIS REPORT, INCLUDING WITHOUT LIMITATION, ANY WARRANTIES REGARDING ACCURACY, QUALITY, CORRECTNESS, COMPLETENESS, COMPREHENSIVENESS, SUITABILITY, MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, TITLE, NON-INFRINGEMENT, MISAPPROPRIATION, OR OTHERWISE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, LLC OR ITS SUBSIDIARIES, AFFILIATES OR THIRD PARTY SUPPLIERS BE LIABLE TO ANYONE FOR ANY DIRECT, INCIDENTAL, INDIRECT, SPECIAL, CONSEQUENTIAL OR OTHER DAMAGES OF ANY TYPE OR KIND (INCLUDING BUT NOT LIMITED TO LOSS OF PROFITS, LOSS OF USE, OR LOSS OF DATA) INFORMATION PROVIDED IN THIS REPORT.** Any analyses, estimates, ratings, environmental risk levels, or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only an assessment performed by a qualified environmental professional can provide findings, opinions or conclusions regarding the environmental risk or conditions in, on or at any property.

Copyright 2022 by Environmental Data Resources, LLC. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, LLC, or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, LLC or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E1527-21), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

COORDINATES

Latitude (North): 39.7884460 - 39° 47' 18.40"
Longitude (West): 121.5804040 - 121° 34' 49.45"
Universal Transverse Mercator: Zone 10
UTM X (Meters): 621554.9
UTM Y (Meters): 4405031.5
Elevation: 2203 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 12016141 PARADISE EAST, CA
Version Date: 2018

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140725
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	NOBLE ORCHARD	7050 PENTZ RD	UST, SWEEPS UST, HIST UST	Higher	385, 0.073, NNE
A2	NOBLE ORCHARD	7050 PENTZ RD	CA FID UST	Higher	385, 0.073, NNE
3	FRANK FILER	6884 PENTZ ROAD	RCRA NonGen / NLR	Lower	1110, 0.210, SSE
4	CYPRESS LANE PARADIS	1620 CYPRESS LANE	LUST, Cortese, HAZNET, CERS, HWTS	Lower	1992, 0.377, SW

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Lists of Federal NPL (Superfund) sites

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Lists of Federal Delisted NPL sites

Delisted NPL..... National Priority List Deletions

Lists of Federal sites subject to CERCLA removals and CERCLA orders

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Lists of Federal CERCLA sites with NFRAP

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Lists of Federal RCRA facilities undergoing Corrective Action

CORRACTS..... Corrective Action Report

Lists of Federal RCRA TSD facilities

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Lists of Federal RCRA generators

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators
RCRA-VSQG..... RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System

EXECUTIVE SUMMARY

US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROLS..... Institutional Controls Sites List

Federal ERNS list

ERNS..... Emergency Response Notification System

Lists of state- and tribal (Superfund) equivalent sites

RESPONSE..... State Response Sites

Lists of state- and tribal hazardous waste facilities

ENVIROSTOR..... EnviroStor Database

Lists of state and tribal landfills and solid waste disposal facilities

SWF/LF..... Solid Waste Information System

Lists of state and tribal leaking storage tanks

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land
CPS-SLIC..... Statewide SLIC Cases

Lists of state and tribal registered storage tanks

FEMA UST..... Underground Storage Tank Listing
AST..... Aboveground Petroleum Storage Tank Facilities
INDIAN UST..... Underground Storage Tanks on Indian Land

Lists of state and tribal voluntary cleanup sites

VCP..... Voluntary Cleanup Program Properties
INDIAN VCP..... Voluntary Cleanup Priority Listing

Lists of state and tribal brownfield sites

BROWNFIELDS..... Considered Brownfields Sites Listing

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

WMUDS/SWAT..... Waste Management Unit Database
SWRCY..... Recycler Database
HAULERS..... Registered Waste Tire Haulers Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
ODI..... Open Dump Inventory
IHS OPEN DUMPS..... Open Dumps on Indian Land

EXECUTIVE SUMMARY

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL.....	Delisted National Clandestine Laboratory Register
HIST Cal-Sites.....	Historical Calsites Database
SCH.....	School Property Evaluation Program
CDL.....	Clandestine Drug Labs
CERS HAZ WASTE.....	CERS HAZ WASTE
Toxic Pits.....	Toxic Pits Cleanup Act Sites
US CDL.....	National Clandestine Laboratory Register
PFAS.....	PFAS Contamination Site Location Listing
AQUEOUS FOAM.....	Former Fire Training Facility Assessments Listing

Local Lists of Registered Storage Tanks

CERS TANKS.....	California Environmental Reporting System (CERS) Tanks
-----------------	--

Local Land Records

LIENS.....	Environmental Liens Listing
LIENS 2.....	CERCLA Lien Information
DEED.....	Deed Restriction Listing

Records of Emergency Release Reports

HMIRS.....	Hazardous Materials Information Reporting System
CHMIRS.....	California Hazardous Material Incident Report System
LDS.....	Land Disposal Sites Listing
MCS.....	Military Cleanup Sites Listing
SPILLS 90.....	SPILLS 90 data from FirstSearch

Other Ascertainable Records

FUDS.....	Formerly Used Defense Sites
DOD.....	Department of Defense Sites
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR.....	Financial Assurance Information
EPA WATCH LIST.....	EPA WATCH LIST
2020 COR ACTION.....	2020 Corrective Action Program List
TSCA.....	Toxic Substances Control Act
TRIS.....	Toxic Chemical Release Inventory System
SSTS.....	Section 7 Tracking Systems
ROD.....	Records Of Decision
RMP.....	Risk Management Plans
RAATS.....	RCRA Administrative Action Tracking System
PRP.....	Potentially Responsible Parties
PADS.....	PCB Activity Database System
ICIS.....	Integrated Compliance Information System
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database

EXECUTIVE SUMMARY

HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
FINDS.....	Facility Index System/Facility Registry System
UXO.....	Unexploded Ordnance Sites
ECHO.....	Enforcement & Compliance History Information
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
CA BOND EXP. PLAN.....	Bond Expenditure Plan
CUPA Listings.....	CUPA Resources List
DRYCLEANERS.....	Cleaner Facilities
EML.....	Emissions Inventory Data
ENF.....	Enforcement Action Listing
Financial Assurance.....	Financial Assurance Information Listing
HAZNET.....	Facility and Manifest Data
ICE.....	ICE
HIST CORTESE.....	Hazardous Waste & Substance Site List
HWP.....	EnviroStor Permitted Facilities Listing
HWT.....	Registered Hazardous Waste Transporter Database
MINES.....	Mines Site Location Listing
MWMP.....	Medical Waste Management Program Listing
NPDES.....	NPDES Permits Listing
PEST LIC.....	Pesticide Regulation Licenses Listing
PROC.....	Certified Processors Database
Notify 65.....	Proposition 65 Records
UIC.....	UIC Listing
UIC GEO.....	UIC GEO (GEOTRACKER)
WASTEWATER PITS.....	Oil Wastewater Pits Listing
WDS.....	Waste Discharge System
WIP.....	Well Investigation Program Case List
MILITARY PRIV SITES.....	MILITARY PRIV SITES (GEOTRACKER)
PROJECT.....	PROJECT (GEOTRACKER)
WDR.....	Waste Discharge Requirements Listing
CIWQS.....	California Integrated Water Quality System
CERS.....	CERS
NON-CASE INFO.....	NON-CASE INFO (GEOTRACKER)
OTHER OIL GAS.....	OTHER OIL & GAS (GEOTRACKER)
PROD WATER PONDS.....	PROD WATER PONDS (GEOTRACKER)
SAMPLING POINT.....	SAMPLING POINT (GEOTRACKER)
WELL STIM PROJ.....	Well Stimulation Project (GEOTRACKER)
HWTS.....	Hazardous Waste Tracking System
MINES MRDS.....	Mineral Resources Data System

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP..... EDR Proprietary Manufactured Gas Plants

EXECUTIVE SUMMARY

EDR Hist Auto..... EDR Exclusive Historical Auto Stations
EDR Hist Cleaner..... EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA LF..... Recovered Government Archive Solid Waste Facilities List
RGA LUST..... Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Lists of state and tribal leaking storage tanks

LUST: Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

A review of the LUST list, as provided by EDR, has revealed that there is 1 LUST site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>CYPRESS LANE PARADIS</i>	<i>1620 CYPRESS LANE</i>	<i>SW 1/4 - 1/2 (0.377 mi.)</i>	<i>4</i>	<i>13</i>
Database: LUST, Date of Government Version: 05/23/2022				
Status: Open - Site Assessment				
Global Id: T10000013352				

Lists of state and tribal registered storage tanks

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the State Water Resources Control Board's Hazardous Substance Storage Container Database.

A review of the UST list, as provided by EDR, has revealed that there is 1 UST site within approximately 0.25 miles of the target property.

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NOBLE ORCHARD Database: UST, Date of Government Version: 06/06/2022 Facility Id: 52806	7050 PENTZ RD	NNE 0 - 1/8 (0.073 mi.)	A1	9

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Registered Storage Tanks

SWEEPS UST: Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

A review of the SWEEPS UST list, as provided by EDR, and dated 06/01/1994 has revealed that there is 1 SWEEPS UST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NOBLE ORCHARD Status: A Tank Status: A Comp Number: 52806	7050 PENTZ RD	NNE 0 - 1/8 (0.073 mi.)	A1	9

HIST UST: Historical UST Registered Database.

A review of the HIST UST list, as provided by EDR, and dated 10/15/1990 has revealed that there is 1 HIST UST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NOBLE ORCHARD Facility Id: 00000052806	7050 PENTZ RD	NNE 0 - 1/8 (0.073 mi.)	A1	9

CA FID UST: The Facility Inventory Database contains active and inactive underground storage tank locations. The source is the State Water Resource Control Board.

A review of the CA FID UST list, as provided by EDR, and dated 10/31/1994 has revealed that there is 1 CA FID UST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NOBLE ORCHARD Facility Id: 04000547 Status: A	7050 PENTZ RD	NNE 0 - 1/8 (0.073 mi.)	A2	10

EXECUTIVE SUMMARY

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 06/20/2022 has revealed that there is 1 RCRA NonGen / NLR site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FRANK FILER EPA ID:: CAC003013979	6884 PENTZ ROAD	SSE 1/8 - 1/4 (0.210 mi.)	3	10

Cortese: The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites).

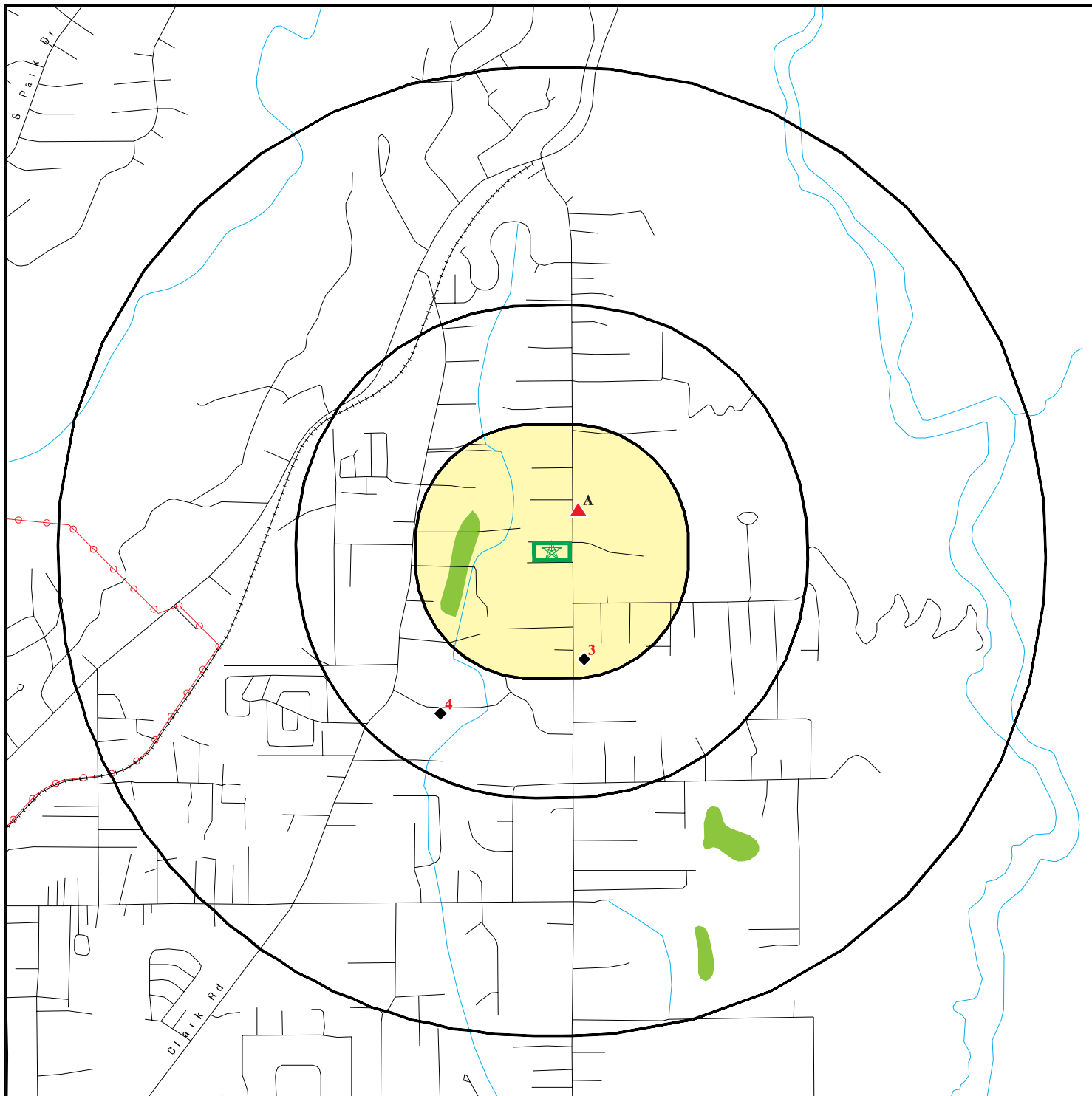
A review of the Cortese list, as provided by EDR, and dated 06/21/2022 has revealed that there is 1 Cortese site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CYPRESS LANE PARADIS Cleanup Status: OPEN - SITE ASSESSMENT	1620 CYPRESS LANE	SW 1/4 - 1/2 (0.377 mi.)	4	13


EXECUTIVE SUMMARY


There were no unmapped sites in this report.

OVERVIEW MAP - 7158980.2S



 Target Property

 Sites at elevations higher than or equal to the target property

 Sites at elevations lower than the target property

 Manufactured Gas Plants


 National Priority List Sites

 Dept. Defense Sites



 Indian Reservations BIA


 Power transmission lines

 Special Flood Hazard Area (1%)

 0.2% Annual Chance Flood Hazard

 National Wetland Inventory

 State Wetlands

 Areas of Concern

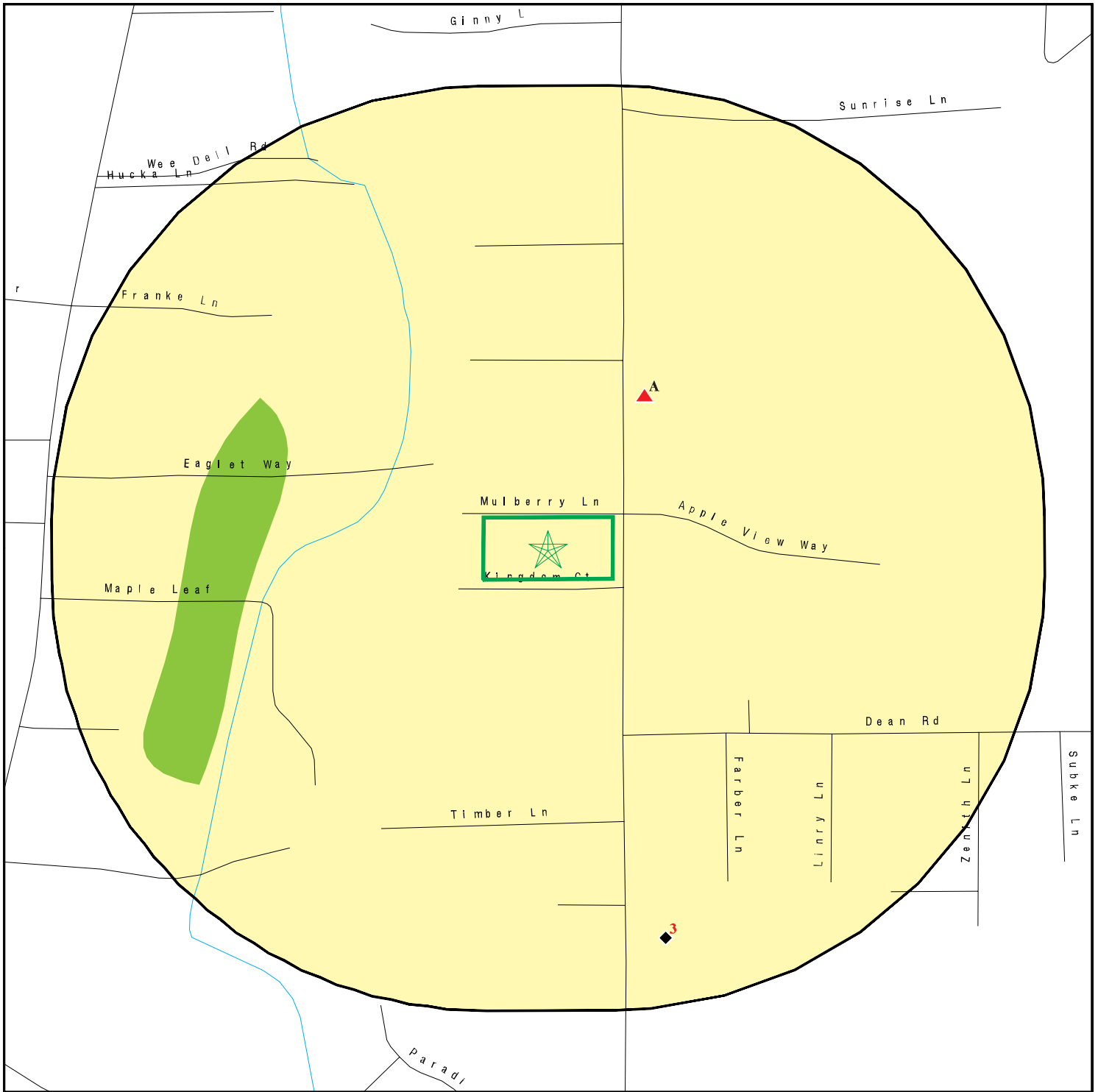









This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.







SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE CA 95969
 LAT/LONG: 39.788446 / 121.580404

CLIENT: KCE Matrix
 CONTACT: Aram Kaloustian
 INQUIRY #: 7158980.2s
 DATE: October 25, 2022 2:55 pm

DETAIL MAP - 7158980.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands
-  Areas of Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE CA 95969
 LAT/LONG: 39.788446 / 121.580404

CLIENT: KCE Matrix
 CONTACT: Aram Kaloustian
 INQUIRY #: 7158980.2s
 DATE: October 25, 2022 2:57 pm

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Lists of Federal NPL (Superfund) sites</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Lists of Federal Delisted NPL sites</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Lists of Federal sites subject to CERCLA removals and CERCLA orders</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Lists of Federal CERCLA sites with NFRAP</i>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<i>Lists of Federal RCRA facilities undergoing Corrective Action</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Lists of Federal RCRA TSD facilities</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Lists of Federal RCRA generators</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	0.001		0	NR	NR	NR	NR	0
<i>Lists of state- and tribal (Superfund) equivalent sites</i>								
RESPONSE	1.000		0	0	0	0	NR	0
<i>Lists of state- and tribal hazardous waste facilities</i>								
ENVIROSTOR	1.000		0	0	0	0	NR	0
<i>Lists of state and tribal landfills and solid waste disposal facilities</i>								
SWF/LF	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<i>Lists of state and tribal leaking storage tanks</i>								
LUST	0.500		0	0	1	NR	NR	1
INDIAN LUST	0.500		0	0	0	NR	NR	0
CPS-SLIC	0.500		0	0	0	NR	NR	0
<i>Lists of state and tribal registered storage tanks</i>								
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250		1	0	NR	NR	NR	1
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
<i>Lists of state and tribal voluntary cleanup sites</i>								
VCP	0.500		0	0	0	NR	NR	0
INDIAN VCP	0.500		0	0	0	NR	NR	0
<i>Lists of state and tribal brownfield sites</i>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
<i>Local Brownfield lists</i>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Landfill / Solid Waste Disposal Sites</i>								
WMUDS/SWAT	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
HAULERS	0.001		0	NR	NR	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Hazardous waste / Contaminated Sites</i>								
US HIST CDL	0.001		0	NR	NR	NR	NR	0
HIST Cal-Sites	1.000		0	0	0	0	NR	0
SCH	0.250		0	0	NR	NR	NR	0
CDL	0.001		0	NR	NR	NR	NR	0
CERS HAZ WASTE	0.250		0	0	NR	NR	NR	0
Toxic Pits	1.000		0	0	0	0	NR	0
US CDL	0.001		0	NR	NR	NR	NR	0
PFAS	0.500		0	0	0	NR	NR	0
AQUEOUS FOAM	TP		NR	NR	NR	NR	NR	0
<i>Local Lists of Registered Storage Tanks</i>								
SWEEPS UST	0.250		1	0	NR	NR	NR	1
HIST UST	0.250		1	0	NR	NR	NR	1
CA FID UST	0.250		1	0	NR	NR	NR	1

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
CERS TANKS	0.250		0	0	NR	NR	NR	0
Local Land Records								
LIENS	0.001		0	NR	NR	NR	NR	0
LIENS 2	0.001		0	NR	NR	NR	NR	0
DEED	0.500		0	0	0	NR	NR	0
Records of Emergency Release Reports								
HMIRS	0.001		0	NR	NR	NR	NR	0
CHMIRS	0.001		0	NR	NR	NR	NR	0
LDS	0.001		0	NR	NR	NR	NR	0
MCS	0.001		0	NR	NR	NR	NR	0
SPILLS 90	0.001		0	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	1	NR	NR	NR	1
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	0.001		0	NR	NR	NR	NR	0
EPA WATCH LIST	0.001		0	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	0.001		0	NR	NR	NR	NR	0
TRIS	0.001		0	NR	NR	NR	NR	0
SSTS	0.001		0	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	0.001		0	NR	NR	NR	NR	0
RAATS	0.001		0	NR	NR	NR	NR	0
PRP	0.001		0	NR	NR	NR	NR	0
PADS	0.001		0	NR	NR	NR	NR	0
ICIS	0.001		0	NR	NR	NR	NR	0
FTTS	0.001		0	NR	NR	NR	NR	0
MLTS	0.001		0	NR	NR	NR	NR	0
COAL ASH DOE	0.001		0	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	0.001		0	NR	NR	NR	NR	0
RADINFO	0.001		0	NR	NR	NR	NR	0
HIST FTTS	0.001		0	NR	NR	NR	NR	0
DOT OPS	0.001		0	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	0.001		0	NR	NR	NR	NR	0
US AIRS	0.001		0	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	0.001		0	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
ECHO	0.001		0	NR	NR	NR	NR	0
DOCKET HWC	0.001		0	NR	NR	NR	NR	0

MAP FINDINGS SUMMARY

<u>Database</u>	<u>Search Distance (Miles)</u>	<u>Target Property</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
-----------------	--	----------------------------	-----------------	------------------	------------------	----------------	---------------	--------------------------

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

A1 **NOBLE ORCHARD**
NNE **7050 PENTZ RD**
< 1/8 **PARADISE, CA 95969**
0.073 mi.
385 ft. **Site 1 of 2 in cluster A**

UST **U001617854**
SWEEPS UST **N/A**
HIST UST

Relative:
Higher
Actual:
2233 ft.

UST:
Name: NOBLE ORCHARD
Address: 7050 PENTZ RD
City,State,Zip: PARADISE, CA 95969
Facility ID: 52806
Permitting Agency: BUTTE COUNTY
CERSID: Not reported
Latitude: 39.791124
Longitude: -121.574859

SWEEPS UST:
Name: NOBLE ORCHARD
Address: 7050 PENTZ RD
City: PARADISE
Status: Active
Comp Number: 52806
Number: 9
Board Of Equalization: Not reported
Referral Date: 12-28-88
Action Date: 02-03-94
Created Date: 02-29-88
Owner Tank Id: 1
SWRCB Tank Id: 04-000-052806-000001
Tank Status: A
Capacity: 1000
Active Date: 07-01-85
Tank Use: M.V. FUEL
STG: P
Content: DIESEL
Number Of Tanks: 1

HIST UST:
Name: NOBLE ORCHARD
Address: 7050 PENTZ RD
City,State,Zip: PARADISE, CA 95969
File Number: 00022371
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00022371.pdf>
Region: STATE
Facility ID: 0000052806
Facility Type: Other
Other Type: ORCHARD
Contact Name: Not reported
Telephone: 9168774784
Owner Name: VINCENT R. NOBLE
Owner Address: 7050 PENTZ RD.
Owner City,St,Zip: PARADISE, CA 95969
Total Tanks: 0001

Tank Num: 001
Container Num: 1
Year Installed: 1970
Tank Capacity: 00001000

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

NOBLE ORCHARD (Continued)

U001617854

Tank Used for: PRODUCT
 Type of Fuel: DIESEL
 Container Construction Thickness: Not reported
 Leak Detection: Stock Inventor

[Click here for Geo Tracker PDF:](#)

A2
NNE
 < 1/8
 0.073 mi.
 385 ft.

NOBLE ORCHARD
7050 PENTZ RD
PARADISE, CA 95969

CA FID UST **S101629020**
N/A

Site 2 of 2 in cluster A

Relative:
Higher
Actual:
 2233 ft.

CA FID UST:
 Facility ID: 04000547
 Regulated By: UTNKA
 Regulated ID: 00052806
 Cortese Code: Not reported
 SIC Code: Not reported
 Facility Phone: 9168774784
 Mail To: Not reported
 Mailing Address: 7050 PENTZ RD
 Mailing Address 2: Not reported
 Mailing City,St,Zip: PARADISE 95969
 Contact: Not reported
 Contact Phone: Not reported
 DUNs Number: Not reported
 NPDES Number: Not reported
 EPA ID: Not reported
 Comments: Not reported
 Status: Active

3
SSE
 1/8-1/4
 0.210 mi.
 1110 ft.

FRANK FILER
6884 PENTZ ROAD
PARADISE, CA 95969

RCRA NonGen / NLR **1025834399**
CAC003013979

Relative:
Lower
Actual:
 2174 ft.

RCRA Listings:
 Date Form Received by Agency: 20190507
 Handler Name: FRANK FILER
 Handler Address: 6884 PENTZ ROAD
 Handler City,State,Zip: PARADISE, CA 95969
 EPA ID: CAC003013979
 Contact Name: FRANK FILER
 Contact Address: 6884 PENTZ ROAD
 Contact City,State,Zip: PARADISE, CA 95969
 Contact Telephone: 530-521-7811
 Contact Fax: Not reported
 Contact Email: WESTERNPROPERTYSQL@GMAIL.COM
 Contact Title: Not reported
 EPA Region: 09
 Land Type: Not reported
 Federal Waste Generator Description: Not a generator, verified
 Non-Notifier: Not reported
 Biennial Report Cycle: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

FRANK FILER (Continued)

1025834399

Accessibility:		Not reported
Active Site Indicator:		Handler Activities
State District Owner:		Not reported
State District:		Not reported
Mailing Address:		6884 PENTZ ROAD
Mailing City, State, Zip:		PARADISE, CA 95969
Owner Name:	FRANK FILER	
Owner Type:		Other
Operator Name:	FRANK FILER	
Operator Type:		Other
Short-Term Generator Activity:		No
Importer Activity:		No
Mixed Waste Generator:		No
Transporter Activity:		No
Transfer Facility Activity:		No
Recycler Activity with Storage:		No
Small Quantity On-Site Burner Exemption:		No
Smelting Melting and Refining Furnace Exemption:		No
Underground Injection Control:		No
Off-Site Waste Receipt:		No
Universal Waste Indicator:		Yes
Universal Waste Destination Facility:		Yes
Federal Universal Waste:		No
Active Site Fed-Reg Treatment Storage and Disposal Facility:		Not reported
Active Site Converter Treatment storage and Disposal Facility:		Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:		Not reported
Active Site State-Reg Handler:		---
Federal Facility Indicator:		Not reported
Hazardous Secondary Material Indicator:		N
Sub-Part K Indicator:		Not reported
Commercial TSD Indicator:		No
Treatment Storage and Disposal Type:		Not reported
2018 GPRA Permit Baseline:		Not on the Baseline
2018 GPRA Renewals Baseline:		Not on the Baseline
Permit Renewals Workload Universe:		Not reported
Permit Workload Universe:		Not reported
Permit Progress Universe:		Not reported
Post-Closure Workload Universe:		Not reported
Closure Workload Universe:		Not reported
202 GPRA Corrective Action Baseline:		No
Corrective Action Workload Universe:		No
Subject to Corrective Action Universe:		No
Non-TSDFs Where RCRA CA has Been Imposed Universe:		No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:		No
TSDFs Only Subject to CA under Discretionary Auth Universe:		No
Corrective Action Priority Ranking:		No NCAPS ranking
Environmental Control Indicator:		No
Institutional Control Indicator:		No
Human Exposure Controls Indicator:		N/A
Groundwater Controls Indicator:		N/A
Operating TSDF Universe:		Not reported
Full Enforcement Universe:		Not reported
Significant Non-Complier Universe:		No
Unaddressed Significant Non-Complier Universe:		No
Addressed Significant Non-Complier Universe:		No
Significant Non-Complier With a Compliance Schedule Universe:		No
Financial Assurance Required:		Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRANK FILER (Continued)

1025834399

Handler Date of Last Change: 20190627
Recognized Trader-Importer: No
Recognized Trader-Exporter: No
Importer of Spent Lead Acid Batteries: No
Exporter of Spent Lead Acid Batteries: No
Recycler Activity Without Storage: No
Manifest Broker: No
Sub-Part P Indicator: No

Handler - Owner Operator:

Owner/Operator Indicator: Owner
Owner/Operator Name: FRANK FILER
Legal Status: Other
Date Became Current: Not reported
Date Ended Current: Not reported
Owner/Operator Address: 6884 PENTZ ROAD
Owner/Operator City,State,Zip: PARADISE, CA 95969
Owner/Operator Telephone: 530-521-7811
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator
Owner/Operator Name: FRANK FILER
Legal Status: Other
Date Became Current: Not reported
Date Ended Current: Not reported
Owner/Operator Address: 6884 PENTZ ROAD
Owner/Operator City,State,Zip: PARADISE, CA 95969
Owner/Operator Telephone: 530-521-7811
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 20190507
Handler Name: FRANK FILER
Federal Waste Generator Description: Not a generator, verified
State District Owner: Not reported
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 56299
NAICS Description: ALL OTHER WASTE MANAGEMENT SERVICES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FRANK FILER (Continued)

1025834399

Evaluation Action Summary:
Evaluations:

No Evaluations Found

4
SW
1/4-1/2
0.377 mi.
1992 ft.

CYPRESS LANE PARADISE
1620 CYPRESS LANE
PARADISE, CA 95969

LUST **S113462982**
Cortese **N/A**
HAZNET
CERS
HWTS

Relative:
Lower
Actual:
2097 ft.

LUST:

Name: CYPRESS LANE PARADISE
Address: 1620 CYPRESS LANE
City,State,Zip: PARADISE, CA 95969
Lead Agency: CENTRAL VALLEY RWQCB (REGION 5R)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T10000013352
Global Id: T10000013352
Latitude: 39.78301
Longitude: -121.58493
Status: Open - Site Assessment
Status Date: 10/03/2019
Case Worker: KS
RB Case Number: 040308
Local Agency: Not reported
File Location: Not reported
Local Case Number: Not reported
Potential Media Affect: Under Investigation
Potential Contaminants of Concern: Kerosene
Site History: During Camp Fire debris removal operations, CalOES/CalRecycle and their contractors discovered an underground storage tank at the above referenced location. The tank was a 500 gallon tank at a residence storing kerosene and has been subsequently removed.

LUST:

Global Id: T10000013352
Contact Type: Regional Board Caseworker
Contact Name: KATE SJOBERG
Organization Name: CENTRAL VALLEY RWQCB (REGION 5R)
Address: 364 Knollcrest Drive, Suite 205
City: REDDING
Email: kate.sjoberg@waterboards.ca.gov
Phone Number: 5302243218

LUST:

Global Id: T10000013352
Action Type: ENFORCEMENT
Date: 09/16/2019
Action: Staff Letter

Global Id: T10000013352
Action Type: ENFORCEMENT
Date: 08/04/2020
Action: Staff Letter

Global Id: T10000013352
Action Type: ENFORCEMENT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CYPRESS LANE PARADISE (Continued)

S113462982

Date: 12/04/2019
Action: Staff Letter

Global Id: T10000013352
Action Type: ENFORCEMENT
Date: 03/10/2020
Action: Staff Letter

Global Id: T10000013352
Action Type: RESPONSE
Date: 06/10/2022
Action: Site Assessment Report

Global Id: T10000013352
Action Type: RESPONSE
Date: 04/03/2020
Action: Preliminary Site Assessment Workplan - Addendum - Regulator Responded

Global Id: T10000013352
Action Type: RESPONSE
Date: 02/28/2020
Action: Site Assessment Report - Regulator Responded

Global Id: T10000013352
Action Type: RESPONSE
Date: 11/29/2019
Action: Soil and Water Investigation Workplan - Regulator Responded

Global Id: T10000013352
Action Type: ENFORCEMENT
Date: 02/08/2021
Action: Staff Letter

Global Id: T10000013352
Action Type: ENFORCEMENT
Date: 12/13/2021
Action: Staff Letter

Global Id: T10000013352
Action Type: RESPONSE
Date: 02/17/2020
Action: Other Report / Document

Global Id: T10000013352
Action Type: RESPONSE
Date: 08/27/2019
Action: Tank Removal Report / UST Sampling Report

Global Id: T10000013352
Action Type: Other
Date: 08/05/2019
Action: Leak Discovery

Global Id: T10000013352
Action Type: RESPONSE
Date: 08/27/2019
Action: Unauthorized Release Form

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CYPRESS LANE PARADISE (Continued)

S113462982

Global Id: T10000013352
Action Type: RESPONSE
Date: 08/27/2019
Action: Email Correspondence

Global Id: T10000013352
Action Type: Other
Date: 08/05/2019
Action: Leak Reported

LUST:

Global Id: T10000013352
Status: Open - Case Begin Date
Status Date: 08/05/2019

Global Id: T10000013352
Status: Open - Active
Status Date: 09/06/2019

Global Id: T10000013352
Status: Open - Site Assessment
Status Date: 10/03/2019

CORTESE:

Name: CYPRESS LANE PARADISE
Address: 1620 CYPRESS LANE
City,State,Zip: PARADISE, CA 95969
Region: CORTESE
Envirostor Id: Not reported
Global ID: T10000013352
Site/Facility Type: LUST CLEANUP SITE
Cleanup Status: OPEN - SITE ASSESSMENT
Status Date: Not reported
Site Code: Not reported
Latitude: Not reported
Longitude: Not reported
Owner: Not reported
Enf Type: Not reported
Swat R: Not reported
Flag: active
Order No: Not reported
Waste Discharge System No: Not reported
Effective Date: Not reported
Region 2: Not reported
WID Id: Not reported
Solid Waste Id No: Not reported
Waste Management Uit Name: Not reported
File Name: Active Open

HAZNET:

Name: CALIFORNIA VOCATIONS INC
Address: 1620 CYPRESS LN
Address 2: Not reported
City,State,Zip: PARADISE, CA 959692824
Contact: BOB IRVINE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CYPRESS LANE PARADISE (Continued)

S113462982

Telephone: 5308774146
Mailing Name: Not reported
Mailing Address: 1620 CYPRESS LN

Year: 2010
Gepaid: CAC002658021
TSD EPA ID: CAD982042475
CA Waste Code: 151 - Asbestos containing waste
Disposal Method: H132 - Landfill Or Surface Impoundment That Will Be Closed As
Landfill(To Include On-Site Treatment And/Or Stabilization)
Tons: 4

Additional Info:

Year: 2010
Gen EPA ID: CAC002658021

Shipment Date: 20101005
Creation Date: 12/30/2010 18:30:08
Receipt Date: 20101006
Manifest ID: 007736027JJK
Trans EPA ID: CAL000354505
Trans Name: 1-888-4-ABATEMENT INC
Trans 2 EPA ID: Not reported
Trans 2 Name: Not reported
TSD EPA ID: CAD982042475
Trans Name: RECOLOGY HAY ROAD
TSD EPA ID: Not reported
TSD EPA Alt Name: Not reported
Waste Code Description: 151 - Asbestos-containing waste
RCRA Code: Not reported
Meth Code: H132 - Landfill Or Surface Impoundment That Will Be Closed As
Landfill(To Include On-Site Treatment And/Or Stabilization)

Quantity Tons: 4
Waste Quantity: 10
Quantity Unit: Y
Additional Code 1: Not reported
Additional Code 2: Not reported
Additional Code 3: Not reported
Additional Code 4: Not reported
Additional Code 5: Not reported

CERS:

Name: CYPRESS LANE PARADISE
Address: 1620 CYPRESS LANE
City,State,Zip: PARADISE, CA 95969
Site ID: 556560
CERS ID: T10000013352
CERS Description: Leaking Underground Storage Tank Cleanup Site

Affiliation:

Affiliation Type Desc: Regional Board Caseworker
Entity Name: KATE SJOBERG - CENTRAL VALLEY RWQCB (REGION 5R)
Entity Title: Not reported
Affiliation Address: 364 Knollcrest Drive, Suite 205
Affiliation City: REDDING
Affiliation State: CA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CYPRESS LANE PARADISE (Continued)

S113462982

Affiliation Country: Not reported
Affiliation Zip: Not reported
Affiliation Phone: 5302243218,

HWTS:

Name: CALIFORNIA VOCATIONS INC
Address: 1620 CYPRESS LN
Address 2: Not reported
City,State,Zip: PARADISE, CA 95969
EPA ID: CAC002658021
Inactive Date: 03/22/2011
Create Date: 09/22/2010
Last Act Date: Not reported
Mailing Name: Not reported
Mailing Address: 1620 CYPRESS LN
Mailing Address 2: Not reported
Mailing City,State,Zip: PARADISE, CA 959692824
Owner Name: CALIFORNIA VOCATIONS INC
Owner Address: 1620 CYPRESS LN
Owner Address 2: Not reported
Owner City,State,Zip: PARADISE, CA 959692824
Contact Name: BOB IRVINE
Contact Address: 1620 CYPRESS LN
Contact Address 2: Not reported
City,State,Zip: PARADISE, CA 959692824
Facility Status: Inactive
Facility Type: TEMPORARY
Category: STATE
Latitude: 39.78209
Longitude: -121.58478

Count: 0 records.

ORPHAN SUMMARY

<u>City</u>	<u>EDR ID</u>	<u>Site Name</u>	<u>Site Address</u>	<u>Zip</u>	<u>Database(s)</u>
NO SITES FOUND					

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Lists of Federal NPL (Superfund) sites

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/26/2022	Source: EPA
Date Data Arrived at EDR: 08/02/2022	Telephone: N/A
Date Made Active in Reports: 08/22/2022	Last EDR Contact: 10/05/2022
Number of Days to Update: 20	Next Scheduled EDR Contact: 01/09/2023
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 07/26/2022	Source: EPA
Date Data Arrived at EDR: 08/02/2022	Telephone: N/A
Date Made Active in Reports: 08/22/2022	Last EDR Contact: 10/05/2022
Number of Days to Update: 20	Next Scheduled EDR Contact: 01/09/2023
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991
Date Data Arrived at EDR: 02/02/1994
Date Made Active in Reports: 03/30/1994
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

Lists of Federal Delisted NPL sites

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/26/2022
Date Data Arrived at EDR: 08/02/2022
Date Made Active in Reports: 08/22/2022
Number of Days to Update: 20

Source: EPA
Telephone: N/A
Last EDR Contact: 10/05/2022
Next Scheduled EDR Contact: 01/09/2023
Data Release Frequency: Quarterly

Lists of Federal sites subject to CERCLA removals and CERCLA orders

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 05/25/2021
Date Data Arrived at EDR: 06/24/2021
Date Made Active in Reports: 09/20/2021
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 703-603-8704
Last EDR Contact: 09/06/2022
Next Scheduled EDR Contact: 01/10/2023
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMs by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 07/26/2022
Date Data Arrived at EDR: 08/02/2022
Date Made Active in Reports: 08/22/2022
Number of Days to Update: 20

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 10/05/2022
Next Scheduled EDR Contact: 01/23/2023
Data Release Frequency: Quarterly

Lists of Federal CERCLA sites with NFRAP

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 07/26/2022	Source: EPA
Date Data Arrived at EDR: 08/02/2022	Telephone: 800-424-9346
Date Made Active in Reports: 08/22/2022	Last EDR Contact: 10/05/2022
Number of Days to Update: 20	Next Scheduled EDR Contact: 01/23/2023
	Data Release Frequency: Quarterly

Lists of Federal RCRA facilities undergoing Corrective Action

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 06/20/2022	Source: EPA
Date Data Arrived at EDR: 06/21/2022	Telephone: 800-424-9346
Date Made Active in Reports: 06/28/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 7	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

Lists of Federal RCRA TSD facilities

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 06/20/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/21/2022	Telephone: (415) 495-8895
Date Made Active in Reports: 06/28/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 7	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

Lists of Federal RCRA generators

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 06/20/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/21/2022	Telephone: (415) 495-8895
Date Made Active in Reports: 06/28/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 7	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 06/20/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/21/2022	Telephone: (415) 495-8895
Date Made Active in Reports: 06/28/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 7	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 06/20/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/21/2022	Telephone: (415) 495-8895
Date Made Active in Reports: 06/28/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 7	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 08/16/2022	Source: Department of the Navy
Date Data Arrived at EDR: 08/22/2022	Telephone: 843-820-7326
Date Made Active in Reports: 10/24/2022	Last EDR Contact: 08/03/2022
Number of Days to Update: 63	Next Scheduled EDR Contact: 11/21/2022
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 08/15/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/17/2022	Telephone: 703-603-0695
Date Made Active in Reports: 10/24/2022	Last EDR Contact: 08/17/2022
Number of Days to Update: 68	Next Scheduled EDR Contact: 12/05/2022
	Data Release Frequency: Varies

US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 08/15/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/17/2022	Telephone: 703-603-0695
Date Made Active in Reports: 10/24/2022	Last EDR Contact: 08/17/2022
Number of Days to Update: 68	Next Scheduled EDR Contact: 12/05/2022
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/14/2022

Source: National Response Center, United States Coast Guard

Date Data Arrived at EDR: 06/15/2022

Telephone: 202-267-2180

Date Made Active in Reports: 06/21/2022

Last EDR Contact: 09/20/2022

Number of Days to Update: 6

Next Scheduled EDR Contact: 01/02/2023

Data Release Frequency: Quarterly

Lists of state- and tribal (Superfund) equivalent sites

RESPONSE: State Response Sites

Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

Date of Government Version: 07/25/2022

Source: Department of Toxic Substances Control

Date Data Arrived at EDR: 07/25/2022

Telephone: 916-323-3400

Date Made Active in Reports: 10/05/2022

Last EDR Contact: 10/24/2022

Number of Days to Update: 72

Next Scheduled EDR Contact: 02/06/2023

Data Release Frequency: Quarterly

Lists of state- and tribal hazardous waste facilities

ENVIROSTOR: EnviroStor Database

The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

Date of Government Version: 07/25/2022

Source: Department of Toxic Substances Control

Date Data Arrived at EDR: 07/25/2022

Telephone: 916-323-3400

Date Made Active in Reports: 10/05/2022

Last EDR Contact: 10/24/2022

Number of Days to Update: 72

Next Scheduled EDR Contact: 02/06/2023

Data Release Frequency: Quarterly

Lists of state and tribal landfills and solid waste disposal facilities

SWF/LF (SWIS): Solid Waste Information System

Active, Closed and Inactive Landfills. SWF/LF records typically contain an inventory of solid waste disposal facilities or landfills. These may be active or inactive facilities or open dumps that failed to meet RCRA Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 08/08/2022

Source: Department of Resources Recycling and Recovery

Date Data Arrived at EDR: 08/08/2022

Telephone: 916-341-6320

Date Made Active in Reports: 10/20/2022

Last EDR Contact: 08/08/2022

Number of Days to Update: 73

Next Scheduled EDR Contact: 11/21/2022

Data Release Frequency: Quarterly

Lists of state and tribal leaking storage tanks

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LUST REG 3: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Monterey, San Benito, San Luis Obispo, Santa Barbara, Santa Cruz counties.

Date of Government Version: 05/19/2003	Source: California Regional Water Quality Control Board Central Coast Region (3)
Date Data Arrived at EDR: 05/19/2003	Telephone: 805-542-4786
Date Made Active in Reports: 06/02/2003	Last EDR Contact: 07/18/2011
Number of Days to Update: 14	Next Scheduled EDR Contact: 10/31/2011
	Data Release Frequency: No Update Planned

LUST REG 4: Underground Storage Tank Leak List

Los Angeles, Ventura counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/07/2004	Source: California Regional Water Quality Control Board Los Angeles Region (4)
Date Data Arrived at EDR: 09/07/2004	Telephone: 213-576-6710
Date Made Active in Reports: 10/12/2004	Last EDR Contact: 09/06/2011
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/19/2011
	Data Release Frequency: No Update Planned

LUST REG 5: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Alameda, Alpine, Amador, Butte, Colusa, Contra Costa, Calveras, El Dorado, Fresno, Glenn, Kern, Kings, Lake, Lassen, Madera, Mariposa, Merced, Modoc, Napa, Nevada, Placer, Plumas, Sacramento, San Joaquin, Shasta, Solano, Stanislaus, Sutter, Tehama, Tulare, Tuolumne, Yolo, Yuba counties.

Date of Government Version: 07/01/2008	Source: California Regional Water Quality Control Board Central Valley Region (5)
Date Data Arrived at EDR: 07/22/2008	Telephone: 916-464-4834
Date Made Active in Reports: 07/31/2008	Last EDR Contact: 07/01/2011
Number of Days to Update: 9	Next Scheduled EDR Contact: 10/17/2011
	Data Release Frequency: No Update Planned

LUST REG 7: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Imperial, Riverside, San Diego, Santa Barbara counties.

Date of Government Version: 02/26/2004	Source: California Regional Water Quality Control Board Colorado River Basin Region (7)
Date Data Arrived at EDR: 02/26/2004	Telephone: 760-776-8943
Date Made Active in Reports: 03/24/2004	Last EDR Contact: 08/01/2011
Number of Days to Update: 27	Next Scheduled EDR Contact: 11/14/2011
	Data Release Frequency: No Update Planned

LUST REG 8: Leaking Underground Storage Tanks

California Regional Water Quality Control Board Santa Ana Region (8). For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/14/2005	Source: California Regional Water Quality Control Board Santa Ana Region (8)
Date Data Arrived at EDR: 02/15/2005	Telephone: 909-782-4496
Date Made Active in Reports: 03/28/2005	Last EDR Contact: 08/15/2011
Number of Days to Update: 41	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

LUST REG 2: Fuel Leak List

Leaking Underground Storage Tank locations. Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, Santa Clara, Solano, Sonoma counties.

Date of Government Version: 09/30/2004	Source: California Regional Water Quality Control Board San Francisco Bay Region (2)
Date Data Arrived at EDR: 10/20/2004	Telephone: 510-622-2433
Date Made Active in Reports: 11/19/2004	Last EDR Contact: 09/19/2011
Number of Days to Update: 30	Next Scheduled EDR Contact: 01/02/2012
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LUST REG 1: Active Toxic Site Investigation

Del Norte, Humboldt, Lake, Mendocino, Modoc, Siskiyou, Sonoma, Trinity counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/01/2001	Source: California Regional Water Quality Control Board North Coast (1)
Date Data Arrived at EDR: 02/28/2001	Telephone: 707-570-3769
Date Made Active in Reports: 03/29/2001	Last EDR Contact: 08/01/2011
Number of Days to Update: 29	Next Scheduled EDR Contact: 11/14/2011
	Data Release Frequency: No Update Planned

LUST REG 6V: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Inyo, Kern, Los Angeles, Mono, San Bernardino counties.

Date of Government Version: 06/07/2005	Source: California Regional Water Quality Control Board Victorville Branch Office (6)
Date Data Arrived at EDR: 06/07/2005	Telephone: 760-241-7365
Date Made Active in Reports: 06/29/2005	Last EDR Contact: 09/12/2011
Number of Days to Update: 22	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

LUST: Leaking Underground Fuel Tank Report (GEOTRACKER)

Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 05/23/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: see region list
Date Made Active in Reports: 05/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 1	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

LUST REG 6L: Leaking Underground Storage Tank Case Listing

For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/09/2003	Source: California Regional Water Quality Control Board Lahontan Region (6)
Date Data Arrived at EDR: 09/10/2003	Telephone: 530-542-5572
Date Made Active in Reports: 10/07/2003	Last EDR Contact: 09/12/2011
Number of Days to Update: 27	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

LUST REG 9: Leaking Underground Storage Tank Report

Orange, Riverside, San Diego counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 03/01/2001	Source: California Regional Water Quality Control Board San Diego Region (9)
Date Data Arrived at EDR: 04/23/2001	Telephone: 858-637-5595
Date Made Active in Reports: 05/21/2001	Last EDR Contact: 09/26/2011
Number of Days to Update: 28	Next Scheduled EDR Contact: 01/09/2012
	Data Release Frequency: No Update Planned

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 04/08/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/13/2022	Telephone: 415-972-3372
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

A listing of leaking underground storage tank locations on Indian Land.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/28/2021	Source: EPA Region 1
Date Data Arrived at EDR: 06/11/2021	Telephone: 617-918-1313
Date Made Active in Reports: 09/07/2021	Last EDR Contact: 10/17/2022
Number of Days to Update: 88	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 04/14/2022	Source: EPA Region 7
Date Data Arrived at EDR: 06/13/2022	Telephone: 913-551-7003
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 04/20/2022	Source: EPA Region 8
Date Data Arrived at EDR: 06/13/2022	Telephone: 303-312-6271
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 04/20/2022	Source: EPA Region 10
Date Data Arrived at EDR: 06/13/2022	Telephone: 206-553-2857
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/28/2022	Source: EPA Region 6
Date Data Arrived at EDR: 06/13/2022	Telephone: 214-665-6597
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 06/02/2022	Source: EPA Region 4
Date Data Arrived at EDR: 06/13/2022	Telephone: 404-562-8677
Date Made Active in Reports: 08/31/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 04/11/2022	Source: EPA, Region 5
Date Data Arrived at EDR: 06/13/2022	Telephone: 312-886-7439
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CPS-SLIC: Statewide SLIC Cases (GEOTRACKER)

Cleanup Program Sites (CPS; also known as Site Cleanups [SC] and formerly known as Spills, Leaks, Investigations, and Cleanups [SLIC] sites) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 05/23/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: 866-480-1028
Date Made Active in Reports: 05/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 1	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

SLIC REG 1: Active Toxic Site Investigations

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2003	Source: California Regional Water Quality Control Board, North Coast Region (1)
Date Data Arrived at EDR: 04/07/2003	Telephone: 707-576-2220
Date Made Active in Reports: 04/25/2003	Last EDR Contact: 08/01/2011
Number of Days to Update: 18	Next Scheduled EDR Contact: 11/14/2011
	Data Release Frequency: No Update Planned

SLIC REG 2: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/30/2004	Source: Regional Water Quality Control Board San Francisco Bay Region (2)
Date Data Arrived at EDR: 10/20/2004	Telephone: 510-286-0457
Date Made Active in Reports: 11/19/2004	Last EDR Contact: 09/19/2011
Number of Days to Update: 30	Next Scheduled EDR Contact: 01/02/2012
	Data Release Frequency: No Update Planned

SLIC REG 3: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/18/2006	Source: California Regional Water Quality Control Board Central Coast Region (3)
Date Data Arrived at EDR: 05/18/2006	Telephone: 805-549-3147
Date Made Active in Reports: 06/15/2006	Last EDR Contact: 07/18/2011
Number of Days to Update: 28	Next Scheduled EDR Contact: 10/31/2011
	Data Release Frequency: No Update Planned

SLIC REG 4: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/17/2004	Source: Region Water Quality Control Board Los Angeles Region (4)
Date Data Arrived at EDR: 11/18/2004	Telephone: 213-576-6600
Date Made Active in Reports: 01/04/2005	Last EDR Contact: 07/01/2011
Number of Days to Update: 47	Next Scheduled EDR Contact: 10/17/2011
	Data Release Frequency: No Update Planned

SLIC REG 5: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/01/2005	Source: Regional Water Quality Control Board Central Valley Region (5)
Date Data Arrived at EDR: 04/05/2005	Telephone: 916-464-3291
Date Made Active in Reports: 04/21/2005	Last EDR Contact: 09/12/2011
Number of Days to Update: 16	Next Scheduled EDR Contact: 12/26/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SLIC REG 6V: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/24/2005
Date Data Arrived at EDR: 05/25/2005
Date Made Active in Reports: 06/16/2005
Number of Days to Update: 22

Source: Regional Water Quality Control Board, Victorville Branch
Telephone: 619-241-6583
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

SLIC REG 6L: SLIC Sites

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/07/2004
Date Data Arrived at EDR: 09/07/2004
Date Made Active in Reports: 10/12/2004
Number of Days to Update: 35

Source: California Regional Water Quality Control Board, Lahontan Region
Telephone: 530-542-5574
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

SLIC REG 7: SLIC List

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/24/2004
Date Data Arrived at EDR: 11/29/2004
Date Made Active in Reports: 01/04/2005
Number of Days to Update: 36

Source: California Regional Quality Control Board, Colorado River Basin Region
Telephone: 760-346-7491
Last EDR Contact: 08/01/2011
Next Scheduled EDR Contact: 11/14/2011
Data Release Frequency: No Update Planned

SLIC REG 8: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2008
Date Data Arrived at EDR: 04/03/2008
Date Made Active in Reports: 04/14/2008
Number of Days to Update: 11

Source: California Region Water Quality Control Board Santa Ana Region (8)
Telephone: 951-782-3298
Last EDR Contact: 09/12/2011
Next Scheduled EDR Contact: 12/26/2011
Data Release Frequency: No Update Planned

SLIC REG 9: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/10/2007
Date Data Arrived at EDR: 09/11/2007
Date Made Active in Reports: 09/28/2007
Number of Days to Update: 17

Source: California Regional Water Quality Control Board San Diego Region (9)
Telephone: 858-467-2980
Last EDR Contact: 08/08/2011
Next Scheduled EDR Contact: 11/21/2011
Data Release Frequency: No Update Planned

Lists of state and tribal registered storage tanks

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 10/14/2021
Date Data Arrived at EDR: 11/05/2021
Date Made Active in Reports: 02/01/2022
Number of Days to Update: 88

Source: FEMA
Telephone: 202-646-5797
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UST CLOSURE: Proposed Closure of Underground Storage Tank (UST) Cases

UST cases that are being considered for closure by either the State Water Resources Control Board or the Executive Director have been posted for a 60-day public comment period. UST Case Closures being proposed for consideration by the State Water Resources Control Board. These are primarily UST cases that meet closure criteria under the decisional framework in State Water Board Resolution No. 92-49 and other Board orders. UST Case Closures proposed for consideration by the Executive Director pursuant to State Water Board Resolution No. 2012-0061. These are cases that meet the criteria of the Low-Threat UST Case Closure Policy. UST Case Closure Review Denials and Approved Orders.

Date of Government Version: 06/01/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/09/2022	Telephone: 916-327-7844
Date Made Active in Reports: 08/26/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 78	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

UST: Active UST Facilities

Active UST facilities gathered from the local regulatory agencies

Date of Government Version: 06/06/2022	Source: SWRCB
Date Data Arrived at EDR: 06/07/2022	Telephone: 916-341-5851
Date Made Active in Reports: 08/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 78	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Semi-Annually

MILITARY UST SITES: Military UST Sites (GEOTRACKER)

Military ust sites

Date of Government Version: 05/23/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: 866-480-1028
Date Made Active in Reports: 06/02/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 10	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

AST: Aboveground Petroleum Storage Tank Facilities

A listing of aboveground storage tank petroleum storage tank locations.

Date of Government Version: 07/06/2016	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 07/12/2016	Telephone: 916-327-5092
Date Made Active in Reports: 09/19/2016	Last EDR Contact: 09/07/2022
Number of Days to Update: 69	Next Scheduled EDR Contact: 12/26/2022
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 06/02/2022	Source: EPA Region 4
Date Data Arrived at EDR: 06/13/2022	Telephone: 404-562-9424
Date Made Active in Reports: 08/31/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 04/20/2022	Source: EPA Region 10
Date Data Arrived at EDR: 06/13/2022	Telephone: 206-553-2857
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 04/14/2022	Source: EPA Region 7
Date Data Arrived at EDR: 06/13/2022	Telephone: 913-551-7003
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 04/20/2022	Source: EPA Region 8
Date Data Arrived at EDR: 06/13/2022	Telephone: 303-312-6137
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 04/08/2022	Source: EPA Region 9
Date Data Arrived at EDR: 06/13/2022	Telephone: 415-972-3368
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 04/07/2022	Source: EPA, Region 1
Date Data Arrived at EDR: 06/13/2022	Telephone: 617-918-1313
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/28/2022	Source: EPA Region 6
Date Data Arrived at EDR: 06/13/2022	Telephone: 214-665-7591
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 04/11/2022	Source: EPA Region 5
Date Data Arrived at EDR: 06/13/2022	Telephone: 312-886-6136
Date Made Active in Reports: 08/16/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Lists of state and tribal voluntary cleanup sites

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 07/08/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: Varies

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 09/29/2015	Telephone: 617-918-1102
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 09/13/2022
Number of Days to Update: 142	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Varies

VCP: Voluntary Cleanup Program Properties

Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

Date of Government Version: 07/25/2022	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 07/25/2022	Telephone: 916-323-3400
Date Made Active in Reports: 10/05/2022	Last EDR Contact: 10/24/2022
Number of Days to Update: 27	Next Scheduled EDR Contact: 02/06/2023
	Data Release Frequency: Quarterly

Lists of state and tribal brownfield sites

BROWNFIELDS: Considered Brownfields Sites Listing

A listing of sites the SWRCB considers to be Brownfields since these are sites have come to them through the MOA Process.

Date of Government Version: 06/21/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/21/2022	Telephone: 916-323-7905
Date Made Active in Reports: 09/08/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 02/23/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/10/2022	Telephone: 202-566-2777
Date Made Active in Reports: 03/10/2022	Last EDR Contact: 09/09/2022
Number of Days to Update: 0	Next Scheduled EDR Contact: 12/26/2022
	Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Local Lists of Landfill / Solid Waste Disposal Sites

WMUDS/SWAT: Waste Management Unit Database

Waste Management Unit Database System. WMUDS is used by the State Water Resources Control Board staff and the Regional Water Quality Control Boards for program tracking and inventory of waste management units. WMUDS is composed of the following databases: Facility Information, Scheduled Inspections Information, Waste Management Unit Information, SWAT Program Information, SWAT Report Summary Information, SWAT Report Summary Data, Chapter 15 (formerly Subchapter 15) Information, Chapter 15 Monitoring Parameters, TPCA Program Information, RCRA Program Information, Closure Information, and Interested Parties Information.

Date of Government Version: 04/01/2000	Source: State Water Resources Control Board
Date Data Arrived at EDR: 04/10/2000	Telephone: 916-227-4448
Date Made Active in Reports: 05/10/2000	Last EDR Contact: 10/20/2022
Number of Days to Update: 30	Next Scheduled EDR Contact: 02/06/2023
	Data Release Frequency: No Update Planned

SWRCY: Recycler Database

A listing of recycling facilities in California.

Date of Government Version: 06/06/2022	Source: Department of Conservation
Date Data Arrived at EDR: 06/07/2022	Telephone: 916-323-3836
Date Made Active in Reports: 08/23/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

HAULERS: Registered Waste Tire Haulers Listing

A listing of registered waste tire haulers.

Date of Government Version: 08/12/2022	Source: Integrated Waste Management Board
Date Data Arrived at EDR: 08/16/2022	Telephone: 916-341-6422
Date Made Active in Reports: 08/26/2022	Last EDR Contact: 08/16/2022
Number of Days to Update: 10	Next Scheduled EDR Contact: 11/21/2022
	Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/03/2007	Telephone: 703-308-8245
Date Made Active in Reports: 01/24/2008	Last EDR Contact: 10/20/2022
Number of Days to Update: 52	Next Scheduled EDR Contact: 02/06/2023
	Data Release Frequency: Varies

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/09/2004	Telephone: 800-424-9346
Date Made Active in Reports: 09/17/2004	Last EDR Contact: 06/09/2004
Number of Days to Update: 39	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009	Source: EPA, Region 9
Date Data Arrived at EDR: 05/07/2009	Telephone: 415-947-4219
Date Made Active in Reports: 09/21/2009	Last EDR Contact: 10/11/2022
Number of Days to Update: 137	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014	Source: Department of Health & Human Services, Indian Health Service
Date Data Arrived at EDR: 08/06/2014	Telephone: 301-443-1452
Date Made Active in Reports: 01/29/2015	Last EDR Contact: 07/21/2022
Number of Days to Update: 176	Next Scheduled EDR Contact: 11/07/2022
	Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 07/29/2022	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 08/18/2022	Telephone: 202-307-1000
Date Made Active in Reports: 10/24/2022	Last EDR Contact: 08/18/2022
Number of Days to Update: 67	Next Scheduled EDR Contact: 12/05/2022
	Data Release Frequency: No Update Planned

HIST CAL-SITES: Calsites Database

The Calsites database contains potential or confirmed hazardous substance release properties. In 1996, California EPA reevaluated and significantly reduced the number of sites in the Calsites database. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

Date of Government Version: 08/08/2005	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 08/03/2006	Telephone: 916-323-3400
Date Made Active in Reports: 08/24/2006	Last EDR Contact: 02/23/2009
Number of Days to Update: 21	Next Scheduled EDR Contact: 05/25/2009
	Data Release Frequency: No Update Planned

SCH: School Property Evaluation Program

This category contains proposed and existing school sites that are being evaluated by DTSC for possible hazardous materials contamination. In some cases, these properties may be listed in the CalSites category depending on the level of threat to public health and safety or the environment they pose.

Date of Government Version: 07/25/2022	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 07/25/2022	Telephone: 916-323-3400
Date Made Active in Reports: 10/05/2022	Last EDR Contact: 10/24/2022
Number of Days to Update: 72	Next Scheduled EDR Contact: 02/06/2023
	Data Release Frequency: Quarterly

CDL: Clandestine Drug Labs

A listing of drug lab locations. Listing of a location in this database does not indicate that any illegal drug lab materials were or were not present there, and does not constitute a determination that the location either requires or does not require additional cleanup work.

Date of Government Version: 12/31/2019	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/20/2021	Telephone: 916-255-6504
Date Made Active in Reports: 04/08/2021	Last EDR Contact: 09/27/2022
Number of Days to Update: 78	Next Scheduled EDR Contact: 01/16/2023
	Data Release Frequency: Varies

TOXIC PITS: Toxic Pits Cleanup Act Sites

Toxic PITS Cleanup Act Sites. TOXIC PITS identifies sites suspected of containing hazardous substances where cleanup has not yet been completed.

Date of Government Version: 07/01/1995	Source: State Water Resources Control Board
Date Data Arrived at EDR: 08/30/1995	Telephone: 916-227-4364
Date Made Active in Reports: 09/26/1995	Last EDR Contact: 01/26/2009
Number of Days to Update: 27	Next Scheduled EDR Contact: 04/27/2009
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CERS HAZ WASTE: CERS HAZ WASTE

List of sites in the California Environmental Protection Agency (CalEPA) Regulated Site Portal which fall under the Hazardous Chemical Management, Hazardous Waste Onsite Treatment, Household Hazardous Waste Collection, Hazardous Waste Generator, and RCRA LQ HW Generator programs.

Date of Government Version: 07/18/2022	Source: CalEPA
Date Data Arrived at EDR: 07/18/2022	Telephone: 916-323-2514
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 74	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Quarterly

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 07/29/2022	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 08/18/2022	Telephone: 202-307-1000
Date Made Active in Reports: 10/24/2022	Last EDR Contact: 08/18/2022
Number of Days to Update: 67	Next Scheduled EDR Contact: 12/05/2022
	Data Release Frequency: Quarterly

AQUEOUS FOAM: Former Fire Training Facility Assessments Listing

Airports shown on this list are those believed to use Aqueous Film Forming Foam (AFFF), and certified by the Federal Aviation Administration (FAA) under Title 14, Code of Federal Regulations (CFR), Part 139 (14 CFR Part 139). This list was created by SWRCB using information available from the FAA. Location points shown are from the latitude and longitude listed on the FAA airport master record.

Date of Government Version: 02/20/2020	Source: State Water Resources Control Board
Date Data Arrived at EDR: 12/10/2021	Telephone: 916-341-5455
Date Made Active in Reports: 02/25/2022	Last EDR Contact: 09/06/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

PFAS: PFAS Contamination Site Location Listing

A listing of PFAS contaminated sites included in the GeoTracker database.

Date of Government Version: 06/06/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/07/2022	Telephone: 866-480-1028
Date Made Active in Reports: 08/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 78	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

Local Lists of Registered Storage Tanks

SWEEPS UST: SWEEPS UST Listing

Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

Date of Government Version: 06/01/1994	Source: State Water Resources Control Board
Date Data Arrived at EDR: 07/07/2005	Telephone: N/A
Date Made Active in Reports: 08/11/2005	Last EDR Contact: 06/03/2005
Number of Days to Update: 35	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

HIST UST: Hazardous Substance Storage Container Database

The Hazardous Substance Storage Container Database is a historical listing of UST sites. Refer to local/county source for current data.

Date of Government Version: 10/15/1990	Source: State Water Resources Control Board
Date Data Arrived at EDR: 01/25/1991	Telephone: 916-341-5851
Date Made Active in Reports: 02/12/1991	Last EDR Contact: 07/26/2001
Number of Days to Update: 18	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

SAN FRANCISCO AST: Aboveground Storage Tank Site Listing

Aboveground storage tank sites

Date of Government Version: 08/04/2022	Source: San Francisco County Department of Public Health
Date Data Arrived at EDR: 08/04/2022	Telephone: 415-252-3896
Date Made Active in Reports: 10/20/2022	Last EDR Contact: 07/26/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 11/14/2022
	Data Release Frequency: Varies

CERS TANKS: California Environmental Reporting System (CERS) Tanks

List of sites in the California Environmental Protection Agency (CalEPA) Regulated Site Portal which fall under the Aboveground Petroleum Storage and Underground Storage Tank regulatory programs.

Date of Government Version: 07/18/2022	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 07/18/2022	Telephone: 916-323-2514
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 74	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Quarterly

CA FID UST: Facility Inventory Database

The Facility Inventory Database (FID) contains a historical listing of active and inactive underground storage tank locations from the State Water Resource Control Board. Refer to local/county source for current data.

Date of Government Version: 10/31/1994	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 09/05/1995	Telephone: 916-341-5851
Date Made Active in Reports: 09/29/1995	Last EDR Contact: 12/28/1998
Number of Days to Update: 24	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

Local Land Records

LIENS: Environmental Liens Listing

A listing of property locations with environmental liens for California where DTSC is a lien holder.

Date of Government Version: 05/25/2022	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 05/26/2022	Telephone: 916-323-3400
Date Made Active in Reports: 08/11/2022	Last EDR Contact: 08/23/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/12/2022
	Data Release Frequency: Varies

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 07/26/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/02/2022	Telephone: 202-564-6023
Date Made Active in Reports: 08/22/2022	Last EDR Contact: 10/05/2022
Number of Days to Update: 20	Next Scheduled EDR Contact: 01/09/2023
	Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEED: Deed Restriction Listing

Site Mitigation and Brownfields Reuse Program Facility Sites with Deed Restrictions & Hazardous Waste Management Program Facility Sites with Deed / Land Use Restriction. The DTSC Site Mitigation and Brownfields Reuse Program (SMBRP) list includes sites cleaned up under the program's oversight and generally does not include current or former hazardous waste facilities that required a hazardous waste facility permit. The list represents deed restrictions that are active. Some sites have multiple deed restrictions. The DTSC Hazardous Waste Management Program (HWMP) has developed a list of current or former hazardous waste facilities that have a recorded land use restriction at the local county recorder's office. The land use restrictions on this list were required by the DTSC HWMP as a result of the presence of hazardous substances that remain on site after the facility (or part of the facility) has been closed or cleaned up. The types of land use restriction include deed notice, deed restriction, or a land use restriction that binds current and future owners.

Date of Government Version: 05/31/2022	Source: DTSC and SWRCB
Date Data Arrived at EDR: 05/31/2022	Telephone: 916-323-3400
Date Made Active in Reports: 08/18/2022	Last EDR Contact: 08/25/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 12/12/2022
	Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 09/19/2022	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 09/19/2022	Telephone: 202-366-4555
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 11	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

CHMIRS: California Hazardous Material Incident Report System

California Hazardous Material Incident Reporting System. CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).

Date of Government Version: 06/30/2022	Source: Office of Emergency Services
Date Data Arrived at EDR: 07/18/2022	Telephone: 916-845-8400
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 10/17/2022
Number of Days to Update: 74	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Semi-Annually

LDS: Land Disposal Sites Listing (GEOTRACKER)

Land Disposal sites (Landfills) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 05/23/2022	Source: State Water Quality Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: 866-480-1028
Date Made Active in Reports: 05/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 1	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

MCS: Military Cleanup Sites Listing (GEOTRACKER)

Military sites (consisting of: Military UST sites; Military Privatized sites; and Military Cleanup sites [formerly known as DoD non UST]) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 05/23/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: 866-480-1028
Date Made Active in Reports: 05/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 1	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 06/06/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 02/22/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 50	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 06/20/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/21/2022	Telephone: (415) 495-8895
Date Made Active in Reports: 06/28/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 7	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 08/11/2022	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 08/11/2022	Telephone: 202-528-4285
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 08/11/2022
Number of Days to Update: 50	Next Scheduled EDR Contact: 11/28/2022
	Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 06/07/2021	Source: USGS
Date Data Arrived at EDR: 07/13/2021	Telephone: 888-275-8747
Date Made Active in Reports: 03/09/2022	Last EDR Contact: 10/13/2022
Number of Days to Update: 239	Next Scheduled EDR Contact: 01/23/2023
	Data Release Frequency: Varies

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018	Source: U.S. Geological Survey
Date Data Arrived at EDR: 04/11/2018	Telephone: 888-275-8747
Date Made Active in Reports: 11/06/2019	Last EDR Contact: 10/03/2022
Number of Days to Update: 574	Next Scheduled EDR Contact: 01/16/2023
	Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/01/2017
Date Data Arrived at EDR: 02/03/2017
Date Made Active in Reports: 04/07/2017
Number of Days to Update: 63

Source: Environmental Protection Agency
Telephone: 615-532-8599
Last EDR Contact: 08/03/2022
Next Scheduled EDR Contact: 11/21/2022
Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 06/20/2022
Date Data Arrived at EDR: 06/21/2022
Date Made Active in Reports: 08/31/2022
Number of Days to Update: 71

Source: Environmental Protection Agency
Telephone: 202-566-1917
Last EDR Contact: 09/20/2022
Next Scheduled EDR Contact: 01/02/2023
Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013
Date Data Arrived at EDR: 03/21/2014
Date Made Active in Reports: 06/17/2014
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 617-520-3000
Last EDR Contact: 07/29/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Quarterly

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017
Date Data Arrived at EDR: 05/08/2018
Date Made Active in Reports: 07/20/2018
Number of Days to Update: 73

Source: Environmental Protection Agency
Telephone: 703-308-4044
Last EDR Contact: 08/04/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016
Date Data Arrived at EDR: 06/17/2020
Date Made Active in Reports: 09/10/2020
Number of Days to Update: 85

Source: EPA
Telephone: 202-260-5521
Last EDR Contact: 09/12/2022
Next Scheduled EDR Contact: 12/26/2022
Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 08/14/2020
Date Made Active in Reports: 11/04/2020
Number of Days to Update: 82

Source: EPA
Telephone: 202-566-0250
Last EDR Contact: 08/11/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 07/18/2022
Date Data Arrived at EDR: 07/18/2022
Date Made Active in Reports: 07/29/2022
Number of Days to Update: 11

Source: EPA
Telephone: 202-564-4203
Last EDR Contact: 10/18/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 07/26/2022
Date Data Arrived at EDR: 08/02/2022
Date Made Active in Reports: 08/22/2022
Number of Days to Update: 20

Source: EPA
Telephone: 703-416-0223
Last EDR Contact: 10/05/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Annually

RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 04/27/2022
Date Data Arrived at EDR: 05/04/2022
Date Made Active in Reports: 05/10/2022
Number of Days to Update: 6

Source: Environmental Protection Agency
Telephone: 202-564-8600
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995
Date Data Arrived at EDR: 07/03/1995
Date Made Active in Reports: 08/07/1995
Number of Days to Update: 35

Source: EPA
Telephone: 202-564-4104
Last EDR Contact: 06/02/2008
Next Scheduled EDR Contact: 09/01/2008
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 07/26/2022	Source: EPA
Date Data Arrived at EDR: 08/02/2022	Telephone: 202-564-6023
Date Made Active in Reports: 08/31/2022	Last EDR Contact: 10/05/2022
Number of Days to Update: 29	Next Scheduled EDR Contact: 11/14/2022
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 01/20/2022	Source: EPA
Date Data Arrived at EDR: 01/20/2022	Telephone: 202-566-0500
Date Made Active in Reports: 03/25/2022	Last EDR Contact: 10/06/2022
Number of Days to Update: 64	Next Scheduled EDR Contact: 01/16/2023
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 09/27/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/16/2023
	Data Release Frequency: Quarterly

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 06/10/2022	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 06/14/2022	Telephone: 301-415-7169
Date Made Active in Reports: 08/22/2022	Last EDR Contact: 10/11/2022
Number of Days to Update: 69	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2020	Source: Department of Energy
Date Data Arrived at EDR: 11/30/2021	Telephone: 202-586-8719
Date Made Active in Reports: 02/22/2022	Last EDR Contact: 08/25/2022
Number of Days to Update: 84	Next Scheduled EDR Contact: 12/12/2022
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/05/2019	Telephone: N/A
Date Made Active in Reports: 11/11/2019	Last EDR Contact: 08/25/2022
Number of Days to Update: 251	Next Scheduled EDR Contact: 12/12/2022
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/06/2019	Telephone: 202-566-0517
Date Made Active in Reports: 02/10/2020	Last EDR Contact: 08/04/2022
Number of Days to Update: 96	Next Scheduled EDR Contact: 11/14/2022
	Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 07/01/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 07/01/2019	Telephone: 202-343-9775
Date Made Active in Reports: 09/23/2019	Last EDR Contact: 09/21/2022
Number of Days to Update: 84	Next Scheduled EDR Contact: 01/10/2023
	Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020
Date Data Arrived at EDR: 01/28/2020
Date Made Active in Reports: 04/17/2020
Number of Days to Update: 80

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 10/24/2022
Next Scheduled EDR Contact: 02/06/2023
Data Release Frequency: Quarterly

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 06/30/2022
Date Data Arrived at EDR: 07/21/2022
Date Made Active in Reports: 09/30/2022
Number of Days to Update: 71

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2019
Date Data Arrived at EDR: 03/02/2022
Date Made Active in Reports: 03/25/2022
Number of Days to Update: 23

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 09/19/2022
Next Scheduled EDR Contact: 01/02/2023
Data Release Frequency: Biennially

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 07/14/2015
Date Made Active in Reports: 01/10/2017
Number of Days to Update: 546

Source: USGS
Telephone: 202-208-3710
Last EDR Contact: 10/06/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Semi-Annually

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 07/26/2021
Date Data Arrived at EDR: 07/27/2021
Date Made Active in Reports: 10/22/2021
Number of Days to Update: 87

Source: Department of Energy
Telephone: 202-586-3559
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/30/2019
Date Data Arrived at EDR: 11/15/2019
Date Made Active in Reports: 01/28/2020
Number of Days to Update: 74

Source: Department of Energy
Telephone: 505-845-0011
Last EDR Contact: 08/24/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 07/26/2022
Date Data Arrived at EDR: 08/02/2022
Date Made Active in Reports: 08/22/2022
Number of Days to Update: 20

Source: Environmental Protection Agency
Telephone: 703-603-8787
Last EDR Contact: 10/05/2022
Next Scheduled EDR Contact: 01/09/2023
Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001
Date Data Arrived at EDR: 10/27/2010
Date Made Active in Reports: 12/02/2010
Number of Days to Update: 36

Source: American Journal of Public Health
Telephone: 703-305-6451
Last EDR Contact: 12/02/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 08/01/2022
Date Data Arrived at EDR: 08/02/2022
Date Made Active in Reports: 09/30/2022
Number of Days to Update: 59

Source: DOL, Mine Safety & Health Admi
Telephone: 202-693-9424
Last EDR Contact: 10/04/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Quarterly

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/03/2022
Date Data Arrived at EDR: 08/17/2022
Date Made Active in Reports: 08/31/2022
Number of Days to Update: 14

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 08/17/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: Semi-Annually

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020
Date Data Arrived at EDR: 05/27/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 78

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/17/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 08/17/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 06/14/2022
Date Data Arrived at EDR: 06/15/2022
Date Made Active in Reports: 08/22/2022
Number of Days to Update: 68

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 09/13/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 08/03/2022
Date Data Arrived at EDR: 08/25/2022
Date Made Active in Reports: 10/24/2022
Number of Days to Update: 60

Source: EPA
Telephone: (415) 947-8000
Last EDR Contact: 08/25/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Quarterly

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 06/25/2022
Date Data Arrived at EDR: 07/01/2022
Date Made Active in Reports: 09/30/2022
Number of Days to Update: 91

Source: Environmental Protection Agency
Telephone: 202-564-2280
Last EDR Contact: 09/30/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/06/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 202-564-0527
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/22/2022
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/05/2022
	Data Release Frequency: Varies

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2020	Source: Department of Defense
Date Data Arrived at EDR: 01/11/2022	Telephone: 703-704-1564
Date Made Active in Reports: 02/14/2022	Last EDR Contact: 10/05/2022
Number of Days to Update: 34	Next Scheduled EDR Contact: 01/23/2023
	Data Release Frequency: Varies

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 08/11/2022	Source: EPA
Date Data Arrived at EDR: 08/11/2022	Telephone: 800-385-6164
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 08/11/2022
Number of Days to Update: 50	Next Scheduled EDR Contact: 11/28/2022
	Data Release Frequency: Quarterly

CA BOND EXP. PLAN: Bond Expenditure Plan

Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds. It is not updated.

Date of Government Version: 01/01/1989	Source: Department of Health Services
Date Data Arrived at EDR: 07/27/1994	Telephone: 916-255-2118
Date Made Active in Reports: 08/02/1994	Last EDR Contact: 05/31/1994
Number of Days to Update: 6	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

CORTESE: "Cortese" Hazardous Waste & Substances Sites List

The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites).

Date of Government Version: 06/21/2022	Source: CAL EPA/Office of Emergency Information
Date Data Arrived at EDR: 06/21/2022	Telephone: 916-323-3400
Date Made Active in Reports: 09/08/2022	Last EDR Contact: 09/19/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Quarterly

CUPA LIVERMORE-PLEASANTON: CUPA Facility Listing

list of facilities associated with the various CUPA programs in Livermore-Pleasanton

Date of Government Version: 12/07/2021	Source: Livermore-Pleasanton Fire Department
Date Data Arrived at EDR: 05/09/2022	Telephone: 925-454-2361
Date Made Active in Reports: 05/17/2022	Last EDR Contact: 08/11/2022
Number of Days to Update: 8	Next Scheduled EDR Contact: 11/21/2022
	Data Release Frequency: Varies

DRYCLEAN SOUTH COAST: South Coast Air Quality Management District Drycleaner Listing

A listing of dry cleaners in the South Coast Air Quality Management District

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/20/2022
Date Data Arrived at EDR: 05/20/2022
Date Made Active in Reports: 08/09/2022
Number of Days to Update: 81

Source: South Coast Air Quality Management District
Telephone: 909-396-3211
Last EDR Contact: 08/16/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: Varies

DRYCLEANERS: Cleaner Facilities

A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaner's agents; linen supply; coin-operated laundries and cleaning; drycleaning plants, except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

Date of Government Version: 08/27/2021
Date Data Arrived at EDR: 09/01/2021
Date Made Active in Reports: 11/19/2021
Number of Days to Update: 79

Source: Department of Toxic Substance Control
Telephone: 916-327-4498
Last EDR Contact: 09/07/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Annually

DRYCLEAN AVAQMD: Antelope Valley Air Quality Management District Drycleaner Listing

A listing of dry cleaners in the Antelope Valley Air Quality Management District.

Date of Government Version: 05/25/2022
Date Data Arrived at EDR: 05/26/2022
Date Made Active in Reports: 08/11/2022
Number of Days to Update: 77

Source: Antelope Valley Air Quality Management District
Telephone: 661-723-8070
Last EDR Contact: 08/23/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Varies

EMI: Emissions Inventory Data

Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies.

Date of Government Version: 12/31/2020
Date Data Arrived at EDR: 06/13/2022
Date Made Active in Reports: 08/30/2022
Number of Days to Update: 78

Source: California Air Resources Board
Telephone: 916-322-2990
Last EDR Contact: 09/16/2022
Next Scheduled EDR Contact: 12/26/2022
Data Release Frequency: Varies

ENF: Enforcement Action Listing

A listing of Water Board Enforcement Actions. Formal is everything except Oral/Verbal Communication, Notice of Violation, Expedited Payment Letter, and Staff Enforcement Letter.

Date of Government Version: 07/12/2022
Date Data Arrived at EDR: 07/18/2022
Date Made Active in Reports: 09/29/2022
Number of Days to Update: 73

Source: State Water Resources Control Board
Telephone: 916-445-9379
Last EDR Contact: 10/19/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

Financial Assurance 1: Financial Assurance Information Listing

Financial Assurance information

Date of Government Version: 07/06/2022
Date Data Arrived at EDR: 07/21/2022
Date Made Active in Reports: 10/03/2022
Number of Days to Update: 74

Source: Department of Toxic Substances Control
Telephone: 916-255-3628
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/09/2022
Date Data Arrived at EDR: 08/10/2022
Date Made Active in Reports: 08/30/2022
Number of Days to Update: 20

Source: California Integrated Waste Management Board
Telephone: 916-341-6066
Last EDR Contact: 08/02/2022
Next Scheduled EDR Contact: 11/21/2022
Data Release Frequency: Varies

HAZNET: Facility and Manifest Data

Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method. This database begins with calendar year 1993.

Date of Government Version: 12/31/2021
Date Data Arrived at EDR: 07/05/2022
Date Made Active in Reports: 09/19/2022
Number of Days to Update: 76

Source: California Environmental Protection Agency
Telephone: 916-255-1136
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Annually

ICE: ICE

Contains data pertaining to the Permitted Facilities with Inspections / Enforcements sites tracked in Envirostor.

Date of Government Version: 05/16/2022
Date Data Arrived at EDR: 05/17/2022
Date Made Active in Reports: 08/03/2022
Number of Days to Update: 78

Source: Department of Toxic Substances Control
Telephone: 877-786-9427
Last EDR Contact: 08/11/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Quarterly

HIST CORTESE: Hazardous Waste & Substance Site List

The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSITES]. This listing is no longer updated by the state agency.

Date of Government Version: 04/01/2001
Date Data Arrived at EDR: 01/22/2009
Date Made Active in Reports: 04/08/2009
Number of Days to Update: 76

Source: Department of Toxic Substances Control
Telephone: 916-323-3400
Last EDR Contact: 01/22/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

HWP: EnviroStor Permitted Facilities Listing

Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

Date of Government Version: 05/16/2022
Date Data Arrived at EDR: 05/17/2022
Date Made Active in Reports: 08/03/2022
Number of Days to Update: 78

Source: Department of Toxic Substances Control
Telephone: 916-323-3400
Last EDR Contact: 08/11/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Quarterly

HWT: Registered Hazardous Waste Transporter Database

A listing of hazardous waste transporters. In California, unless specifically exempted, it is unlawful for any person to transport hazardous wastes unless the person holds a valid registration issued by DTSC. A hazardous waste transporter registration is valid for one year and is assigned a unique registration number.

Date of Government Version: 07/05/2022
Date Data Arrived at EDR: 07/05/2022
Date Made Active in Reports: 09/19/2022
Number of Days to Update: 76

Source: Department of Toxic Substances Control
Telephone: 916-440-7145
Last EDR Contact: 10/03/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

MINES: Mines Site Location Listing

A listing of mine site locations from the Office of Mine Reclamation.

Date of Government Version: 06/06/2022	Source: Department of Conservation
Date Data Arrived at EDR: 06/07/2022	Telephone: 916-322-1080
Date Made Active in Reports: 08/23/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

MWMP: Medical Waste Management Program Listing

The Medical Waste Management Program (MWMP) ensures the proper handling and disposal of medical waste by permitting and inspecting medical waste Offsite Treatment Facilities (PDF) and Transfer Stations (PDF) throughout the state. MWMP also oversees all Medical Waste Transporters.

Date of Government Version: 05/06/2022	Source: Department of Public Health
Date Data Arrived at EDR: 05/31/2022	Telephone: 916-558-1784
Date Made Active in Reports: 08/18/2022	Last EDR Contact: 08/25/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 12/12/2022
	Data Release Frequency: Varies

NPDES: NPDES Permits Listing

A listing of NPDES permits, including stormwater.

Date of Government Version: 08/08/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 08/08/2022	Telephone: 916-445-9379
Date Made Active in Reports: 10/20/2022	Last EDR Contact: 08/08/2022
Number of Days to Update: 73	Next Scheduled EDR Contact: 11/21/2022
	Data Release Frequency: Quarterly

PEST LIC: Pesticide Regulation Licenses Listing

A listing of licenses and certificates issued by the Department of Pesticide Regulation. The DPR issues licenses and/or certificates to: Persons and businesses that apply or sell pesticides; Pest control dealers and brokers; Persons who advise on agricultural pesticide applications.

Date of Government Version: 05/31/2022	Source: Department of Pesticide Regulation
Date Data Arrived at EDR: 05/31/2022	Telephone: 916-445-4038
Date Made Active in Reports: 08/18/2022	Last EDR Contact: 08/25/2022
Number of Days to Update: 79	Next Scheduled EDR Contact: 12/12/2022
	Data Release Frequency: Quarterly

PROC: Certified Processors Database

A listing of certified processors.

Date of Government Version: 06/06/2022	Source: Department of Conservation
Date Data Arrived at EDR: 06/07/2022	Telephone: 916-323-3836
Date Made Active in Reports: 08/23/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

NOTIFY 65: Proposition 65 Records

Listings of all Proposition 65 incidents reported to counties by the State Water Resources Control Board and the Regional Water Quality Control Board. This database is no longer updated by the reporting agency.

Date of Government Version: 06/10/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/10/2022	Telephone: 916-445-3846
Date Made Active in Reports: 08/26/2022	Last EDR Contact: 09/07/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/26/2022
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UIC: UIC Listing

A listing of wells identified as underground injection wells, in the California Oil and Gas Wells database.

Date of Government Version: 06/06/2022	Source: Department of Conservation
Date Data Arrived at EDR: 06/07/2022	Telephone: 916-445-2408
Date Made Active in Reports: 08/23/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

UIC GEO: Underground Injection Control Sites (GEOTRACKER)

Underground control injection sites

Date of Government Version: 05/23/2022	Source: State Water Resource Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: 866-480-1028
Date Made Active in Reports: 06/02/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 10	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

WASTEWATER PITS: Oil Wastewater Pits Listing

Water officials discovered that oil producers have been dumping chemical-laden wastewater into hundreds of unlined pits that are operating without proper permits. Inspections completed by the Central Valley Regional Water Quality Control Board revealed the existence of previously unidentified waste sites. The water boards review found that more than one-third of the region's active disposal pits are operating without permission.

Date of Government Version: 02/11/2021	Source: RWQCB, Central Valley Region
Date Data Arrived at EDR: 07/01/2021	Telephone: 559-445-5577
Date Made Active in Reports: 09/29/2021	Last EDR Contact: 10/06/2022
Number of Days to Update: 90	Next Scheduled EDR Contact: 01/16/2023
	Data Release Frequency: Varies

WDS: Waste Discharge System

Sites which have been issued waste discharge requirements.

Date of Government Version: 06/19/2007	Source: State Water Resources Control Board
Date Data Arrived at EDR: 06/20/2007	Telephone: 916-341-5227
Date Made Active in Reports: 06/29/2007	Last EDR Contact: 08/09/2022
Number of Days to Update: 9	Next Scheduled EDR Contact: 11/28/2022
	Data Release Frequency: No Update Planned

WIP: Well Investigation Program Case List

Well Investigation Program case in the San Gabriel and San Fernando Valley area.

Date of Government Version: 07/03/2009	Source: Los Angeles Water Quality Control Board
Date Data Arrived at EDR: 07/21/2009	Telephone: 213-576-6726
Date Made Active in Reports: 08/03/2009	Last EDR Contact: 09/13/2022
Number of Days to Update: 13	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: No Update Planned

MILITARY PRIV SITES: Military Privatized Sites (GEOTRACKER)

Military privatized sites

Date of Government Version: 05/23/2022	Source: State Water Resources Control Board
Date Data Arrived at EDR: 05/23/2022	Telephone: 866-480-1028
Date Made Active in Reports: 06/02/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 10	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Varies

PROJECT: Project Sites (GEOTRACKER)

Projects sites

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/23/2022
Date Data Arrived at EDR: 05/23/2022
Date Made Active in Reports: 06/02/2022
Number of Days to Update: 10

Source: State Water Resources Control Board
Telephone: 866-480-1028
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Varies

WDR: Waste Discharge Requirements Listing

In general, the Waste Discharge Requirements (WDRs) Program (sometimes also referred to as the "Non Chapter 15 (Non 15) Program") regulates point discharges that are exempt pursuant to Subsection 20090 of Title 27 and not subject to the Federal Water Pollution Control Act. Exemptions from Title 27 may be granted for nine categories of discharges (e.g., sewage, wastewater, etc.) that meet, and continue to meet, the preconditions listed for each specific exemption. The scope of the WDRs Program also includes the discharge of wastes classified as inert, pursuant to section 20230 of Title 27.

Date of Government Version: 06/06/2022
Date Data Arrived at EDR: 06/07/2022
Date Made Active in Reports: 08/24/2022
Number of Days to Update: 78

Source: State Water Resources Control Board
Telephone: 916-341-5810
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Quarterly

CIWQS: California Integrated Water Quality System

The California Integrated Water Quality System (CIWQS) is a computer system used by the State and Regional Water Quality Control Boards to track information about places of environmental interest, manage permits and other orders, track inspections, and manage violations and enforcement activities.

Date of Government Version: 08/16/2022
Date Data Arrived at EDR: 08/17/2022
Date Made Active in Reports: 08/18/2022
Number of Days to Update: 1

Source: State Water Resources Control Board
Telephone: 866-794-4977
Last EDR Contact: 08/17/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Varies

CERS: CalEPA Regulated Site Portal Data

The CalEPA Regulated Site Portal database combines data about environmentally regulated sites and facilities in California into a single database. It combines data from a variety of state and federal databases, and provides an overview of regulated activities across the spectrum of environmental programs for any given location in California. These activities include hazardous materials and waste, state and federal cleanups, impacted ground and surface waters, and toxic materials

Date of Government Version: 07/18/2022
Date Data Arrived at EDR: 07/18/2022
Date Made Active in Reports: 09/30/2022
Number of Days to Update: 74

Source: California Environmental Protection Agency
Telephone: 916-323-2514
Last EDR Contact: 10/17/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

NON-CASE INFO: Non-Case Information Sites (GEOTRACKER)

Non-Case Information sites

Date of Government Version: 05/23/2022
Date Data Arrived at EDR: 05/23/2022
Date Made Active in Reports: 06/02/2022
Number of Days to Update: 10

Source: State Water Resources Control Board
Telephone: 866-480-1028
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Varies

OTHER OIL GAS: Other Oil & Gas Projects Sites (GEOTRACKER)

Other Oil & Gas Projects sites

Date of Government Version: 05/23/2022
Date Data Arrived at EDR: 05/23/2022
Date Made Active in Reports: 06/02/2022
Number of Days to Update: 10

Source: State Water Resources Control Board
Telephone: 866-480-1028
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PROD WATER PONDS: Produced Water Ponds Sites (GEOTRACKER)

Produced water ponds sites

Date of Government Version: 05/23/2022
Date Data Arrived at EDR: 05/23/2022
Date Made Active in Reports: 06/02/2022
Number of Days to Update: 10

Source: State Water Resources Control Board
Telephone: 866-480-1028
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Varies

SAMPLING POINT: Sampling Point ? Public Sites (GEOTRACKER)

Sampling point - public sites

Date of Government Version: 05/23/2022
Date Data Arrived at EDR: 05/23/2022
Date Made Active in Reports: 06/02/2022
Number of Days to Update: 10

Source: State Water Resources Control Board
Telephone: 866-480-1028
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Varies

WELL STIM PROJ: Well Stimulation Project (GEOTRACKER)

Includes areas of groundwater monitoring plans, a depiction of the monitoring network, and the facilities, boundaries, and subsurface characteristics of the oilfield and the features (oil and gas wells, produced water ponds, UIC wells, water supply wells, etc?) being monitored

Date of Government Version: 05/23/2022
Date Data Arrived at EDR: 05/23/2022
Date Made Active in Reports: 06/02/2022
Number of Days to Update: 10

Source: State Water Resources Control Board
Telephone: 866-480-1028
Last EDR Contact: 08/31/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Varies

PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

Date of Government Version: 11/05/2014
Date Data Arrived at EDR: 01/06/2015
Date Made Active in Reports: 05/06/2015
Number of Days to Update: 120

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/28/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Semi-Annually

PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 02/05/2015
Date Made Active in Reports: 03/06/2015
Number of Days to Update: 29

Source: EPA
Telephone: 202-564-2497
Last EDR Contact: 09/28/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Varies

HWTS: Hazardous Waste Tracking System

DTSC maintains the Hazardous Waste Tracking System that stores ID number information since the early 1980s and manifest data since 1993. The system collects both manifest copies from the generator and destination facility.

Date of Government Version: 04/05/2022
Date Data Arrived at EDR: 04/05/2022
Date Made Active in Reports: 04/26/2022
Number of Days to Update: 21

Source: Department of Toxic Substances Control
Telephone: 916-324-2444
Last EDR Contact: 10/03/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Varies

MINES MRDS: Mineral Resources Data System

Mineral Resources Data System

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/06/2018
Date Data Arrived at EDR: 10/21/2019
Date Made Active in Reports: 10/24/2019
Number of Days to Update: 3

Source: USGS
Telephone: 703-648-6533
Last EDR Contact: 08/17/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: Varies

PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011
Date Data Arrived at EDR: 08/05/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 55

Source: EPA, Office of Water
Telephone: 202-564-2496
Last EDR Contact: 09/28/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Semi-Annually

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Resources Recycling and Recovery in California.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 01/13/2014
Number of Days to Update: 196

Source: Department of Resources Recycling and Recovery
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the State Water Resources Control Board in California.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/30/2013
Number of Days to Update: 182

Source: State Water Resources Control Board
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

COUNTY RECORDS

ALAMEDA COUNTY:

CS ALAMEDA: Contaminated Sites

A listing of contaminated sites overseen by the Toxic Release Program (oil and groundwater contamination from chemical releases and spills) and the Leaking Underground Storage Tank Program (soil and ground water contamination from leaking petroleum USTs).

Date of Government Version: 01/09/2019
Date Data Arrived at EDR: 01/11/2019
Date Made Active in Reports: 03/05/2019
Number of Days to Update: 53

Source: Alameda County Environmental Health Services
Telephone: 510-567-6700
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Semi-Annually

UST ALAMEDA: Underground Tanks

Underground storage tank sites located in Alameda county.

Date of Government Version: 06/29/2022
Date Data Arrived at EDR: 06/29/2022
Date Made Active in Reports: 07/21/2022
Number of Days to Update: 22

Source: Alameda County Environmental Health Services
Telephone: 510-567-6700
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Semi-Annually

AMADOR COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA AMADOR: CUPA Facility List Cupa Facility List

Date of Government Version: 07/22/2022
Date Data Arrived at EDR: 07/27/2022
Date Made Active in Reports: 08/01/2022
Number of Days to Update: 5

Source: Amador County Environmental Health
Telephone: 209-223-6439
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

BUTTE COUNTY:

CUPA BUTTE: CUPA Facility Listing Cupa facility list.

Date of Government Version: 04/21/2017
Date Data Arrived at EDR: 04/25/2017
Date Made Active in Reports: 08/09/2017
Number of Days to Update: 106

Source: Public Health Department
Telephone: 530-538-7149
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: No Update Planned

CALVERAS COUNTY:

CUPA CALVERAS: CUPA Facility Listing Cupa Facility Listing

Date of Government Version: 06/14/2022
Date Data Arrived at EDR: 06/15/2022
Date Made Active in Reports: 09/02/2022
Number of Days to Update: 79

Source: Calveras County Environmental Health
Telephone: 209-754-6399
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/02/2023
Data Release Frequency: Quarterly

COLUSA COUNTY:

CUPA COLUSA: CUPA Facility List Cupa facility list.

Date of Government Version: 04/06/2020
Date Data Arrived at EDR: 04/23/2020
Date Made Active in Reports: 07/10/2020
Number of Days to Update: 78

Source: Health & Human Services
Telephone: 530-458-0396
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Semi-Annually

CONTRA COSTA COUNTY:

SL CONTRA COSTA: Site List

List includes sites from the underground tank, hazardous waste generator and business plan/2185 programs.

Date of Government Version: 07/20/2022
Date Data Arrived at EDR: 07/20/2022
Date Made Active in Reports: 10/03/2022
Number of Days to Update: 75

Source: Contra Costa Health Services Department
Telephone: 925-646-2286
Last EDR Contact: 10/20/2022
Next Scheduled EDR Contact: 02/06/2023
Data Release Frequency: Semi-Annually

DEL NORTE COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA DEL NORTE: CUPA Facility List Cupa Facility list

Date of Government Version: 05/04/2022
Date Data Arrived at EDR: 05/06/2022
Date Made Active in Reports: 07/28/2022
Number of Days to Update: 83

Source: Del Norte County Environmental Health Division
Telephone: 707-465-0426
Last EDR Contact: 10/20/2022
Next Scheduled EDR Contact: 02/06/2023
Data Release Frequency: Varies

EL DORADO COUNTY:

CUPA EL DORADO: CUPA Facility List CUPA facility list.

Date of Government Version: 08/08/2022
Date Data Arrived at EDR: 08/09/2022
Date Made Active in Reports: 09/01/2022
Number of Days to Update: 23

Source: El Dorado County Environmental Management Department
Telephone: 530-621-6623
Last EDR Contact: 10/20/2022
Next Scheduled EDR Contact: 02/06/2023
Data Release Frequency: Varies

FRESNO COUNTY:

CUPA FRESNO: CUPA Resources List

Certified Unified Program Agency. CUPA's are responsible for implementing a unified hazardous materials and hazardous waste management regulatory program. The agency provides oversight of businesses that deal with hazardous materials, operate underground storage tanks or aboveground storage tanks.

Date of Government Version: 06/28/2021
Date Data Arrived at EDR: 12/21/2021
Date Made Active in Reports: 03/03/2022
Number of Days to Update: 72

Source: Dept. of Community Health
Telephone: 559-445-3271
Last EDR Contact: 09/30/2022
Next Scheduled EDR Contact: 01/09/2023
Data Release Frequency: Semi-Annually

GLENN COUNTY:

CUPA GLENN: CUPA Facility List Cupa facility list

Date of Government Version: 01/22/2018
Date Data Arrived at EDR: 01/24/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 49

Source: Glenn County Air Pollution Control District
Telephone: 830-934-6500
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: No Update Planned

HUMBOLDT COUNTY:

CUPA HUMBOLDT: CUPA Facility List CUPA facility list.

Date of Government Version: 08/12/2021
Date Data Arrived at EDR: 08/12/2021
Date Made Active in Reports: 11/08/2021
Number of Days to Update: 88

Source: Humboldt County Environmental Health
Telephone: N/A
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Semi-Annually

IMPERIAL COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA IMPERIAL: CUPA Facility List Cupa facility list.

Date of Government Version: 07/13/2022
Date Data Arrived at EDR: 07/14/2022
Date Made Active in Reports: 09/29/2022
Number of Days to Update: 77

Source: San Diego Border Field Office
Telephone: 760-339-2777
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

INYO COUNTY:

CUPA INYO: CUPA Facility List Cupa facility list.

Date of Government Version: 04/02/2018
Date Data Arrived at EDR: 04/03/2018
Date Made Active in Reports: 06/14/2018
Number of Days to Update: 72

Source: Inyo County Environmental Health Services
Telephone: 760-878-0238
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

KERN COUNTY:

CUPA KERN: CUPA Facility List

A listing of sites included in the Kern County Hazardous Material Business Plan.

Date of Government Version: 05/06/2022
Date Data Arrived at EDR: 05/12/2022
Date Made Active in Reports: 08/01/2022
Number of Days to Update: 81

Source: Kern County Public Health
Telephone: 661-321-3000
Last EDR Contact: 09/21/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

UST KERN: Underground Storage Tank Sites & Tank Listing Kern County Sites and Tanks Listing.

Date of Government Version: 05/06/2022
Date Data Arrived at EDR: 05/12/2022
Date Made Active in Reports: 08/01/2022
Number of Days to Update: 81

Source: Kern County Environment Health Services Department
Telephone: 661-862-8700
Last EDR Contact: 09/21/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Quarterly

KINGS COUNTY:

CUPA KINGS: CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

Date of Government Version: 12/03/2020
Date Data Arrived at EDR: 01/26/2021
Date Made Active in Reports: 04/14/2021
Number of Days to Update: 78

Source: Kings County Department of Public Health
Telephone: 559-584-1411
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

LAKE COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA LAKE: CUPA Facility List Cupa facility list

Date of Government Version: 07/22/2022
Date Data Arrived at EDR: 07/25/2022
Date Made Active in Reports: 10/05/2022
Number of Days to Update: 72

Source: Lake County Environmental Health
Telephone: 707-263-1164
Last EDR Contact: 10/04/2022
Next Scheduled EDR Contact: 01/23/2023
Data Release Frequency: Varies

LASSEN COUNTY:

CUPA LASSEN: CUPA Facility List Cupa facility list

Date of Government Version: 07/31/2020
Date Data Arrived at EDR: 08/21/2020
Date Made Active in Reports: 11/09/2020
Number of Days to Update: 80

Source: Lassen County Environmental Health
Telephone: 530-251-8528
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

LOS ANGELES COUNTY:

AOCONCERN: Key Areas of Concerns in Los Angeles County

San Gabriel Valley areas where VOC contamination is at or above the MCL as designated by region 9 EPA office. Date of Government Version: 3/30/2009 Exide Site area is a cleanup plan of lead-impacted soil surrounding the former Exide Facility as designated by the DTSC. Date of Government Version: 7/17/2017

Date of Government Version: 03/30/2009
Date Data Arrived at EDR: 03/31/2009
Date Made Active in Reports: 10/23/2009
Number of Days to Update: 206

Source: N/A
Telephone: N/A
Last EDR Contact: 09/07/2022
Next Scheduled EDR Contact: 12/26/2022
Data Release Frequency: No Update Planned

HMS LOS ANGELES: HMS: Street Number List

Industrial Waste and Underground Storage Tank Sites.

Date of Government Version: 07/06/2022
Date Data Arrived at EDR: 07/07/2022
Date Made Active in Reports: 09/21/2022
Number of Days to Update: 76

Source: Department of Public Works
Telephone: 626-458-3517
Last EDR Contact: 09/27/2022
Next Scheduled EDR Contact: 01/16/2023
Data Release Frequency: Semi-Annually

LF LOS ANGELES: List of Solid Waste Facilities Solid Waste Facilities in Los Angeles County.

Date of Government Version: 07/11/2022
Date Data Arrived at EDR: 07/11/2022
Date Made Active in Reports: 09/23/2022
Number of Days to Update: 74

Source: La County Department of Public Works
Telephone: 818-458-5185
Last EDR Contact: 10/07/2022
Next Scheduled EDR Contact: 01/23/2023
Data Release Frequency: Varies

LF LOS ANGELES CITY: City of Los Angeles Landfills

Landfills owned and maintained by the City of Los Angeles.

Date of Government Version: 01/01/2022
Date Data Arrived at EDR: 01/21/2022
Date Made Active in Reports: 04/11/2022
Number of Days to Update: 80

Source: Engineering & Construction Division
Telephone: 213-473-7869
Last EDR Contact: 10/04/2022
Next Scheduled EDR Contact: 01/23/2023
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LOS ANGELES AST: Active & Inactive AST Inventory

A listing of active & inactive above ground petroleum storage tank site locations, located in the City of Los Angeles.

Date of Government Version: 06/01/2019	Source: Los Angeles Fire Department
Date Data Arrived at EDR: 06/25/2019	Telephone: 213-978-3800
Date Made Active in Reports: 08/22/2019	Last EDR Contact: 09/19/2022
Number of Days to Update: 58	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Varies

LOS ANGELES CO LF METHANE: Methane Producing Landfills

This data was created on April 30, 2012 to represent known disposal sites in Los Angeles County that may produce and emanate methane gas. The shapefile contains disposal sites within Los Angeles County that once accepted degradable refuse material. Information used to create this data was extracted from a landfill survey performed by County Engineers (Major Waste System Map, 1973) as well as historical records from CalRecycle, Regional Water Quality Control Board, and Los Angeles County Department of Public Health

Date of Government Version: 01/10/2022	Source: Los Angeles County Department of Public Works
Date Data Arrived at EDR: 01/12/2022	Telephone: 626-458-6973
Date Made Active in Reports: 04/04/2022	Last EDR Contact: 10/04/2022
Number of Days to Update: 82	Next Scheduled EDR Contact: 01/23/2023
	Data Release Frequency: No Update Planned

LOS ANGELES HM: Active & Inactive Hazardous Materials Inventory

A listing of active & inactive hazardous materials facility locations, located in the City of Los Angeles.

Date of Government Version: 01/13/2022	Source: Los Angeles Fire Department
Date Data Arrived at EDR: 03/21/2022	Telephone: 213-978-3800
Date Made Active in Reports: 06/15/2022	Last EDR Contact: 09/20/2022
Number of Days to Update: 86	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Varies

LOS ANGELES UST: Active & Inactive UST Inventory

A listing of active & inactive underground storage tank site locations and underground storage tank historical sites, located in the City of Los Angeles.

Date of Government Version: 03/22/2022	Source: Los Angeles Fire Department
Date Data Arrived at EDR: 06/24/2022	Telephone: 213-978-3800
Date Made Active in Reports: 09/08/2022	Last EDR Contact: 09/20/2022
Number of Days to Update: 76	Next Scheduled EDR Contact: 01/02/2023
	Data Release Frequency: Varies

SITE MIT LOS ANGELES: Site Mitigation List

Industrial sites that have had some sort of spill or complaint.

Date of Government Version: 05/26/2021	Source: Community Health Services
Date Data Arrived at EDR: 07/09/2021	Telephone: 323-890-7806
Date Made Active in Reports: 09/29/2021	Last EDR Contact: 10/20/2022
Number of Days to Update: 82	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Annually

UST EL SEGUNDO: City of El Segundo Underground Storage Tank

Underground storage tank sites located in El Segundo city.

Date of Government Version: 01/21/2017	Source: City of El Segundo Fire Department
Date Data Arrived at EDR: 04/19/2017	Telephone: 310-524-2236
Date Made Active in Reports: 05/10/2017	Last EDR Contact: 10/04/2022
Number of Days to Update: 21	Next Scheduled EDR Contact: 01/23/2023
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UST LONG BEACH: City of Long Beach Underground Storage Tank
Underground storage tank sites located in the city of Long Beach.

Date of Government Version: 04/22/2019	Source: City of Long Beach Fire Department
Date Data Arrived at EDR: 04/23/2019	Telephone: 562-570-2563
Date Made Active in Reports: 06/27/2019	Last EDR Contact: 10/11/2022
Number of Days to Update: 65	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Varies

UST TORRANCE: City of Torrance Underground Storage Tank
Underground storage tank sites located in the city of Torrance.

Date of Government Version: 04/22/2022	Source: City of Torrance Fire Department
Date Data Arrived at EDR: 07/19/2022	Telephone: 310-618-2973
Date Made Active in Reports: 09/30/2022	Last EDR Contact: 10/11/2022
Number of Days to Update: 73	Next Scheduled EDR Contact: 01/30/2023
	Data Release Frequency: Semi-Annually

MADERA COUNTY:

CUPA MADERA: CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

Date of Government Version: 08/10/2020	Source: Madera County Environmental Health
Date Data Arrived at EDR: 08/12/2020	Telephone: 559-675-7823
Date Made Active in Reports: 10/23/2020	Last EDR Contact: 08/09/2022
Number of Days to Update: 72	Next Scheduled EDR Contact: 11/28/2022
	Data Release Frequency: Varies

MARIN COUNTY:

UST MARIN: Underground Storage Tank Sites
Currently permitted USTs in Marin County.

Date of Government Version: 09/26/2018	Source: Public Works Department Waste Management
Date Data Arrived at EDR: 10/04/2018	Telephone: 415-473-6647
Date Made Active in Reports: 11/02/2018	Last EDR Contact: 09/21/2022
Number of Days to Update: 29	Next Scheduled EDR Contact: 01/10/2023
	Data Release Frequency: Semi-Annually

MENDOCINO COUNTY:

UST MENDOCINO: Mendocino County UST Database
A listing of underground storage tank locations in Mendocino County.

Date of Government Version: 09/22/2021	Source: Department of Public Health
Date Data Arrived at EDR: 11/18/2021	Telephone: 707-463-4466
Date Made Active in Reports: 11/22/2021	Last EDR Contact: 08/16/2022
Number of Days to Update: 4	Next Scheduled EDR Contact: 12/05/2022
	Data Release Frequency: Annually

MERCED COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA MERCED: CUPA Facility List CUPA facility list.

Date of Government Version: 02/15/2022
Date Data Arrived at EDR: 02/17/2022
Date Made Active in Reports: 05/11/2022
Number of Days to Update: 83

Source: Merced County Environmental Health
Telephone: 209-381-1094
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

MONO COUNTY:

CUPA MONO: CUPA Facility List CUPA Facility List

Date of Government Version: 02/22/2021
Date Data Arrived at EDR: 03/02/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 78

Source: Mono County Health Department
Telephone: 760-932-5580
Last EDR Contact: 08/15/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: Varies

MONTEREY COUNTY:

CUPA MONTEREY: CUPA Facility Listing CUPA Program listing from the Environmental Health Division.

Date of Government Version: 10/04/2021
Date Data Arrived at EDR: 10/06/2021
Date Made Active in Reports: 12/29/2021
Number of Days to Update: 84

Source: Monterey County Health Department
Telephone: 831-796-1297
Last EDR Contact: 10/04/2022
Next Scheduled EDR Contact: 01/10/2023
Data Release Frequency: Varies

NAPA COUNTY:

LUST NAPA: Sites With Reported Contamination A listing of leaking underground storage tank sites located in Napa county.

Date of Government Version: 01/09/2017
Date Data Arrived at EDR: 01/11/2017
Date Made Active in Reports: 03/02/2017
Number of Days to Update: 50

Source: Napa County Department of Environmental Management
Telephone: 707-253-4269
Last EDR Contact: 08/15/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: No Update Planned

UST NAPA: Closed and Operating Underground Storage Tank Sites Underground storage tank sites located in Napa county.

Date of Government Version: 09/05/2019
Date Data Arrived at EDR: 09/09/2019
Date Made Active in Reports: 10/31/2019
Number of Days to Update: 52

Source: Napa County Department of Environmental Management
Telephone: 707-253-4269
Last EDR Contact: 08/15/2022
Next Scheduled EDR Contact: 12/05/2022
Data Release Frequency: No Update Planned

NEVADA COUNTY:

CUPA NEVADA: CUPA Facility List CUPA facility list.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/21/2022
Date Data Arrived at EDR: 07/25/2022
Date Made Active in Reports: 07/28/2022
Number of Days to Update: 3

Source: Community Development Agency
Telephone: 530-265-1467
Last EDR Contact: 10/20/2022
Next Scheduled EDR Contact: 02/06/2023
Data Release Frequency: Varies

ORANGE COUNTY:

IND_SITE ORANGE: List of Industrial Site Cleanups
Petroleum and non-petroleum spills.

Date of Government Version: 04/08/2022
Date Data Arrived at EDR: 05/09/2022
Date Made Active in Reports: 07/28/2022
Number of Days to Update: 80

Source: Health Care Agency
Telephone: 714-834-3446
Last EDR Contact: 07/29/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Annually

LUST ORANGE: List of Underground Storage Tank Cleanups
Orange County Underground Storage Tank Cleanups (LUST).

Date of Government Version: 04/08/2022
Date Data Arrived at EDR: 05/18/2022
Date Made Active in Reports: 08/03/2022
Number of Days to Update: 77

Source: Health Care Agency
Telephone: 714-834-3446
Last EDR Contact: 07/29/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Quarterly

UST ORANGE: List of Underground Storage Tank Facilities
Orange County Underground Storage Tank Facilities (UST).

Date of Government Version: 05/24/2022
Date Data Arrived at EDR: 08/01/2022
Date Made Active in Reports: 10/20/2022
Number of Days to Update: 80

Source: Health Care Agency
Telephone: 714-834-3446
Last EDR Contact: 08/01/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Quarterly

PLACER COUNTY:

MS PLACER: Master List of Facilities
List includes aboveground tanks, underground tanks and cleanup sites.

Date of Government Version: 05/25/2022
Date Data Arrived at EDR: 05/26/2022
Date Made Active in Reports: 06/01/2022
Number of Days to Update: 6

Source: Placer County Health and Human Services
Telephone: 530-745-2363
Last EDR Contact: 08/23/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Semi-Annually

PLUMAS COUNTY:

CUPA PLUMAS: CUPA Facility List
Plumas County CUPA Program facilities.

Date of Government Version: 03/31/2019
Date Data Arrived at EDR: 04/23/2019
Date Made Active in Reports: 06/26/2019
Number of Days to Update: 64

Source: Plumas County Environmental Health
Telephone: 530-283-6355
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

RIVERSIDE COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LUST RIVERSIDE: Listing of Underground Tank Cleanup Sites

Riverside County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 07/07/2022
Date Data Arrived at EDR: 07/08/2022
Date Made Active in Reports: 09/21/2022
Number of Days to Update: 75

Source: Department of Environmental Health
Telephone: 951-358-5055
Last EDR Contact: 09/07/2022
Next Scheduled EDR Contact: 12/26/2022
Data Release Frequency: Quarterly

UST RIVERSIDE: Underground Storage Tank Tank List

Underground storage tank sites located in Riverside county.

Date of Government Version: 07/07/2022
Date Data Arrived at EDR: 07/08/2022
Date Made Active in Reports: 09/21/2022
Number of Days to Update: 75

Source: Department of Environmental Health
Telephone: 951-358-5055
Last EDR Contact: 09/07/2022
Next Scheduled EDR Contact: 12/26/2022
Data Release Frequency: Quarterly

SACRAMENTO COUNTY:

CS SACRAMENTO: Toxic Site Clean-Up List

List of sites where unauthorized releases of potentially hazardous materials have occurred.

Date of Government Version: 06/18/2021
Date Data Arrived at EDR: 09/28/2021
Date Made Active in Reports: 12/14/2021
Number of Days to Update: 77

Source: Sacramento County Environmental Management
Telephone: 916-875-8406
Last EDR Contact: 09/30/2022
Next Scheduled EDR Contact: 01/09/2023
Data Release Frequency: Quarterly

ML SACRAMENTO: Master Hazardous Materials Facility List

Any business that has hazardous materials on site - hazardous material storage sites, underground storage tanks, waste generators.

Date of Government Version: 05/04/2022
Date Data Arrived at EDR: 06/30/2022
Date Made Active in Reports: 07/05/2022
Number of Days to Update: 5

Source: Sacramento County Environmental Management
Telephone: 916-875-8406
Last EDR Contact: 09/26/2022
Next Scheduled EDR Contact: 01/10/2023
Data Release Frequency: Quarterly

SAN BENITO COUNTY:

CUPA SAN BENITO: CUPA Facility List

Cupa facility list

Date of Government Version: 07/27/2022
Date Data Arrived at EDR: 07/27/2022
Date Made Active in Reports: 10/11/2022
Number of Days to Update: 76

Source: San Benito County Environmental Health
Telephone: N/A
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

SAN BERNARDINO COUNTY:

PERMITS SAN BERNARDINO: Hazardous Material Permits

This listing includes underground storage tanks, medical waste handlers/generators, hazardous materials handlers, hazardous waste generators, and waste oil generators/handlers.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/12/2022
Date Data Arrived at EDR: 05/12/2022
Date Made Active in Reports: 05/18/2022
Number of Days to Update: 6

Source: San Bernardino County Fire Department Hazardous Materials Division
Telephone: 909-387-3041
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Quarterly

SAN DIEGO COUNTY:

HMMD SAN DIEGO: Hazardous Materials Management Division Database

The database includes: HE58 - This report contains the business name, site address, business phone number, establishment 'H' permit number, type of permit, and the business status. HE17 - In addition to providing the same information provided in the HE58 listing, HE17 provides inspection dates, violations received by the establishment, hazardous waste generated, the quantity, method of storage, treatment/disposal of waste and the hauler, and information on underground storage tanks. Unauthorized Release List - Includes a summary of environmental contamination cases in San Diego County (underground tank cases, non-tank cases, groundwater contamination, and soil contamination are included.)

Date of Government Version: 05/31/2022
Date Data Arrived at EDR: 05/31/2022
Date Made Active in Reports: 08/18/2022
Number of Days to Update: 79

Source: Hazardous Materials Management Division
Telephone: 619-338-2268
Last EDR Contact: 08/25/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Quarterly

LF SAN DIEGO: Solid Waste Facilities

San Diego County Solid Waste Facilities.

Date of Government Version: 10/27/2021
Date Data Arrived at EDR: 03/04/2022
Date Made Active in Reports: 05/31/2022
Number of Days to Update: 88

Source: Department of Health Services
Telephone: 619-338-2209
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

SAN DIEGO CO LOP: Local Oversight Program Listing

A listing of all LOP release sites that are or were under the County of San Diego's jurisdiction. Included are closed or transferred cases, open cases, and cases that did not have a case type indicated. The cases without a case type are mostly complaints; however, some of them could be LOP cases.

Date of Government Version: 07/22/2021
Date Data Arrived at EDR: 10/19/2021
Date Made Active in Reports: 01/13/2022
Number of Days to Update: 86

Source: Department of Environmental Health
Telephone: 858-505-6874
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

SAN DIEGO CO SAM: Environmental Case Listing

The listing contains all underground tank release cases and projects pertaining to properties contaminated with hazardous substances that are actively under review by the Site Assessment and Mitigation Program.

Date of Government Version: 03/23/2010
Date Data Arrived at EDR: 06/15/2010
Date Made Active in Reports: 07/09/2010
Number of Days to Update: 24

Source: San Diego County Department of Environmental Health
Telephone: 619-338-2371
Last EDR Contact: 08/23/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: No Update Planned

SAN FRANCISCO COUNTY:

CUPA SAN FRANCISCO CO: CUPA Facility Listing
Cupa facilities

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/04/2022
Date Data Arrived at EDR: 08/04/2022
Date Made Active in Reports: 10/20/2022
Number of Days to Update: 77

Source: San Francisco County Department of Environmental Health
Telephone: 415-252-3896
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

LUST SAN FRANCISCO: Local Oversight Facilities

A listing of leaking underground storage tank sites located in San Francisco county.

Date of Government Version: 09/19/2008
Date Data Arrived at EDR: 09/19/2008
Date Made Active in Reports: 09/29/2008
Number of Days to Update: 10

Source: Department Of Public Health San Francisco County
Telephone: 415-252-3920
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: No Update Planned

UST SAN FRANCISCO: Underground Storage Tank Information

Underground storage tank sites located in San Francisco county.

Date of Government Version: 08/04/2022
Date Data Arrived at EDR: 08/04/2022
Date Made Active in Reports: 10/20/2022
Number of Days to Update: 77

Source: Department of Public Health
Telephone: 415-252-3920
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Quarterly

SAN FRANCISCO COUNTY:

SAN FRANCISCO MAHER: Maher Ordinance Property Listing

a listing of properties that fall within a Maher Ordinance, for all of San Francisco

Date of Government Version: 01/18/2022
Date Data Arrived at EDR: 01/20/2022
Date Made Active in Reports: 04/27/2022
Number of Days to Update: 97

Source: San Francisco Planning
Telephone: 628-652-7483
Last EDR Contact: 10/07/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

SAN JOAQUIN COUNTY:

UST SAN JOAQUIN: San Joaquin Co. UST

A listing of underground storage tank locations in San Joaquin county.

Date of Government Version: 06/22/2018
Date Data Arrived at EDR: 06/26/2018
Date Made Active in Reports: 07/11/2018
Number of Days to Update: 15

Source: Environmental Health Department
Telephone: N/A
Last EDR Contact: 09/07/2022
Next Scheduled EDR Contact: 12/26/2022
Data Release Frequency: Semi-Annually

SAN LUIS OBISPO COUNTY:

CUPA SAN LUIS OBISPO: CUPA Facility List

Cupa Facility List.

Date of Government Version: 05/16/2022
Date Data Arrived at EDR: 05/18/2022
Date Made Active in Reports: 08/04/2022
Number of Days to Update: 78

Source: San Luis Obispo County Public Health Department
Telephone: 805-781-5596
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

SAN MATEO COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

BI SAN MATEO: Business Inventory

List includes Hazardous Materials Business Plan, hazardous waste generators, and underground storage tanks.

Date of Government Version: 02/20/2020

Date Data Arrived at EDR: 02/20/2020

Date Made Active in Reports: 04/24/2020

Number of Days to Update: 64

Source: San Mateo County Environmental Health Services Division

Telephone: 650-363-1921

Last EDR Contact: 09/09/2022

Next Scheduled EDR Contact: 12/19/2022

Data Release Frequency: Annually

LUST SAN MATEO: Fuel Leak List

A listing of leaking underground storage tank sites located in San Mateo county.

Date of Government Version: 03/29/2019

Date Data Arrived at EDR: 03/29/2019

Date Made Active in Reports: 05/29/2019

Number of Days to Update: 61

Source: San Mateo County Environmental Health Services Division

Telephone: 650-363-1921

Last EDR Contact: 08/29/2022

Next Scheduled EDR Contact: 12/19/2022

Data Release Frequency: Semi-Annually

SANTA BARBARA COUNTY:

CUPA SANTA BARBARA: CUPA Facility Listing

CUPA Program Listing from the Environmental Health Services division.

Date of Government Version: 09/08/2011

Date Data Arrived at EDR: 09/09/2011

Date Made Active in Reports: 10/07/2011

Number of Days to Update: 28

Source: Santa Barbara County Public Health Department

Telephone: 805-686-8167

Last EDR Contact: 08/09/2022

Next Scheduled EDR Contact: 11/28/2022

Data Release Frequency: No Update Planned

SANTA CLARA COUNTY:

CUPA SANTA CLARA: Cupa Facility List

Cupa facility list

Date of Government Version: 05/16/2022

Date Data Arrived at EDR: 05/18/2022

Date Made Active in Reports: 08/04/2022

Number of Days to Update: 78

Source: Department of Environmental Health

Telephone: 408-918-1973

Last EDR Contact: 08/09/2022

Next Scheduled EDR Contact: 11/28/2022

Data Release Frequency: Varies

HIST LUST SANTA CLARA: HIST LUST - Fuel Leak Site Activity Report

A listing of open and closed leaking underground storage tanks. This listing is no longer updated by the county. Leaking underground storage tanks are now handled by the Department of Environmental Health.

Date of Government Version: 03/29/2005

Date Data Arrived at EDR: 03/30/2005

Date Made Active in Reports: 04/21/2005

Number of Days to Update: 22

Source: Santa Clara Valley Water District

Telephone: 408-265-2600

Last EDR Contact: 03/23/2009

Next Scheduled EDR Contact: 06/22/2009

Data Release Frequency: No Update Planned

LUST SANTA CLARA: LOP Listing

A listing of leaking underground storage tanks located in Santa Clara county.

Date of Government Version: 03/03/2014

Date Data Arrived at EDR: 03/05/2014

Date Made Active in Reports: 03/18/2014

Number of Days to Update: 13

Source: Department of Environmental Health

Telephone: 408-918-3417

Last EDR Contact: 08/15/2022

Next Scheduled EDR Contact: 12/05/2022

Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SAN JOSE HAZMAT: Hazardous Material Facilities

Hazardous material facilities, including underground storage tank sites.

Date of Government Version: 11/03/2020
Date Data Arrived at EDR: 11/05/2020
Date Made Active in Reports: 01/26/2021
Number of Days to Update: 82

Source: City of San Jose Fire Department
Telephone: 408-535-7694
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Annually

SANTA CRUZ COUNTY:

CUPA SANTA CRUZ: CUPA Facility List CUPA facility listing.

Date of Government Version: 01/21/2017
Date Data Arrived at EDR: 02/22/2017
Date Made Active in Reports: 05/23/2017
Number of Days to Update: 90

Source: Santa Cruz County Environmental Health
Telephone: 831-464-2761
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

SHASTA COUNTY:

CUPA SHASTA: CUPA Facility List Cupa Facility List.

Date of Government Version: 06/15/2017
Date Data Arrived at EDR: 06/19/2017
Date Made Active in Reports: 08/09/2017
Number of Days to Update: 51

Source: Shasta County Department of Resource Management
Telephone: 530-225-5789
Last EDR Contact: 08/09/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Varies

SOLANO COUNTY:

LUST SOLANO: Leaking Underground Storage Tanks

A listing of leaking underground storage tank sites located in Solano county.

Date of Government Version: 06/04/2019
Date Data Arrived at EDR: 06/06/2019
Date Made Active in Reports: 08/13/2019
Number of Days to Update: 68

Source: Solano County Department of Environmental Management
Telephone: 707-784-6770
Last EDR Contact: 08/23/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Quarterly

UST SOLANO: Underground Storage Tanks

Underground storage tank sites located in Solano county.

Date of Government Version: 09/15/2021
Date Data Arrived at EDR: 09/16/2021
Date Made Active in Reports: 12/09/2021
Number of Days to Update: 84

Source: Solano County Department of Environmental Management
Telephone: 707-784-6770
Last EDR Contact: 08/23/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Quarterly

SONOMA COUNTY:

CUPA SONOMA: Cupa Facility List Cupa Facility list

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/02/2021
Date Data Arrived at EDR: 07/06/2021
Date Made Active in Reports: 07/14/2021
Number of Days to Update: 8

Source: County of Sonoma Fire & Emergency Services Department
Telephone: 707-565-1174
Last EDR Contact: 09/13/2022
Next Scheduled EDR Contact: 01/02/2023
Data Release Frequency: Varies

LUST SONOMA: Leaking Underground Storage Tank Sites

A listing of leaking underground storage tank sites located in Sonoma county.

Date of Government Version: 06/30/2021
Date Data Arrived at EDR: 06/30/2021
Date Made Active in Reports: 09/24/2021
Number of Days to Update: 86

Source: Department of Health Services
Telephone: 707-565-6565
Last EDR Contact: 09/13/2022
Next Scheduled EDR Contact: 01/02/2023
Data Release Frequency: Quarterly

STANISLAUS COUNTY:

CUPA STANISLAUS: CUPA Facility List

Cupa facility list

Date of Government Version: 02/08/2022
Date Data Arrived at EDR: 02/10/2022
Date Made Active in Reports: 05/04/2022
Number of Days to Update: 83

Source: Stanislaus County Department of Environmental Protection
Telephone: 209-525-6751
Last EDR Contact: 10/04/2022
Next Scheduled EDR Contact: 01/23/2023
Data Release Frequency: Varies

SUTTER COUNTY:

UST SUTTER: Underground Storage Tanks

Underground storage tank sites located in Sutter county.

Date of Government Version: 05/03/2022
Date Data Arrived at EDR: 05/27/2022
Date Made Active in Reports: 08/11/2022
Number of Days to Update: 76

Source: Sutter County Environmental Health Services
Telephone: 530-822-7500
Last EDR Contact: 08/23/2022
Next Scheduled EDR Contact: 12/12/2022
Data Release Frequency: Semi-Annually

TEHAMA COUNTY:

CUPA TEHAMA: CUPA Facility List

Cupa facilities

Date of Government Version: 07/27/2022
Date Data Arrived at EDR: 07/27/2022
Date Made Active in Reports: 10/11/2022
Number of Days to Update: 76

Source: Tehama County Department of Environmental Health
Telephone: 530-527-8020
Last EDR Contact: 07/26/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

TRINITY COUNTY:

CUPA TRINITY: CUPA Facility List

Cupa facility list

Date of Government Version: 07/13/2022
Date Data Arrived at EDR: 07/14/2022
Date Made Active in Reports: 09/29/2022
Number of Days to Update: 77

Source: Department of Toxic Substances Control
Telephone: 760-352-0381
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

TULARE COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA TULARE: CUPA Facility List Cupa program facilities

Date of Government Version: 04/26/2021
Date Data Arrived at EDR: 04/28/2021
Date Made Active in Reports: 07/13/2021
Number of Days to Update: 76

Source: Tulare County Environmental Health Services Division
Telephone: 559-624-7400
Last EDR Contact: 10/05/2022
Next Scheduled EDR Contact: 11/14/2022
Data Release Frequency: Varies

TUOLUMNE COUNTY:

CUPA TUOLUMNE: CUPA Facility List Cupa facility list

Date of Government Version: 04/23/2018
Date Data Arrived at EDR: 04/25/2018
Date Made Active in Reports: 06/25/2018
Number of Days to Update: 61

Source: Divison of Environmental Health
Telephone: 209-533-5633
Last EDR Contact: 10/11/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Varies

VENTURA COUNTY:

BWT VENTURA: Business Plan, Hazardous Waste Producers, and Operating Underground Tanks

The BWT list indicates by site address whether the Environmental Health Division has Business Plan (B), Waste Producer (W), and/or Underground Tank (T) information.

Date of Government Version: 05/26/2022
Date Data Arrived at EDR: 07/21/2022
Date Made Active in Reports: 09/30/2022
Number of Days to Update: 71

Source: Ventura County Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 10/17/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Quarterly

LF VENTURA: Inventory of Illegal Abandoned and Inactive Sites

Ventura County Inventory of Closed, Illegal Abandoned, and Inactive Sites.

Date of Government Version: 12/01/2011
Date Data Arrived at EDR: 12/01/2011
Date Made Active in Reports: 01/19/2012
Number of Days to Update: 49

Source: Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 09/21/2022
Next Scheduled EDR Contact: 01/10/2023
Data Release Frequency: No Update Planned

LUST VENTURA: Listing of Underground Tank Cleanup Sites

Ventura County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 05/29/2008
Date Data Arrived at EDR: 06/24/2008
Date Made Active in Reports: 07/31/2008
Number of Days to Update: 37

Source: Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 08/02/2022
Next Scheduled EDR Contact: 11/21/2022
Data Release Frequency: No Update Planned

MED WASTE VENTURA: Medical Waste Program List

To protect public health and safety and the environment from potential exposure to disease causing agents, the Environmental Health Division Medical Waste Program regulates the generation, handling, storage, treatment and disposal of medical waste throughout the County.

Date of Government Version: 05/26/2022
Date Data Arrived at EDR: 07/25/2022
Date Made Active in Reports: 10/05/2022
Number of Days to Update: 72

Source: Ventura County Resource Management Agency
Telephone: 805-654-2813
Last EDR Contact: 10/17/2022
Next Scheduled EDR Contact: 01/30/2023
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UST VENTURA: Underground Tank Closed Sites List

Ventura County Operating Underground Storage Tank Sites (UST)/Underground Tank Closed Sites List.

Date of Government Version: 05/26/2022	Source: Environmental Health Division
Date Data Arrived at EDR: 06/07/2022	Telephone: 805-654-2813
Date Made Active in Reports: 08/24/2022	Last EDR Contact: 08/31/2022
Number of Days to Update: 78	Next Scheduled EDR Contact: 12/19/2022
	Data Release Frequency: Quarterly

YOLO COUNTY:

UST YOLO: Underground Storage Tank Comprehensive Facility Report

Underground storage tank sites located in Yolo county.

Date of Government Version: 06/22/2022	Source: Yolo County Department of Health
Date Data Arrived at EDR: 06/30/2022	Telephone: 530-666-8646
Date Made Active in Reports: 09/14/2022	Last EDR Contact: 09/21/2022
Number of Days to Update: 76	Next Scheduled EDR Contact: 01/10/2023
	Data Release Frequency: Annually

YUBA COUNTY:

CUPA YUBA: CUPA Facility List

CUPA facility listing for Yuba County.

Date of Government Version: 05/03/2022	Source: Yuba County Environmental Health Department
Date Data Arrived at EDR: 05/05/2022	Telephone: 530-749-7523
Date Made Active in Reports: 07/28/2022	Last EDR Contact: 10/20/2022
Number of Days to Update: 84	Next Scheduled EDR Contact: 02/06/2023
	Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 08/08/2022	Source: Department of Energy & Environmental Protection
Date Data Arrived at EDR: 08/08/2022	Telephone: 860-424-3375
Date Made Active in Reports: 10/21/2022	Last EDR Contact: 08/08/2022
Number of Days to Update: 74	Next Scheduled EDR Contact: 11/21/2022
	Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/10/2019	Telephone: N/A
Date Made Active in Reports: 05/16/2019	Last EDR Contact: 10/03/2022
Number of Days to Update: 36	Next Scheduled EDR Contact: 01/16/2023
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019
Date Data Arrived at EDR: 10/29/2021
Date Made Active in Reports: 01/19/2022
Number of Days to Update: 82

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 07/29/2022
Next Scheduled EDR Contact: 11/07/2022
Data Release Frequency: Quarterly

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018
Date Data Arrived at EDR: 07/19/2019
Date Made Active in Reports: 09/10/2019
Number of Days to Update: 53

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 10/05/2022
Next Scheduled EDR Contact: 01/23/2023
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 11/30/2021
Date Made Active in Reports: 02/18/2022
Number of Days to Update: 80

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 08/10/2022
Next Scheduled EDR Contact: 11/28/2022
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018
Date Data Arrived at EDR: 06/19/2019
Date Made Active in Reports: 09/03/2019
Number of Days to Update: 76

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 08/29/2022
Next Scheduled EDR Contact: 12/19/2022
Data Release Frequency: Annually

Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Electric Power Transmission Line Data

Source: Endeavor Business Media

This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.
Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services
Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Licensed Facilities

Source: Department of Social Services

Telephone: 916-657-4041

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005, 2010 and 2015 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: Department of Fish and Wildlife

Telephone: 916-445-0411

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

Â© 2015 TomTom North America, Inc. All rights reserved. This material is proprietary and the subject of copyright protection and other intellectual property rights owned by or licensed to Tele Atlas North America, Inc. The use of this material is subject to the terms of a license agreement. You will be held liable for any unauthorized copying or disclosure of this material.

GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

VACANT LAND
6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

TARGET PROPERTY COORDINATES

Latitude (North):	39.788446 - 39° 47' 18.41"
Longitude (West):	121.580404 - 121° 34' 49.45"
Universal Transverse Mercator:	Zone 10
UTM X (Meters):	621554.9
UTM Y (Meters):	4405031.5
Elevation:	2203 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	12016141 PARADISE EAST, CA
Version Date:	2018

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

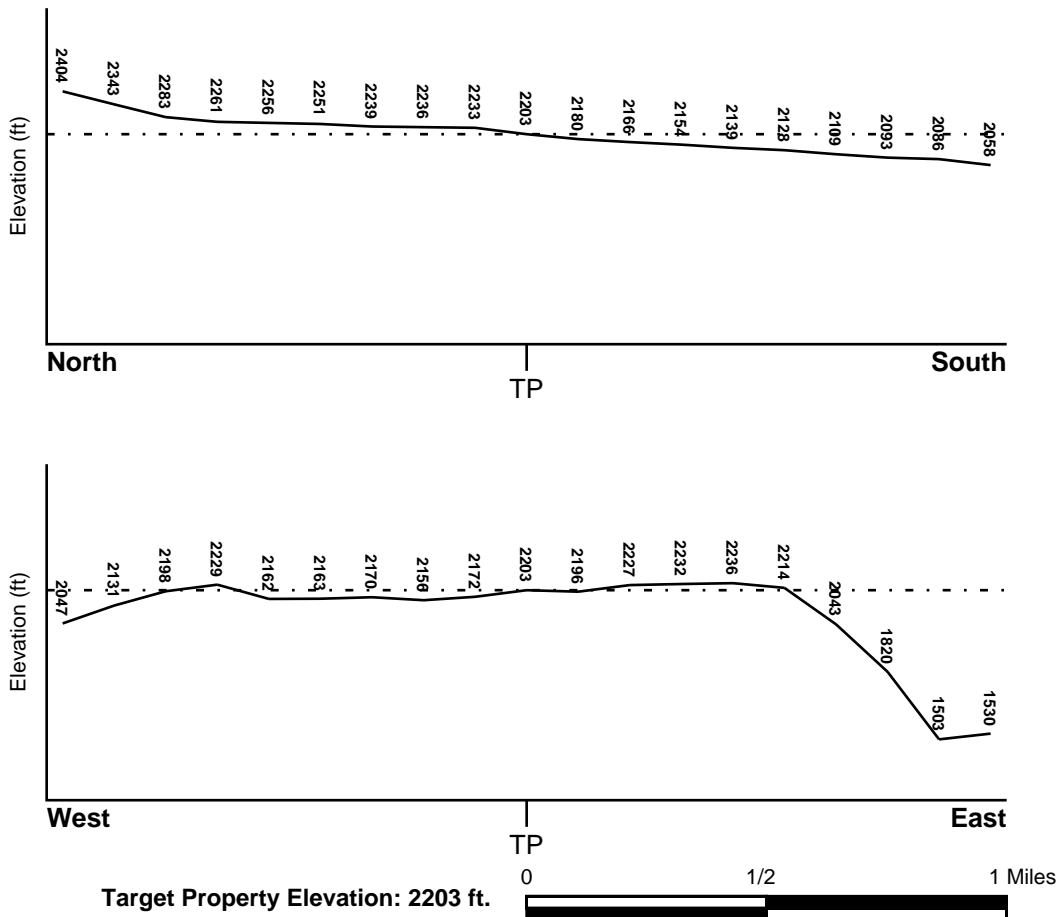
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SW

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

Flood Plain Panel at Target Property FEMA Source Type

Not Reported

Additional Panels in search area: FEMA Source Type

Not Reported

NATIONAL WETLAND INVENTORY

NWI Quad at Target Property
NOT AVAILABLE

NWI Electronic Data Coverage
YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Site-Specific Hydrogeological Data*:

Search Radius: 1.25 miles
Status: Not found

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

Era: Mesozoic
System: Lower Jurassic and Upper Triassic
Series: Lower Mesozoic
Code: IMze (*decoded above as Era, System & Series*)

GEOLOGIC AGE IDENTIFICATION

Category: Eugeosynclinal Deposits

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: COHASSET

Soil Surface Texture: cobbly - loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained. Soils have intermediate water holding capacity. Depth to water table is more than 6 feet.

Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: MODERATE

Depth to Bedrock Min: > 40 inches

Depth to Bedrock Max: > 72 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	15 inches	cobbly - loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 2.00 Min: 0.60	Max: 6.50 Min: 5.10
2	15 inches	55 inches	cobbly - clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 2.00 Min: 0.60	Max: 6.00 Min: 4.50
3	55 inches	59 inches	weathered bedrock	Not reported	Not reported	Max: 0.00 Min: 0.00	Max: 0.00 Min: 0.00

OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinant soil types may appear within the general area of target property.

Soil Surface Textures: loam
 stony - loam
 gravelly - loam
 very stony - sandy loam
 very cobbly - sandy loam
 stony - sandy loam
 fragmental material
 cobbly - sandy loam
 gravelly - sandy loam
 very cobbly - loam

Surficial Soil Types: loam
 stony - loam
 gravelly - loam
 very stony - sandy loam
 very cobbly - sandy loam
 stony - sandy loam
 fragmental material
 cobbly - sandy loam
 gravelly - sandy loam
 very cobbly - loam

Shallow Soil Types: very cobbly - sandy loam

Deeper Soil Types: cobbly - clay
 unweathered bedrock
 fragmental material

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

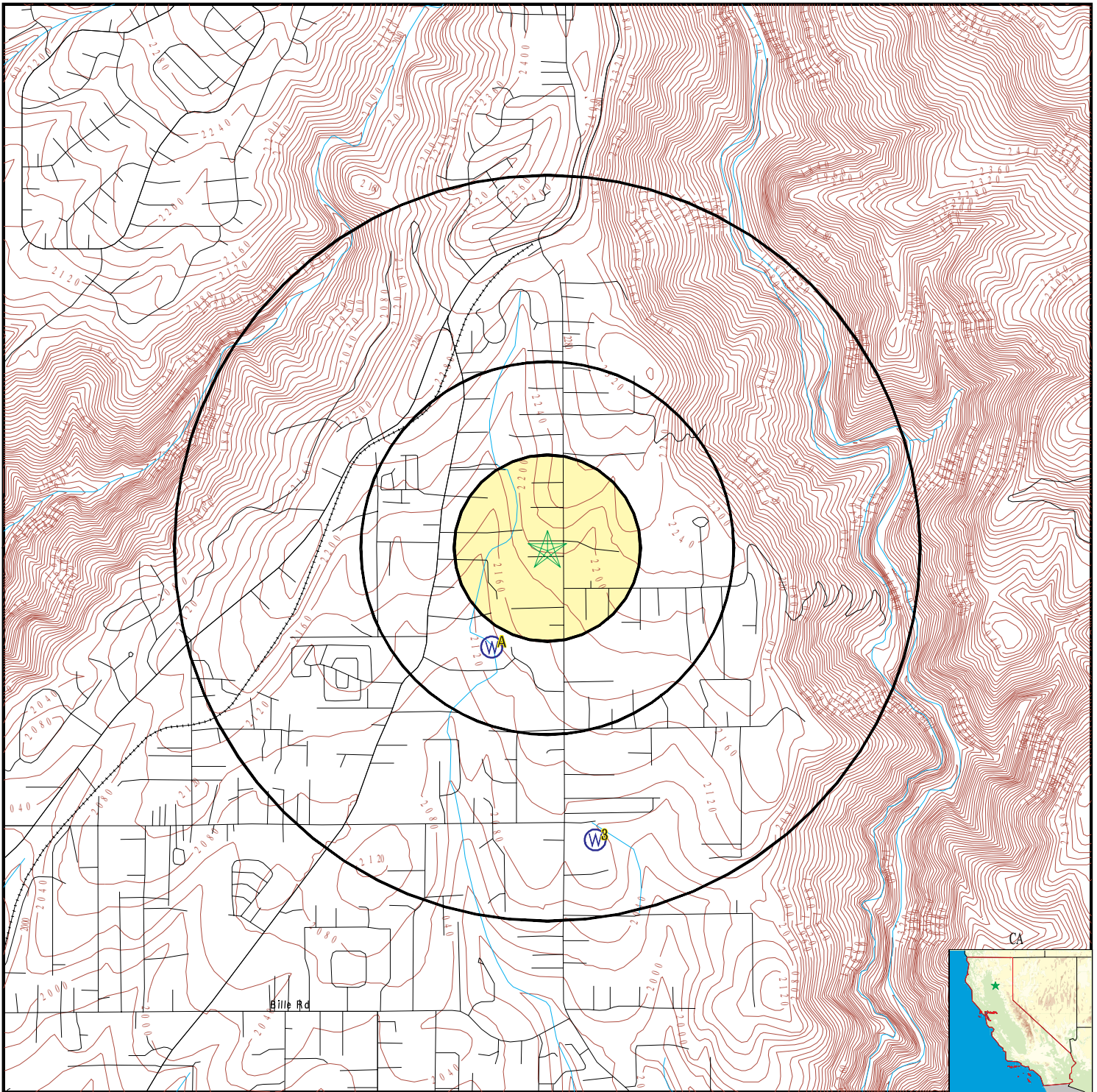
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A1	CADDW0000002141	1/4 - 1/2 Mile SSW
A2	CADDW0000006549	1/4 - 1/2 Mile SSW
3	15292	1/2 - 1 Mile South

PHYSICAL SETTING SOURCE MAP - 7158980.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake Fault Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons



- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells



SITE NAME: Vacant Land
ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE CA 95969
LAT/LONG: 39.788446 / 121.580404

CLIENT: KCE Matrix
CONTACT: Aram Kaloustian
INQUIRY #: 7158980.2s
DATE: October 25, 2022 2:57 pm

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A1
SSW
1/4 - 1/2 Mile
Lower

CA WELLS CADDW0000002141

Well ID:	0706026-001	Well Type:	MUNICIPAL
Source:	Department of Health Services		
Other Name:	WELL HEAD	GAMA PFAS Testing:	Not Reported
Groundwater Quality Data:	https://gamagroundwater.waterboards.ca.gov/gama/gamamap/public/GamaDataDisplay.asp?dataset=DHS&samp_date=&global_id=&assigned_name=0706026-001&store_num=		
GeoTracker Data:	Not Reported		

A2
SSW
1/4 - 1/2 Mile
Lower

CA WELLS CADDW0000006549

Well ID:	0400152-001	Well Type:	MUNICIPAL
Source:	Department of Health Services		
Other Name:	WELL #1	GAMA PFAS Testing:	Not Reported
Groundwater Quality Data:	https://gamagroundwater.waterboards.ca.gov/gama/gamamap/public/GamaDataDisplay.asp?dataset=DHS&samp_date=&global_id=&assigned_name=0400152-001&store_num=		
GeoTracker Data:	Not Reported		

3
South
1/2 - 1 Mile
Lower

CA WELLS 15292

Seq:	15292	Prim sta c:	22N/04E-07M01 M
Frds no:	0400046001	County:	04
District:	34	User id:	04C
System no:	0400046	Water type:	G
Source nam:	WELL 01	Station ty:	WELL/AMBNT/MUN/INTAKE
Latitude:	394638.0	Longitude:	1213437.0
Precision:	3	Status:	AR
Comment 1:	6656 PENTZ HIGHWAY PARADISE CALIFORNIA 95969		
Comment 2:	Not Reported	Comment 3:	Not Reported
Comment 4:	Not Reported	Comment 5:	Not Reported
Comment 6:	Not Reported	Comment 7:	Not Reported

System no:	0400046	System nam:	Ponderosa Mobile Estates
Hqname:	Not Reported	Address:	Not Reported
City:	Not Reported	State:	Not Reported
Zip:	Not Reported	Zip ext:	Not Reported
Pop serv:	0	Connection:	0
Area serve:	Not Reported		

Sample date:	26-FEB-18	Finding:	2.2
Chemical:	NITRATE (AS N)	Report units:	MG/L
Dir:	0.4		

Sample date:	13-FEB-17	Finding:	2.
Chemical:	NITRATE (AS N)	Report units:	MG/L
Dir:	0.4		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Sample date:	11-FEB-16	Finding:	0.2
Chemical:	RADIUM 228 MDA95	Report units:	PCI/L
Dir:	0.		
Sample date:	11-FEB-16	Finding:	0.443
Chemical:	RADIUM 228 COUNTING ERROR	Report units:	PCI/L
Dir:	0.		
Sample date:	11-FEB-16	Finding:	1.9
Chemical:	NITRATE (AS N)	Report units:	MG/L
Dir:	0.4		
Sample date:	03-FEB-15	Finding:	8.4
Chemical:	NITRATE (AS NO3)	Report units:	MG/L
Dir:	2.		
Sample date:	25-FEB-14	Finding:	2.
Chemical:	TOTAL TRIHALOMETHANES	Report units:	UG/L
Dir:	0.		
Sample date:	12-FEB-14	Finding:	8.9
Chemical:	NITRATE (AS NO3)	Report units:	MG/L
Dir:	2.		
Sample date:	15-MAR-13	Finding:	7.7
Chemical:	NITRATE (AS NO3)	Report units:	MG/L
Dir:	2.		
Sample date:	09-JUL-12	Finding:	1.9
Chemical:	TOTAL TRIHALOMETHANES	Report units:	UG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	10.1
Chemical:	AGGRSSIVE INDEX (CORROSIVITY)	Report units:	Not Reported
Dir:	0.		
Sample date:	07-FEB-12	Finding:	9.9
Chemical:	NITRATE (AS NO3)	Report units:	MG/L
Dir:	2.		
Sample date:	07-FEB-12	Finding:	110.
Chemical:	TOTAL DISSOLVED SOLIDS	Report units:	MG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	3.
Chemical:	CHLORIDE	Report units:	MG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	0.3
Chemical:	SODIUM ABSORPTION RATIO	Report units:	Not Reported
Dir:	0.		
Sample date:	07-FEB-12	Finding:	5.
Chemical:	SODIUM	Report units:	MG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	2200.
Chemical:	NITRATE + NITRITE (AS N)	Report units:	MG/L
Dir:	0.4		
Sample date:	07-FEB-12	Finding:	14.
Chemical:	CALCIUM	Report units:	MG/L

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Dir:	0.		
Sample date:	07-FEB-12	Finding:	63.7
Chemical:	HARDNESS (TOTAL) AS CaCO ₃	Report units:	MG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	70.
Chemical:	BICARBONATE ALKALINITY	Report units:	MG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	60.
Chemical:	ALKALINITY (TOTAL) AS CaCO ₃	Report units:	MG/L
Dir:	0.		
Sample date:	07-FEB-12	Finding:	6.8
Chemical:	PH, LABORATORY	Report units:	Not Reported
Dir:	0.		
Sample date:	07-FEB-12	Finding:	156.
Chemical:	SPECIFIC CONDUCTANCE	Report units:	US
Dir:	0.		
Sample date:	07-FEB-12	Finding:	7.
Chemical:	MAGNESIUM	Report units:	MG/L
Dir:	0.		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: CA Radon

Radon Test Results

Zipcode	Num Tests	> 4 pCi/L
95969	33	2

Federal EPA Radon Zone for BUTTE County: 3

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for Zip Code: 95969

Number of sites tested: 12

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.658 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	Not Reported	Not Reported	Not Reported	Not Reported

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005, 2010 and 2015 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: Department of Fish and Wildlife

Telephone: 916-445-0411

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

OTHER STATE DATABASE INFORMATION

Groundwater Ambient Monitoring & Assessment Program

State Water Resources Control Board

Telephone: 916-341-5577

The GAMA Program is California's comprehensive groundwater quality monitoring program. GAMA collects data by testing the untreated, raw water in different types of wells for naturally-occurring and man-made chemicals. The GAMA data includes Domestic, Monitoring and Municipal well types from the following sources, Department of Water Resources, Department of Health Services, EDF, Agricultural Lands, Lawrence Livermore National Laboratory, Department of Pesticide Regulation, United States Geological Survey, Groundwater Ambient Monitoring and Assessment Program and Local Groundwater Projects.

Water Well Database

Source: Department of Water Resources

Telephone: 916-651-9648

California Drinking Water Quality Database

Source: Department of Public Health

Telephone: 916-324-2319

The database includes all drinking water compliance and special studies monitoring for the state of California since 1984. It consists of over 3,200,000 individual analyses along with well and water system information.

California Oil and Gas Well Locations

Source: Dept of Conservation, Geologic Energy Management Division

Telephone: 916-323-1779

Oil and Gas well locations in the state.

California Earthquake Fault Lines

Source: California Division of Mines and Geology

The fault lines displayed on EDR's Topographic map are digitized quaternary fault lines prepared in 1975 by the United State Geological Survey. Additional information (also from 1975) regarding activity at specific fault lines comes from California's Preliminary Fault Activity Map prepared by the California Division of Mines and Geology.

RADON

State Database: CA Radon

Source: Department of Public Health

Telephone: 916-210-8558

Radon Database for California

PHYSICAL SETTING SOURCE RECORDS SEARCHED

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRRA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

California Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary fault lines, prepared in 1975 by the United State Geological Survey. Additional information (also from 1975) regarding activity at specific fault lines comes from California's Preliminary Fault Activity Map prepared by the California Division of Mines and Geology.

STREET AND ADDRESS INFORMATION

Â© 2015 TomTom North America, Inc. All rights reserved. This material is proprietary and the subject of copyright protection and other intellectual property rights owned by or licensed to Tele Atlas North America, Inc. The use of this material is subject to the terms of a license agreement. You will be held liable for any unauthorized copying or disclosure of this material.

APPENDIX C

REGULATORY RECORDS SEARCH

APPENDIX C-1

REGULATORY RECORDS SEARCH

CALIFORNIA STATE
REGIONAL WATER QUALITY CONTROL BOARD

Hagop Tatian

From: Hagop Tatian
Sent: Tuesday, October 25, 2022 11:59 AM
To: R5S-PRA
Subject: Public Record Request: 6983 Pentz Rd, Paradise, CA 95969

To: RWQCB – Central Valley Region 5

KCE Matrix would like to inquire if the RWQCB agency maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

**6983 Pentz Road
Paradise, CA 95969
(APN: 050-082-023)**

If the waterboard does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

Should you have any questions or require additional information, please do not hesitate to contact our office at (818) 559 5500.

Thank you.

Sincerely,

Hagop Tatian

KCE Matrix, Inc.
1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506
(818) 559 5500 phone
(818) 559 5511 fax
hagop@kcematrixinc.com

Hagop Tatian

From: Kasich, Courtney@Waterboards <Courtney.Kasich@Waterboards.ca.gov>
Sent: Thursday, October 27, 2022 2:32 PM
To: Hagop Tatian
Subject: Public Record Request: 6983 Pentz Rd, Paradise, CA 95969

Good afternoon,

I have received your request for information regarding **6983 Pentz Road Paradise, CA 95969 (APN: 050-082-023)**.

Staff is reviewing our records and I will get back to you once this research is complete.

Please let me know if you have any questions.

Thank you,

Courtney C. Kasich
Staff Services Analyst
Central Valley Regional Water Board
364 Knollcrest Dr. Suite 205 Redding, CA. 96002
(530)224-3211 Phone
(530)224-4857 Fax
Courtney.Kasich@waterboards.ca.gov

From: Hagop Tatian <hagop@kcematrixinc.com>
Sent: Tuesday, October 25, 2022 11:59 AM
To: R5S-PRA <r5s-pra@waterboards.ca.gov>
Subject: Public Record Request: 6983 Pentz Rd, Paradise, CA 95969

EXTERNAL:

To: RWQCB – Central Valley Region 5

KCE Matrix would like to inquire if the RWQCB agency maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

**6983 Pentz Road
Paradise, CA 95969
(APN: 050-082-023)**

If the waterboard does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

Should you have any questions or require additional information, please do not hesitate to contact our office at (818) 559 5500.

Thank you.

Sincerely,

Hagop Tatian

KCE Matrix, Inc.
1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506
(818) 559 5500 phone
(818) 559 5511 fax
hagop@kcematrixinc.com

APPENDIX C-2

REGULATORY RECORDS SEARCH

CALIFORNIA STATE
DEPARTMENT OF TOXIC SUBSTANCE CONTROL

Hagop Tatian

From: Hagop Tatian
Sent: Tuesday, October 25, 2022 12:05 PM
To: 'pubreqact@dtsc.ca.gov'
Subject: Public Record Request: 6983 Pentz Rd, Paradise, CA 95969

To: DTSC – Sacramento Office/File Room

KCE Matrix would like to inquire if the DTSC maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

**6983 Pentz Road
Paradise, CA 95969
(APN: 050-082-023)**

If the DTSC does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

Should you have any questions or require additional information, please do not hesitate to contact our office at (818) 559 5500.

Thank you.

Sincerely,

Hagop Tatian

KCE Matrix, Inc.
1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506
(818) 559 5500 phone
(818) 559 5511 fax
hagop@kcematrixinc.com



Yana Garcia
Secretary for
Environmental Protection



Department of Toxic Substances Control

Meredith Williams, Ph.D.
Director
8800 Cal Center Drive
Sacramento, California 95826-3200



Gavin Newsom
Governor

October 26, 2022

Hagop Tatian
KCE Matrix, Inc.
hagop@kcematrixinc.com

Public Records Request Number: 1-102522-04
Location(s): 6983 Pentz Road, Paradise, CA 95969

Dear Requestor:

On October 25, 2022, the Department of Toxic Substances Control (DTSC) received your email of October 25, 2022 requesting records under the Public Records Act. After a thorough review of our files, no site records were found pertaining to the sites/facilities referenced above.

A large number of our records are available on EnviroStor, an online database that provides non-confidential, public access to DTSCs data management system. It tracks our cleanup, permitting, enforcement, and investigation efforts at hazardous waste facilities and sites with known or suspected contamination issues. EnviroStor is available 24/7, 365 days a year. The data reflects the latest updates as they are entered in the system. Access it from your computer or smartphone, the local library – anywhere Internet access is available. Just go to www.envirostor.dtsc.ca.gov. You'll find a step-by-step tour of EnviroStor under the "How to Use EnviroStor" menu on the website.

If you have any questions or would like further information regarding your request, please contact me at 916-255-3611 or via email at PubReqAct@dtsc.ca.gov.

Sincerely,
Tee Xiong
Tee Xiong
Regional Records Coordinator

APPENDIX C-3

REGULATORY RECORDS SEARCH

**BUTTE COUNTY – DEPARTMENT OF HEALTH SERVICES
ENVIRONMENTAL HEALTH DIVISION**

Hagop Tatian

From: Hagop Tatian
Sent: Tuesday, October 25, 2022 12:14 PM
To: 'SViglietti@buttecounty.net'
Subject: Public Record Request: 6983 Pentz Rd, Paradise, CA 95969
Attachments: Public Record Request (KCE Matrix) - (10-25-22).pdf

To: Butte County Public Health – Records

KCE Matrix would like to inquire if the Butte County Environmental Health Division maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

**6983 Pentz Road
Paradise, CA 95969
(APN: 050-082-023)**

If the Butte County does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

Should you have any questions or require additional information, please do not hesitate to contact our office at (818) 559 5500.

Thank you.

Sincerely,

Hagop Tatian

KCE Matrix, Inc.
1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506
(818) 559 5500 phone
(818) 559 5511 fax
hagop@kcematrixinc.com

Butte County Division of Environmental Health
CUPA RECORD COPY REQUEST

Facility Type

Underground Storage Tank Hazardous Material Business Plan
Hazardous Waste Generators Aboveground Storage Tanks
Hazardous Material Incident Other Currently vacant Land

Purpose of Review

Phase I/II PRA Public Agency Request Subpoenas
Other _____

Description

KCE Matrix would like to inquire if Butte County Environmental Health maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

6983 Pentz Road, Paradise, CA 95969 (APN: 050-082-023)

If your agency does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

PLEASE PRINT

Business/Owner Name KCE Matrix, Inc, **AP#** _____

Address/Site 1112 W. Burbank Blvd., Suite 301, Burbank, CA 91506

Requested by: Hagop hagop@kcematrixinc.com // (818) 559 5500
Print Name Telephone

Owner **Consultant** **Other** _____

NOTE: *HMRRP Site Maps and Chemical Locations on Inventory Forms are confidential per State law.*

Copy Fee _____ **Receipt #** _____ **Date** _____ **Recd _by** _____

Logged **inspector** _____ **Date notified** _____

A COPY FEE is required for any records kept in this office. An exception is a first-time request from the current property or business owner. One request per address or parcel.

First-page copy fee is 25 cents, and additional pages are 6 cents per page.

Hagop Tatian

From: Walker, Adrienne <AWalker@buttecounty.net>
Sent: Friday, November 4, 2022 2:53 PM
To: Hagop Tatian
Subject: CUPA Record Request for 6983 Pentz Road, Paradise, CA 95969 (APN: 050-082-023)

Good Afternoon,

Butte County Environmental Health has completed the CUPA record request for 6983 Pentz Road, Paradise, CA 95969. No records and/or documentation with regards to underground storage tanks, hazardous materials, and/or associated environmental assessment or remediation documentation were noted for this property. Should you have any further questions regarding this record request feel free to contact me directly.

Thank You,

Adrienne Walker

Hazardous Materials Management Specialist

[BUTTE COUNTY PUBLIC HEALTH](#)

[202 Mira Loma Drive | Oroville, CA 95965](#)

T: 530.552.3896 | F: 530.538.5339

Please refer to our website for online payment and document submittal: <http://www.buttecounty.net/ph/Environmental-Health>

Nationally Accredited, 09/13/17

[FACEBOOK](#) | [TWITTER](#)

COUNTY OF BUTTE E-MAIL DISCLAIMER: This e-mail and any attachment thereto may contain private, confidential, and privileged material for the sole use of the intended recipient. Any review, copying, or distribution of this e-mail (or any attachments thereto) by other than the County of Butte or the intended recipient is strictly prohibited. If you are NOT the intended recipient, please contact the sender immediately and permanently delete the original and any copies of this e-mail and any attachments thereto.

APPENDIX C-4

REGULATORY RECORDS SEARCH
BUTTE COUNTY FIRE DEPARTMENT

Hagop Tatian

From: Hagop Tatian
Sent: Tuesday, October 25, 2022 12:12 PM
To: Boyd, Chris@CALFIRE
Subject: Public Record Request: 6983 Pentz Rd, Paradise, CA 95969

To: Butte County Fire Department

KCE Matrix would like to inquire if the Butte County Fire Department maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

**6983 Pentz Road
Paradise, CA 95969
(APN: 050-082-023)**

If the County Fire Department does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

Should you have any questions or require additional information, please do not hesitate to contact our office at (818) 559 5500.

Thank you.

Sincerely,

Hagop Tatian

KCE Matrix, Inc.
1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506
(818) 559 5500 phone
(818) 559 5511 fax
hagop@kcematrixinc.com

Hagop Tatian

From: Boyd, Chris@CALFIRE <Chris.Boyd@fire.ca.gov>
Sent: Tuesday, November 1, 2022 1:56 PM
To: Hagop Tatian
Subject: 6983 Pentz Road

Hello Hagop,

Butte County Fire Department does not have record of any Aboveground Storage Tanks, Underground Storage Tanks, Hazardous Material handling, or incidents at the address above.

Thank you,



**Christopher
Boyd**

Fire Captain –
Butte Unit
Proudly Serving
Biggs, Gridley,
Oroville,
Paradise, and
Butte County
176 Nelson Ave,
Oroville, CA
95965
(530) 538-6320
Office



APPENDIX C-5

REGULATORY RECORDS SEARCH

TOWN OF PARADISE – CLERK’S OFFICE
(FIRE DEPARTMENT)

Skip to main content

Public Record Requests

Town of Paradise

Request Visibility: Published

Request 22-110 Open



Dates

Due

November 4, 2022

Received

October 25, 2022 via web

Request

City Clerk's Office - For Fire Department Records:

We would like to inquire if the Town of Paradise - Fire Department maintains any records and/or documentation with regard to Underground Storage Tanks (USTs), Hazardous Materials (HAZMAT) and/or associated environmental assessment or remediation documentation for the following property:

6983 Pentz Road, Paradise, CA 95969


(APN: 050-082-023)

If the Fire Department does maintain such records, please advise as to the necessary procedure to obtain such records from your office.

Requester

 Hagop T.

 hagop@kcematrixinc.com

 1112 W. Burbank Blvd. 301, Burbank, CA, 91506

 8185595500

 KCE Matrix, Inc.

Staff Assigned

Departments

General

Point of contact

Timeline

Documents

 **External Message**

Requester + Staff

Dina Volenski



Thank you for submitting a public records request to the Town of Paradise. We are processing your request. We will let you know as soon as it is ready.

-Town of Paradise Public Records Request Team

October 25, 2022, 12:48pm



Department Assignment

Public

General



Request Opened

Public

Request received via web

[FAQS](#) [HELP](#) [PRIVACY](#) [TERMS](#) [TOWN OF PARADISE WEBSITE](#)

Hagop Tatian

From: Town of Paradise Public Records <support@nextrequest.com>
Sent: Wednesday, October 26, 2022 10:24 AM
To: Hagop Tatian
Subject: Your Town of Paradise public records request #22-110 has been closed.

-- Attach a non-image file and/or reply ABOVE THIS LINE with a message, and it will be sent to staff on this request. --

Town of Paradise Public Records

Record request #22-110 has been closed. The closure reason supplied was:

The Town of Paradise does not have the records you requested. We suggest you submit a public records request to Butte County.

-Town of Paradise Public Records Request Team

[View Request 22-110](https://townofparadiseca.nextrequest.com/requests/22-110)

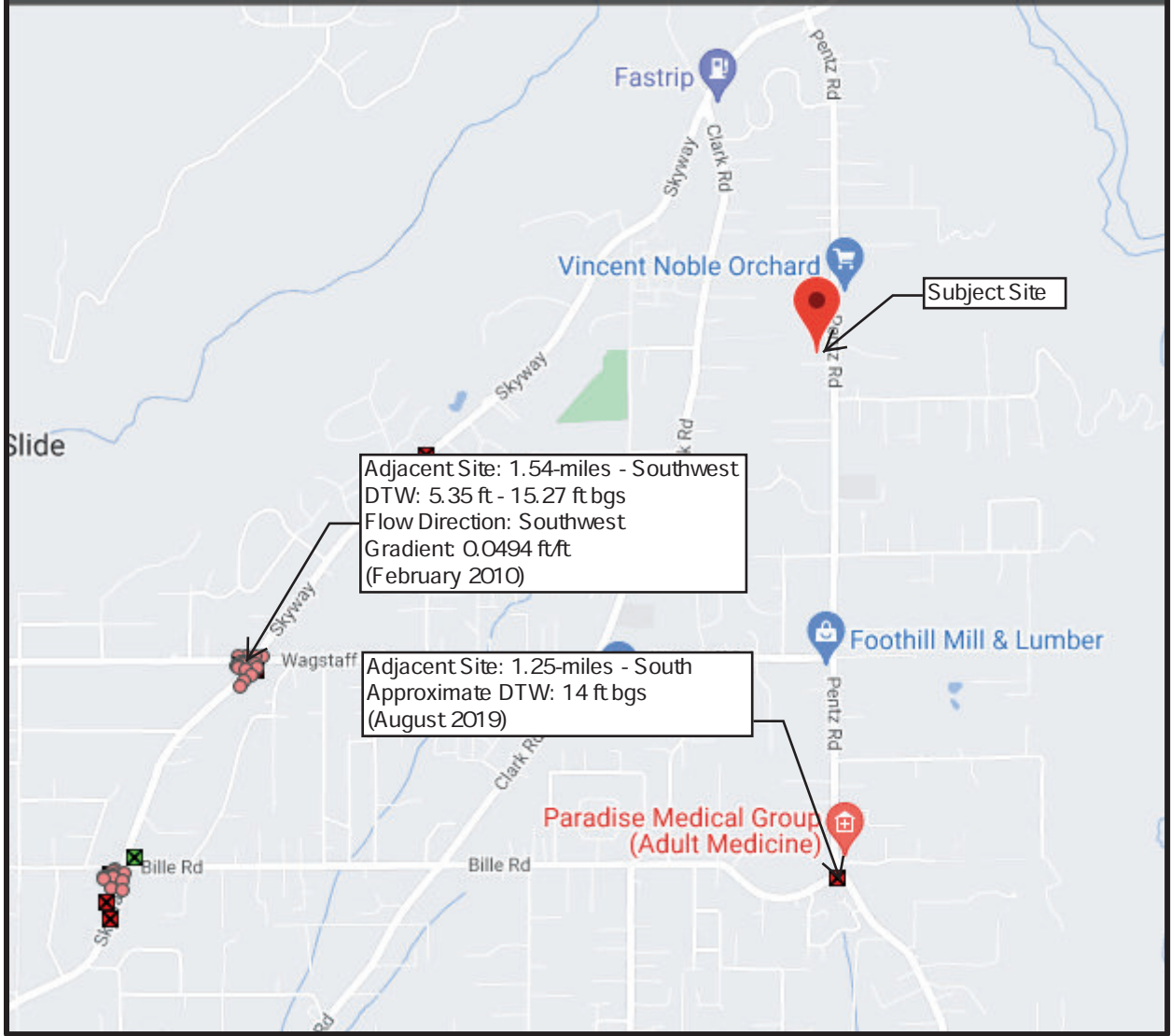
<https://townofparadiseca.nextrequest.com/requests/22-110>



The All in One Records Requests Platform

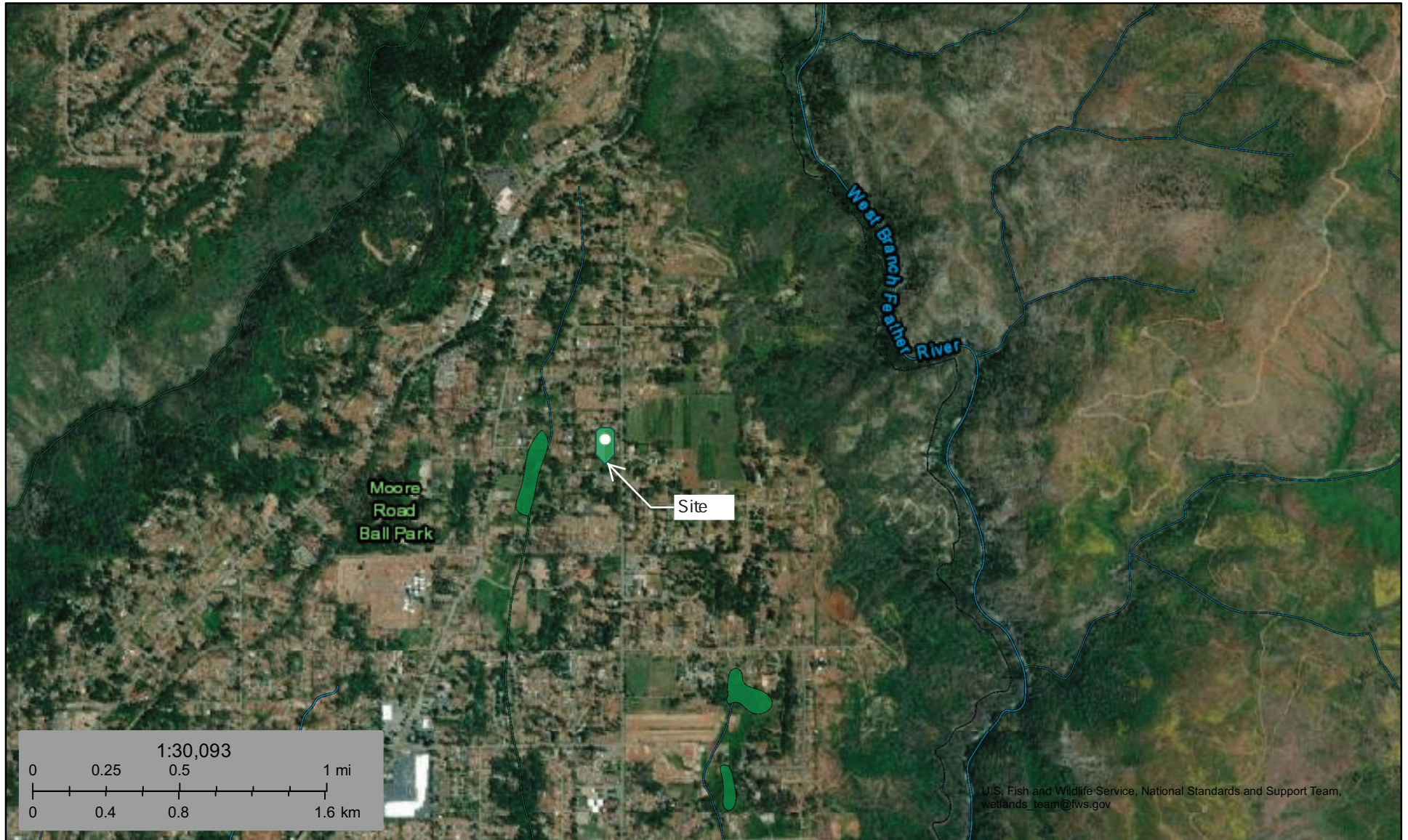
APPENDIX C-6

HYDROLOGY INFORMATION






APPENDIX C-7

NATIONAL WETLANDS INVENTORY - WETLAND MAP



October 27, 2022

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

APPENDIX C-8

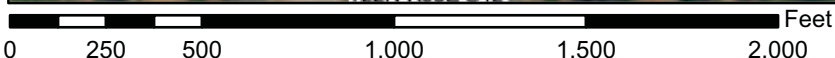
FEDERAL EMERGENCY MANAGEMENT AGENCY

NATIONAL FLOOD HAZARD MAP

National Flood Hazard Layer FIRMette



121°35'9"W 39°47'32"N



1:6,000

121°34'31"W 39°47'5"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **10/27/2022 at 1:38 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

APPENDIX D

HISTORICAL RESEARCH DOCUMENTATION

APPENDIX D-1

TOWN OF PARADISE – CLERK’S OFFICE
(BUILDING DEPARTMENT)

BUTTE COUNTY BUILDING DIVISION

Skip to main content

Public Record Requests

Town of Paradise

Request Visibility: Published

Request 22-109 Open



Dates

Due

November 4, 2022

Received

October 25, 2022 via web

Request


We would like to request records and documentation related to site history, including historic and current permit applications, certificates of occupancy and violations for the following property:

6983 Pentz Road, Paradise, CA 95969 - (APN: 050-082-023)

Requester

 Hagop T.

 hagop@kcematrixinc.com

 1112 W. Burbank Blvd. 301, Burbank, CA, 91506

 8185595500

 KCE Matrix, Inc.

Timeline Documents

External Message Requester + Staff



Thank you for submitting a public records request to the Town of Paradise. We are processing your request. We will let you know as soon as it is ready.

-Town of Paradise Public Records Request Team

October 25, 2022, 12:44pm

Staff Assigned

Departments

Building/Planning

Point of contact

Department Assignment Public

Anne Vierra

Building/Planning



Request Opened

Public

Request received via web

[FAQS](#) [HELP](#) [PRIVACY](#) [TERMS](#) [TOWN OF PARADISE WEBSITE](#)

Hagop Tatian

From: Town of Paradise Public Records <support@nextrequest.com>
Sent: Thursday, November 3, 2022 9:22 AM
To: Hagop Tatian
Subject: [Document Released to Requester] Town of Paradise public records request #22-109

-- Attach a non-image file and/or reply ABOVE THIS LINE with a message, and it will be sent to staff on this request. --

Town of Paradise Public Records

**Documents have been released for
record request #22-109 along with the
following message:**

please see attached documents

- TREE PERMIT001.pdf
- PDR - ASSISTED LIVING FACILITY001.pdf
- DRAINAGE ANALYSIS001.pdf
- GPA REZONE001.pdf-redacted.pdf

View Request 22-109

<https://townofparadiseca.nextrequest.com/requests/22-109>

Document links are valid for one month. After December 3, you will need to sign in to view the document(s).



The All in One Records Requests Platform

6983 PENTZ R

TOWN OF PARADISE
ENGINEERING DIVISION
PROJECT CONTROL SHEET

PROJECT # EN12-00036 AP# 050-082-023 RECEIPT # _____ \$387.~~42~~52

APPLICANT NAME: Rancho Engineering PHONE# 530-877-3700

APPLICANTS ADDRESS 5550 Skyway, Paradise, CA.

OWNER NAME: Martin Assisted Living PHONE # _____

OWNER ADDRESS: 6983 Pentz Rd. Paradise CA.

ENGINEER NAME: Rancho Engineering PHONE # 530-877-3700

ENGINEER ADDRESS: 5550 Skyway, Paradise, CA.

DATE APPLICATION RECEIVED: May 7, 2012

DATE ALL CONDITIONS MET: _____

MAP SENT APPROVAL REC'D

FIRE _____

PID _____

MAP CHECK REC'D COMPLETE ADD'L PLAN REVIEW HRS

1st KAG3 05/08/12 _____

2nd _____

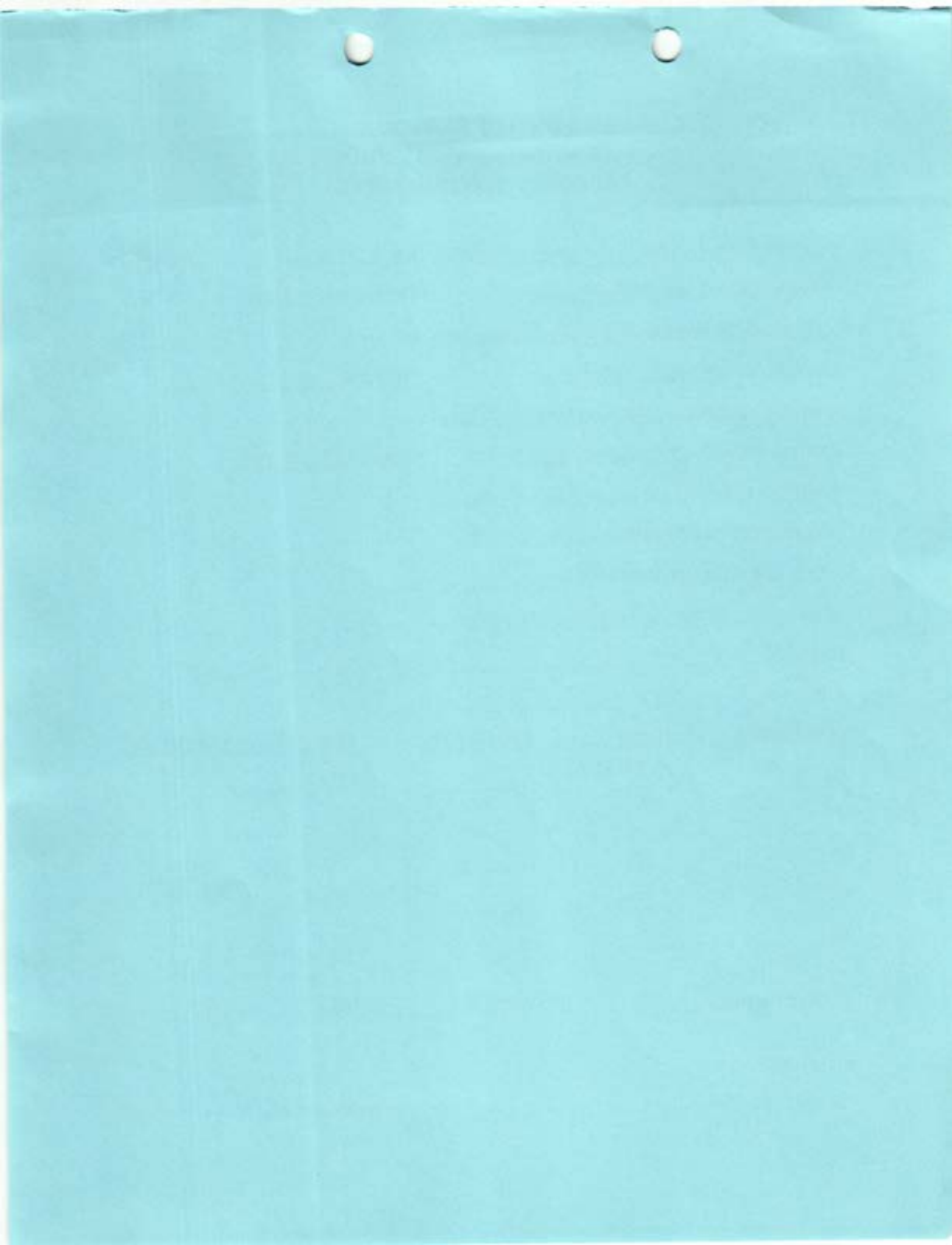
3rd _____

4th _____

4th _____

TO RECORDER: _____ RECORDED: _____ BK _____ PAGE _____

STAFF PERSON: _____



Drainage Analysis Design

Rancho Job #11-110

for

Martin Assisted Living
6983 Pentz Rd.
Paradise, CA
APN: 050-082-023

Calculation Index:

Page

- Drainage Analysis
- Rainfall Intensity Chart Analysis

D1-D11
R1

Revision Summary:

Rev. 1

05/04/12

Initial Issue



This calculation package is valid for the project location as listed above only and may not be used or modified for another site without the authorization of Rancho Engineering. Rancho Engineering disclaims responsibility for any design not specifically addressed in this calculation package. Calculations and plans are not valid until reviewed and approved by appropriate governmental agencies.

Unimproved Properties for Surface Flow, for 10-yr, 10-Min Storm Event

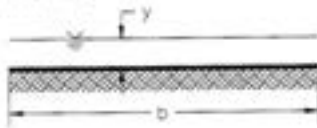
Existing Surface Properties:

Flow: $q = (1.49 / n) y^{5/3} s^{1/2}$

Surface slope, $s_s = 0.02$ ft/ft
 Manning's $n = 0.050$
 Clean, straight, no riffles or pools
 Surface width, $b = 1.0$ ft

Depth of Flow, $y = 0.03$ ft
 Hydraulic Radius, $r_h = 0.03$ ft
 Wave Velocity, $v = 0.41$ ft/s
 Flow Volume, $q = 0.012$ cfs/ft
 5 gpm/ft

Area of Flow, $a_f = 0.03$ ft²
 Wetted perimeter, $W_p = 1$ ft



Rational Method Area-weighted Coefficient

Land Use	Area (acres)	C	C*A
Roof	0.00	0.95	0.00
Asphalt	0.00	0.90	0.00
Landscape	0.75	0.35	0.26
Sum:	0.75		0.26

Kinematic Wave Flow

Assume turbulent flow, $m = 1.67$
 Length of overland flow plane, $\alpha = (1.49 / n) s^{1/2}$
 $L = 300$ ft $= 4.214$ ft^{1.67}/s
 Area of overland flow plane, $A = 0.75$ acres

Perc Rate = 54.0 min/in
 Perc Rate = 2.6E-05 ft/s

Rational Method with Kinematic Wave

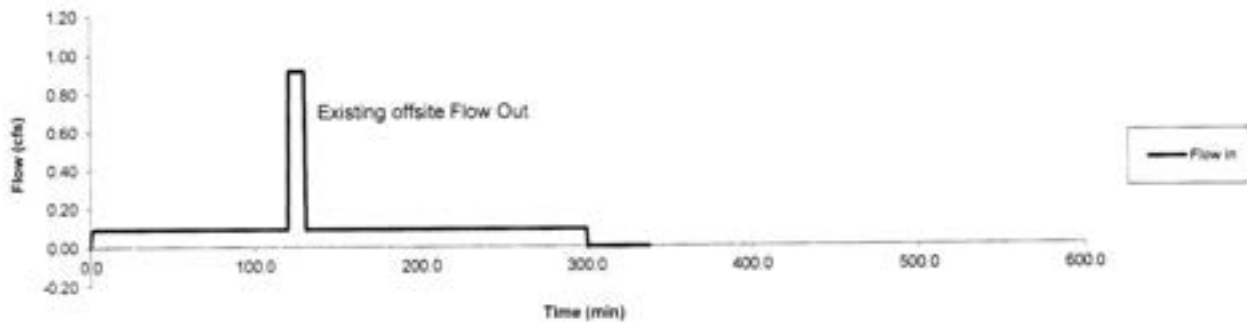
$t_c = (L / \alpha)^{1/m}$ $C = 0.35$ unimproved

Iterative Solution for Time of Concentration.

Trial	Intensity	Calculated	$Q_p = CiA$	Event
t_c (min)	i (in/hr)	t_c (min)	(cfs)	
10	3.46	60.0	0.91	10-year, 10-min

Intensity obtained from Intensity-Duration-Frequency curve data or approximated by Meyer Equation.

Hydrograph for 10-yr, 10-Min Storm Event



Improved Properties for Surface Flow, for 100-yr, 10-Min Storm Event

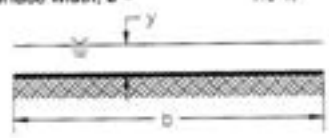
Improved Surface Properties:

Flow: $q = (1.49/n) y^{5/3} s^{1/2}$

Surface slope, $s_s = 0.12$ ft/ft
 Manning's $n = 0.018$
 Clean, straight, no riffles or pools
 Surface width, $b = 1.0$ ft

Depth of Flow, $y = 0.03$ ft
 Hydraulic Radius, $r_h = 0.03$ ft
 Wave Velocity, $v = 3.01$ ft/s
 Flow Volume, $q = 0.102$ cfs/ft
 46 gpm/ft

Area of Flow, $a_f = 0.034$ ft²
 Wetted perimeter, $W_p = 1$ ft



Kinematic Wave Flow

Assume turbulent flow. $m = 1.67$
 Length of overland flow plane, $L = 300$ ft
 $\alpha = (1.49/n) s^{1/2} = 28.675$ ft^{1/3}/s
 Area of overland flow plane, $A = 0.84$ acres

Outflow Properties:

$g = 32.20$ ft/s²
 $K_e = 1.49$
 Pipe Dia, $D = 3$ in
 Pipe Dia, $D = 0.25$ ft
 Pipe Area = 0.05
 Pipe Slope, S (ft/ft) = 0.005
 Manning's $n = 0.012$
 Entrance loss coef, $K_e = 0.98$ (see Table 6.5, Sturm 2nd ed)

Rational Method with Kinematic Wave

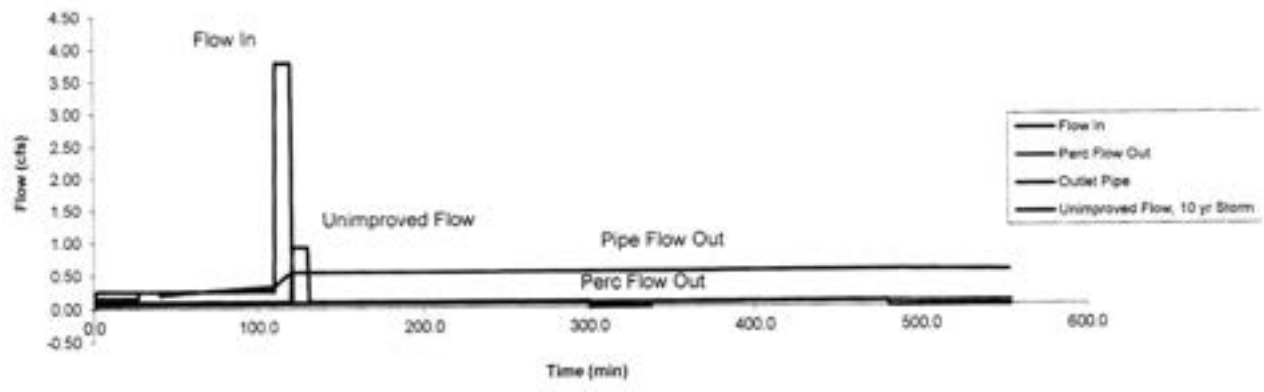
$t_c = (L/\alpha i^{m-1})^{1/m}$ $C = 0.86$ Improved

Iterative Solution for Time of Concentration.

Trial t_c (min)	Intensity i (in/hr)	Calculated t_c (min)	$Q_p = CIA$ (cfs)	Event
10	5.16	60.0	3.75	100-year, 10-min

Intensity obtained from Intensity-Duration-Frequency curve data per NOAA Atlas 14, see attached chart.

Hydrograph for 100-yr, 10-Min Storm Event



OUTFLOW FROM DESIGNED DETENTION FOR 100 YR - 10 min
 ✓ STORM DOES NOT EXCEED OUTFLOW FROM SITE
 FOR EXISTING CONDITIONS FOR A 10 YR - 10 min STORM.

Rational Method Area-weighted Coefficient

Land Use	Area (acres)	C	C*A
Roof	0.50	0.95	0.48
Asphalt	0.24	0.90	0.22
Landscape	0.10	0.35	0.04
Sum:	0.84		0.73

Perc Rate = 54.0 min/in max stored volume 3707.4
 Out Flow = 2.6E-05 ft/s max vol capacity 3718.5

Leach Trench:

Length = 160.0 ft
 Width = 12 ft
 Depth = 4.0 ft
 Voids = 0.33 %
 Vol Cap = 2035 ft³

Perforated Pipe:

Length = 320.0 ft
 Diameter = 30 in
 Area = 4.91 ft²
 Volume = 1570.0 ft³
 6" Drain line 580 Lf
 Drain line Area 113.88 ft²

Hydrograph, 100-yr

Time (min)	Intensity, i (in/hr)	Flow In, Q _{in} (cfs)	Perc Flow Out, Q _{out} (cfs)	Water depth, H (ft)	stored volume, V (ft ³)	Pipe Flow Out
0.0	0.3	0.00	0.00	0.0	0.0	0.2
1.0	0.3	0.22	0.049	0.01	5.1	0.2
2.0	0.3	0.25	0.049	0.01	16.2	0.2
3.0	0.3	0.25	0.049	0.01	28.2	0.2
4.0	0.3	0.25	0.050	0.02	40.1	0.2
5.0	0.3	0.25	0.050	0.03	52.1	0.2
6.0	0.3	0.25	0.050	0.03	64.1	0.2
7.0	0.3	0.25	0.050	0.04	76.0	0.2
8.0	0.3	0.25	0.050	0.05	88.0	0.2
9.0	0.3	0.25	0.050	0.05	99.9	0.2
10.0	0.3	0.25	0.050	0.06	111.9	0.2
11.0	0.3	0.25	0.050	0.06	123.8	0.2
12.0	0.3	0.25	0.050	0.07	135.7	0.2
13.0	0.3	0.25	0.050	0.08	147.7	0.2
14.0	0.3	0.25	0.050	0.08	159.6	0.2
15.0	0.3	0.25	0.050	0.09	171.5	0.2
16.0	0.3	0.25	0.050	0.10	183.5	0.2
17.0	0.3	0.25	0.050	0.10	195.4	0.2
18.0	0.3	0.25	0.050	0.11	207.3	0.2
19.0	0.3	0.25	0.050	0.11	219.2	0.2
20.0	0.3	0.25	0.050	0.12	231.2	0.2
21.0	0.3	0.25	0.050	0.13	243.1	0.2
22.0	0.3	0.25	0.050	0.13	255.0	0.2
23.0	0.3	0.25	0.050	0.14	266.9	0.2
24.0	0.3	0.25	0.051	0.15	278.8	0.2
25.0	0.3	0.25	0.051	0.15	290.7	0.2
26.0	0.3	0.25	0.051	0.16	302.6	0.2
27.0	0.3	0.25	0.051	0.16	314.5	0.2
28.0	0.3	0.25	0.051	0.17	326.4	0.3
29.0	0.3	0.25	0.051	0.18	338.3	0.3
30.0	0.3	0.25	0.051	0.18	350.1	0.3
31.0	0.3	0.25	0.051	0.19	362.0	0.3
32.0	0.3	0.25	0.051	0.19	373.9	0.3
33.0	0.3	0.25	0.051	0.20	385.8	0.3
34.0	0.3	0.25	0.051	0.21	397.7	0.3
35.0	0.3	0.25	0.051	0.21	409.5	0.3
36.0	0.3	0.25	0.051	0.22	421.4	0.3
37.0	0.3	0.25	0.051	0.23	433.3	0.3
38.0	0.3	0.25	0.051	0.23	445.1	0.3

26.0	0.3	0.25	0.039	0.24	322.6	0.2
27.0	0.3	0.25	0.039	0.25	335.2	0.2
28.0	0.3	0.25	0.039	0.26	347.8	0.2
29.0	0.3	0.25	0.039	0.26	360.3	0.2
30.0	0.3	0.25	0.040	0.27	372.9	0.2
31.0	0.3	0.25	0.040	0.28	385.5	0.2
32.0	0.3	0.25	0.040	0.29	398.0	0.2
33.0	0.3	0.25	0.040	0.30	410.5	0.2
34.0	0.3	0.25	0.040	0.31	423.1	0.2
35.0	0.3	0.25	0.040	0.32	435.6	0.2
36.0	0.3	0.25	0.041	0.33	448.1	0.2
37.0	0.3	0.25	0.041	0.34	460.6	0.2
38.0	0.3	0.25	0.041	0.35	473.1	0.2
39.0	0.3	0.25	0.041	0.36	485.5	0.2
40.0	0.3	0.25	0.041	0.37	498.0	0.2
41.0	0.3	0.25	0.041	0.38	510.5	0.2
42.0	0.3	0.25	0.042	0.38	522.9	0.2
43.0	0.3	0.25	0.042	0.39	535.3	0.2
44.0	0.3	0.25	0.042	0.40	547.8	0.2
45.0	0.3	0.25	0.042	0.41	560.2	0.3
46.0	0.3	0.25	0.042	0.42	572.6	0.3
47.0	0.3	0.25	0.042	0.43	585.0	0.3
48.0	0.3	0.25	0.043	0.44	597.4	0.3
49.0	0.3	0.25	0.043	0.45	609.8	0.3
50.0	0.3	0.25	0.043	0.46	622.1	0.3
51.0	0.3	0.25	0.043	0.47	634.5	0.3
52.0	0.3	0.25	0.043	0.48	646.8	0.3
53.0	0.3	0.25	0.043	0.48	659.2	0.3
54.0	0.3	0.25	0.043	0.49	671.5	0.3
55.0	0.3	0.25	0.044	0.50	683.8	0.3
56.0	0.3	0.25	0.044	0.51	696.1	0.3
57.0	0.3	0.25	0.044	0.52	708.4	0.3
58.0	0.3	0.25	0.044	0.53	720.7	0.3
59.0	0.3	0.25	0.044	0.54	733.0	0.3
60.0	0.3	0.25	0.044	0.55	745.3	0.3
61.0	0.3	0.25	0.045	0.56	757.6	0.3
62.0	0.3	0.25	0.045	0.57	769.8	0.3
63.0	0.3	0.25	0.045	0.58	782.1	0.3
64.0	0.3	0.25	0.045	0.58	794.3	0.3
65.0	0.3	0.25	0.045	0.59	806.5	0.3
66.0	0.3	0.25	0.045	0.60	818.7	0.3
67.0	0.3	0.25	0.046	0.61	830.9	0.3
68.0	0.3	0.25	0.046	0.62	843.1	0.3
69.0	0.3	0.25	0.046	0.63	855.3	0.3
70.0	0.3	0.25	0.046	0.64	867.5	0.3
71.0	0.3	0.25	0.046	0.65	879.7	0.3
72.0	0.3	0.25	0.046	0.66	891.8	0.3
73.0	0.3	0.25	0.046	0.66	904.0	0.3
74.0	0.3	0.25	0.047	0.67	916.1	0.3
75.0	0.3	0.25	0.047	0.68	928.3	0.3
76.0	0.3	0.25	0.047	0.69	940.4	0.3
77.0	0.3	0.25	0.047	0.70	952.5	0.3
78.0	0.3	0.25	0.047	0.71	964.6	0.3
79.0	0.3	0.25	0.047	0.72	976.7	0.3
80.0	0.3	0.25	0.048	0.73	988.8	0.3
81.0	0.3	0.25	0.048	0.74	1000.9	0.3
82.0	0.3	0.25	0.048	0.74	1012.9	0.3
83.0	0.3	0.25	0.048	0.75	1025.0	0.3
84.0	0.3	0.25	0.048	0.76	1037.0	0.3
85.0	0.3	0.25	0.048	0.77	1049.1	0.3
86.0	0.3	0.25	0.048	0.78	1061.1	0.3
87.0	0.3	0.25	0.049	0.79	1073.1	0.3
88.0	0.3	0.25	0.049	0.80	1085.1	0.4
89.0	0.3	0.25	0.049	0.81	1097.1	0.4
90.0	0.3	0.25	0.049	0.82	1109.1	0.4
91.0	0.3	0.25	0.049	0.82	1121.1	0.4
92.0	0.3	0.25	0.049	0.83	1133.1	0.4
93.0	0.3	0.25	0.050	0.84	1145.1	0.4
94.0	0.3	0.25	0.050	0.85	1157.0	0.4
95.0	0.3	0.25	0.050	0.86	1169.0	0.4

96.0	0.3	0.25	0.050	0.87	1180.9	0.4
97.0	0.3	0.25	0.050	0.88	1192.8	0.4
98.0	0.3	0.25	0.050	0.89	1204.8	0.4
99.0	0.3	0.25	0.050	0.89	1216.7	0.4
100.0	0.3	0.25	0.051	0.90	1228.6	0.4
101.0	0.3	0.25	0.051	0.91	1240.5	0.4
102.0	0.3	0.25	0.051	0.92	1252.3	0.4
103.0	0.3	0.25	0.051	0.93	1264.2	0.4
104.0	0.3	0.25	0.051	0.94	1276.1	0.4
105.0	0.3	0.25	0.051	0.95	1287.9	0.4
106.0	0.3	0.25	0.052	0.96	1299.8	0.4
107.0	0.3	0.25	0.052	0.96	1311.6	0.4
108.0	0.3	0.25	0.052	0.97	1323.4	0.4
109.0	0.3	0.25	0.052	0.98	1335.3	0.4
110.0	0.3	0.25	0.052	0.99	1347.1	0.4
111.0	5.2	3.78	0.052	1.08	1464.7	0.4
112.0	5.2	3.78	0.054	1.24	1688.2	0.4
113.0	5.2	3.78	0.057	1.41	1911.5	0.5
114.0	5.2	3.78	0.060	1.57	2134.7	0.5
115.0	5.2	3.78	0.062	1.73	2357.6	0.5
116.0	5.2	3.78	0.065	1.90	2580.5	0.5
117.0	5.2	3.78	0.068	2.06	2803.1	0.6
118.0	5.2	3.78	0.071	2.22	3025.6	0.6
119.0	5.2	3.78	0.074	2.39	3247.9	0.6
120.0	5.2	3.78	0.077	2.55	3470.0	0.6
121.0	0.1	0.07	0.080	2.63	3580.8	0.6
122.0	0.1	0.07	0.081	2.63	3580.4	0.6
123.0	0.1	0.07	0.081	2.63	3579.9	0.6
124.0	0.1	0.07	0.081	2.63	3579.4	0.6
125.0	0.1	0.07	0.081	2.63	3579.0	0.6
126.0	0.1	0.07	0.081	2.63	3578.5	0.6
127.0	0.1	0.07	0.081	2.63	3578.0	0.6
128.0	0.1	0.07	0.081	2.63	3577.6	0.6
129.0	0.1	0.07	0.081	2.63	3577.1	0.6
130.0	0.1	0.07	0.081	2.63	3576.6	0.6
131.0	0.1	0.07	0.081	2.63	3576.2	0.6
132.0	0.1	0.07	0.081	2.63	3575.7	0.6
133.0	0.1	0.07	0.081	2.63	3575.2	0.6
134.0	0.1	0.07	0.081	2.63	3574.8	0.6
135.0	0.1	0.07	0.081	2.63	3574.3	0.6
136.0	0.1	0.07	0.081	2.63	3573.8	0.6
137.0	0.1	0.07	0.081	2.63	3573.4	0.6
138.0	0.1	0.07	0.081	2.63	3572.9	0.6
139.0	0.1	0.07	0.081	2.63	3572.5	0.6
140.0	0.1	0.07	0.081	2.63	3572.0	0.6
141.0	0.1	0.07	0.081	2.63	3571.5	0.6
142.0	0.1	0.07	0.081	2.63	3571.1	0.6
143.0	0.1	0.07	0.081	2.63	3570.6	0.6
144.0	0.1	0.07	0.081	2.63	3570.1	0.6
145.0	0.1	0.07	0.081	2.62	3569.7	0.6
146.0	0.1	0.07	0.081	2.62	3569.2	0.6
147.0	0.1	0.07	0.081	2.62	3568.8	0.6
148.0	0.1	0.07	0.081	2.62	3568.3	0.6
149.0	0.1	0.07	0.081	2.62	3567.8	0.6
150.0	0.1	0.07	0.081	2.62	3567.4	0.6
151.0	0.1	0.07	0.081	2.62	3566.9	0.6
152.0	0.1	0.07	0.081	2.62	3566.5	0.6
153.0	0.1	0.07	0.081	2.62	3566.0	0.6
154.0	0.1	0.07	0.081	2.62	3565.5	0.6
155.0	0.1	0.07	0.081	2.62	3565.1	0.6
156.0	0.1	0.07	0.081	2.62	3564.6	0.6
157.0	0.1	0.07	0.081	2.62	3564.2	0.6
158.0	0.1	0.07	0.081	2.62	3563.7	0.6
159.0	0.1	0.07	0.081	2.62	3563.3	0.6
160.0	0.1	0.07	0.081	2.62	3562.8	0.6
161.0	0.1	0.07	0.081	2.62	3562.3	0.6
162.0	0.1	0.07	0.081	2.62	3561.9	0.6
163.0	0.1	0.07	0.081	2.62	3561.4	0.6
164.0	0.1	0.07	0.081	2.62	3561.0	0.6
165.0	0.1	0.07	0.081	2.62	3560.5	0.6

166.0	0.1	0.07	0.081	2.62	3560.1	0.6
167.0	0.1	0.07	0.081	2.62	3559.6	0.6
168.0	0.1	0.07	0.081	2.62	3559.2	0.6
169.0	0.1	0.07	0.081	2.62	3558.7	0.6
170.0	0.1	0.07	0.081	2.62	3558.3	0.6
171.0	0.1	0.07	0.081	2.62	3557.8	0.6
172.0	0.1	0.07	0.081	2.62	3557.4	0.6
173.0	0.1	0.07	0.081	2.62	3556.9	0.6
174.0	0.1	0.07	0.081	2.62	3556.5	0.6
175.0	0.1	0.07	0.081	2.61	3556.0	0.6
176.0	0.1	0.07	0.081	2.61	3555.6	0.6
177.0	0.1	0.07	0.081	2.61	3555.1	0.6
178.0	0.1	0.07	0.081	2.61	3554.7	0.6
179.0	0.1	0.07	0.081	2.61	3554.2	0.6
180.0	0.1	0.07	0.081	2.61	3553.8	0.6
181.0	0.1	0.07	0.081	2.61	3553.3	0.6
182.0	0.1	0.07	0.081	2.61	3552.9	0.6
183.0	0.1	0.07	0.081	2.61	3552.4	0.6
184.0	0.1	0.07	0.081	2.61	3552.0	0.6
185.0	0.1	0.07	0.081	2.61	3551.5	0.6
186.0	0.1	0.07	0.081	2.61	3551.1	0.6
187.0	0.1	0.07	0.081	2.61	3550.6	0.6
188.0	0.1	0.07	0.081	2.61	3550.2	0.6
189.0	0.1	0.07	0.081	2.61	3549.7	0.6
190.0	0.1	0.07	0.081	2.61	3549.3	0.6
191.0	0.1	0.07	0.081	2.61	3548.8	0.6
192.0	0.1	0.07	0.081	2.61	3548.4	0.6
193.0	0.1	0.07	0.081	2.61	3548.0	0.6
194.0	0.1	0.07	0.081	2.61	3547.5	0.6
195.0	0.1	0.07	0.081	2.61	3547.1	0.6
196.0	0.1	0.07	0.081	2.61	3546.6	0.6
197.0	0.1	0.07	0.081	2.61	3546.2	0.6
198.0	0.1	0.07	0.081	2.61	3545.7	0.6
199.0	0.1	0.07	0.081	2.61	3545.3	0.6
200.0	0.1	0.07	0.081	2.61	3544.8	0.6
201.0	0.1	0.07	0.081	2.61	3544.4	0.6
202.0	0.1	0.07	0.081	2.61	3544.0	0.6
203.0	0.1	0.07	0.081	2.61	3543.5	0.6
204.0	0.1	0.07	0.081	2.61	3543.1	0.6
205.0	0.1	0.07	0.081	2.60	3542.6	0.6
206.0	0.1	0.07	0.081	2.60	3542.2	0.6
207.0	0.1	0.07	0.081	2.60	3541.8	0.6
208.0	0.1	0.07	0.081	2.60	3541.3	0.6
209.0	0.1	0.07	0.081	2.60	3540.9	0.6
210.0	0.1	0.07	0.081	2.60	3540.4	0.6
211.0	0.1	0.07	0.081	2.60	3540.0	0.6
212.0	0.1	0.07	0.081	2.60	3539.6	0.6
213.0	0.1	0.07	0.080	2.60	3539.1	0.6
214.0	0.1	0.07	0.080	2.60	3538.7	0.6
215.0	0.1	0.07	0.080	2.60	3538.3	0.6
216.0	0.1	0.07	0.080	2.60	3537.8	0.6
217.0	0.1	0.07	0.080	2.60	3537.4	0.6
218.0	0.1	0.07	0.080	2.60	3536.9	0.6
219.0	0.1	0.07	0.080	2.60	3536.5	0.6
220.0	0.1	0.07	0.080	2.60	3536.1	0.6
221.0	0.1	0.07	0.080	2.60	3535.6	0.6
222.0	0.1	0.07	0.080	2.60	3535.2	0.6
223.0	0.1	0.07	0.080	2.60	3534.8	0.6
224.0	0.1	0.07	0.080	2.60	3534.3	0.6
225.0	0.1	0.07	0.080	2.60	3533.9	0.6
226.0	0.1	0.07	0.080	2.60	3533.5	0.6
227.0	0.1	0.07	0.080	2.60	3533.0	0.6
228.0	0.1	0.07	0.080	2.60	3532.6	0.6
229.0	0.1	0.07	0.080	2.60	3532.2	0.6
230.0	0.1	0.07	0.080	2.60	3531.7	0.6
231.0	0.1	0.07	0.080	2.60	3531.3	0.6
232.0	0.1	0.07	0.080	2.60	3530.9	0.6
233.0	0.1	0.07	0.080	2.60	3530.4	0.6
234.0	0.1	0.07	0.080	2.60	3530.0	0.6
235.0	0.1	0.07	0.080	2.60	3529.6	0.6

236.0	0.1	0.07	0.080	2.59	3529.2	0.6
237.0	0.1	0.07	0.080	2.59	3528.7	0.6
238.0	0.1	0.07	0.080	2.59	3528.3	0.6
239.0	0.1	0.07	0.080	2.59	3527.9	0.6
240.0	0.1	0.07	0.080	2.59	3527.4	0.6
241.0	0.1	0.07	0.080	2.59	3527.0	0.6
242.0	0.1	0.07	0.080	2.59	3526.6	0.6
243.0	0.1	0.07	0.080	2.59	3526.2	0.6
244.0	0.1	0.07	0.080	2.59	3525.7	0.6
245.0	0.1	0.07	0.080	2.59	3525.3	0.6
246.0	0.1	0.07	0.080	2.59	3524.9	0.6
247.0	0.1	0.07	0.080	2.59	3524.4	0.6
248.0	0.1	0.07	0.080	2.59	3524.0	0.6
249.0	0.1	0.07	0.080	2.59	3523.6	0.6
250.0	0.1	0.07	0.080	2.59	3523.2	0.6
251.0	0.1	0.07	0.080	2.59	3522.7	0.6
252.0	0.1	0.07	0.080	2.59	3522.3	0.6
253.0	0.1	0.07	0.080	2.59	3521.9	0.6
254.0	0.1	0.07	0.080	2.59	3521.5	0.6
255.0	0.1	0.07	0.080	2.59	3521.0	0.6
256.0	0.1	0.07	0.080	2.59	3520.6	0.6
257.0	0.1	0.07	0.080	2.59	3520.2	0.6
258.0	0.1	0.07	0.080	2.59	3519.8	0.6
259.0	0.1	0.07	0.080	2.59	3519.4	0.6
260.0	0.1	0.07	0.080	2.59	3518.9	0.6
261.0	0.1	0.07	0.080	2.59	3518.5	0.6
262.0	0.1	0.07	0.080	2.59	3518.1	0.6
263.0	0.1	0.07	0.080	2.59	3517.7	0.6
264.0	0.1	0.07	0.080	2.59	3517.2	0.6
265.0	0.1	0.07	0.080	2.59	3516.8	0.6
266.0	0.1	0.07	0.080	2.59	3516.4	0.6
267.0	0.1	0.07	0.080	2.59	3516.0	0.6
268.0	0.1	0.07	0.080	2.58	3515.6	0.6
269.0	0.1	0.07	0.080	2.58	3515.1	0.6
270.0	0.1	0.07	0.080	2.58	3514.7	0.6
271.0	0.1	0.07	0.080	2.58	3514.3	0.6
272.0	0.1	0.07	0.080	2.58	3513.9	0.6
273.0	0.1	0.07	0.080	2.58	3513.5	0.6
274.0	0.1	0.07	0.080	2.58	3513.1	0.6
275.0	0.1	0.07	0.080	2.58	3512.6	0.6
276.0	0.1	0.07	0.080	2.58	3512.2	0.6
277.0	0.1	0.07	0.080	2.58	3511.8	0.6
278.0	0.1	0.07	0.080	2.58	3511.4	0.6
279.0	0.1	0.07	0.080	2.58	3511.0	0.6
280.0	0.1	0.07	0.080	2.58	3510.6	0.6
281.0	0.1	0.07	0.080	2.58	3510.1	0.6
282.0	0.1	0.07	0.080	2.58	3509.7	0.6
283.0	0.1	0.07	0.080	2.58	3509.3	0.6
284.0	0.1	0.07	0.080	2.58	3508.9	0.6
285.0	0.1	0.07	0.080	2.58	3508.5	0.6
286.0	0.1	0.07	0.080	2.58	3508.1	0.6
287.0	0.1	0.07	0.080	2.58	3507.7	0.6
288.0	0.1	0.07	0.080	2.58	3507.2	0.6
289.0	0.1	0.07	0.080	2.58	3506.8	0.6
290.0	0.1	0.07	0.080	2.58	3506.4	0.6
291.0	0.1	0.07	0.080	2.58	3506.0	0.6
292.0	0.1	0.07	0.080	2.58	3505.6	0.6
293.0	0.1	0.07	0.080	2.58	3505.2	0.6
294.0	0.1	0.07	0.080	2.58	3504.8	0.6
295.0	0.1	0.07	0.080	2.58	3504.4	0.6
296.0	0.1	0.07	0.080	2.58	3503.9	0.6
297.0	0.1	0.07	0.080	2.58	3503.5	0.6
298.0	0.1	0.07	0.080	2.58	3503.1	0.6
299.0	0.1	0.07	0.080	2.58	3502.7	0.6
300.0	0.1	0.07	0.080	2.58	3502.3	0.6
301.0	0.1	0.07	0.080	2.57	3501.9	0.6
302.0	0.1	0.07	0.080	2.57	3501.5	0.6
303.0	0.1	0.07	0.080	2.57	3501.1	0.6
304.0	0.1	0.07	0.080	2.57	3500.7	0.6
305.0	0.1	0.07	0.080	2.57	3500.3	0.6

306.0	0.1	0.07	0.080	2.57	3499.9	0.6
307.0	0.1	0.07	0.080	2.57	3499.5	0.6
308.0	0.1	0.07	0.080	2.57	3499.0	0.6
309.0	0.1	0.07	0.080	2.57	3498.6	0.6
310.0	0.1	0.07	0.080	2.57	3498.2	0.6
311.0	0.1	0.07	0.080	2.57	3497.8	0.6
312.0	0.1	0.07	0.080	2.57	3497.4	0.6
313.0	0.1	0.07	0.080	2.57	3497.0	0.6
314.0	0.1	0.07	0.080	2.57	3496.6	0.6
315.0	0.1	0.07	0.080	2.57	3496.2	0.6
316.0	0.1	0.07	0.080	2.57	3495.8	0.6
317.0	0.1	0.07	0.080	2.57	3495.4	0.6
318.0	0.1	0.07	0.080	2.57	3495.0	0.6
319.0	0.1	0.07	0.080	2.57	3494.6	0.6
320.0	0.1	0.07	0.080	2.57	3494.2	0.6
321.0	0.1	0.07	0.080	2.57	3493.8	0.6
322.0	0.1	0.07	0.080	2.57	3493.4	0.6
323.0	0.1	0.07	0.080	2.57	3493.0	0.6
324.0	0.1	0.07	0.080	2.57	3492.6	0.6
325.0	0.1	0.07	0.080	2.57	3492.2	0.6
326.0	0.1	0.07	0.080	2.57	3491.8	0.6
327.0	0.1	0.07	0.080	2.57	3491.4	0.6
328.0	0.1	0.07	0.080	2.57	3491.0	0.6
329.0	0.1	0.07	0.080	2.57	3490.6	0.6
330.0	0.1	0.07	0.080	2.57	3490.2	0.6
331.0	0.1	0.07	0.080	2.57	3489.8	0.6
332.0	0.1	0.07	0.080	2.57	3489.4	0.6
333.0	0.1	0.07	0.080	2.57	3489.0	0.6
334.0	0.1	0.07	0.080	2.57	3488.6	0.6
335.0	0.1	0.07	0.080	2.56	3488.2	0.6
336.0	0.1	0.07	0.080	2.56	3487.8	0.6
337.0	0.1	0.07	0.080	2.56	3487.4	0.6
338.0	0.1	0.07	0.080	2.56	3487.0	0.6
339.0	0.1	0.07	0.080	2.56	3486.6	0.6
340.0	0.1	0.07	0.080	2.56	3486.2	0.6
341.0	0.1	0.07	0.080	2.56	3485.8	0.6
342.0	0.1	0.07	0.080	2.56	3485.4	0.6
343.0	0.1	0.07	0.080	2.56	3485.0	0.6
344.0	0.1	0.07	0.080	2.56	3484.6	0.6
345.0	0.1	0.07	0.080	2.56	3484.2	0.6
346.0	0.1	0.07	0.080	2.56	3483.8	0.6
347.0	0.1	0.07	0.080	2.56	3483.4	0.6
348.0	0.1	0.07	0.080	2.56	3483.0	0.6
349.0	0.1	0.07	0.080	2.56	3482.6	0.6
350.0	0.1	0.07	0.080	2.56	3482.2	0.6
351.0	0.1	0.07	0.080	2.56	3481.8	0.6
352.0	0.1	0.07	0.080	2.56	3481.5	0.6
353.0	0.1	0.07	0.080	2.56	3481.1	0.6
354.0	0.1	0.07	0.080	2.56	3480.7	0.6
355.0	0.1	0.07	0.080	2.56	3480.3	0.6
356.0	0.1	0.07	0.080	2.56	3479.9	0.6
357.0	0.1	0.07	0.080	2.56	3479.5	0.6
358.0	0.1	0.07	0.080	2.56	3479.1	0.6
359.0	0.1	0.07	0.080	2.56	3478.7	0.6
360.0	0.1	0.07	0.080	2.56	3478.3	0.6
361.0	0.1	0.07	0.080	2.56	3477.9	0.6
362.0	0.1	0.07	0.080	2.56	3477.5	0.6
363.0	0.1	0.07	0.080	2.56	3477.1	0.6
364.0	0.1	0.07	0.080	2.56	3476.8	0.6
365.0	0.1	0.07	0.080	2.56	3476.4	0.6
366.0	0.1	0.07	0.080	2.56	3476.0	0.6
367.0	0.1	0.07	0.080	2.56	3475.6	0.6
368.0	0.1	0.07	0.080	2.56	3475.2	0.6
369.0	0.1	0.07	0.080	2.56	3474.8	0.6
370.0	0.1	0.07	0.080	2.55	3474.4	0.6
371.0	0.1	0.07	0.080	2.55	3474.0	0.6
372.0	0.1	0.07	0.080	2.55	3473.7	0.6
373.0	0.1	0.07	0.080	2.55	3473.3	0.6
374.0	0.1	0.07	0.080	2.55	3472.9	0.6
375.0	0.1	0.07	0.080	2.55	3472.5	0.6

375.0	0.1	0.07	0.080	2.55	3472.1	0.6
377.0	0.1	0.07	0.080	2.55	3471.7	0.6
378.0	0.1	0.07	0.080	2.55	3471.3	0.6
379.0	0.1	0.07	0.080	2.55	3470.9	0.6
380.0	0.1	0.07	0.080	2.55	3470.6	0.6
381.0	0.1	0.07	0.080	2.55	3470.2	0.6
382.0	0.1	0.07	0.080	2.55	3469.8	0.6
383.0	0.1	0.07	0.080	2.55	3469.4	0.6
384.0	0.1	0.07	0.080	2.55	3469.0	0.6
385.0	0.1	0.07	0.080	2.55	3468.6	0.6
386.0	0.1	0.07	0.080	2.55	3468.3	0.6
387.0	0.1	0.07	0.080	2.55	3467.9	0.6
388.0	0.1	0.07	0.080	2.55	3467.5	0.6
389.0	0.1	0.07	0.080	2.55	3467.1	0.6
390.0	0.1	0.07	0.080	2.55	3466.7	0.6
391.0	0.1	0.07	0.080	2.55	3466.4	0.6
392.0	0.1	0.07	0.080	2.55	3466.0	0.6
393.0	0.1	0.07	0.080	2.55	3465.6	0.6
394.0	0.1	0.07	0.080	2.55	3465.2	0.6
395.0	0.1	0.07	0.080	2.55	3464.8	0.6
396.0	0.1	0.07	0.080	2.55	3464.4	0.6
397.0	0.1	0.07	0.080	2.55	3464.1	0.6
398.0	0.1	0.07	0.080	2.55	3463.7	0.6
399.0	0.1	0.07	0.080	2.55	3463.3	0.6
400.0	0.1	0.07	0.080	2.55	3462.9	0.6
401.0	0.1	0.07	0.080	2.55	3462.6	0.6
402.0	0.1	0.07	0.080	2.55	3462.2	0.6
403.0	0.1	0.07	0.080	2.55	3461.8	0.6
404.0	0.1	0.07	0.079	2.55	3461.4	0.6
405.0	0.1	0.07	0.079	2.54	3461.0	0.6
406.0	0.1	0.07	0.079	2.54	3460.7	0.6
407.0	0.1	0.07	0.079	2.54	3460.3	0.6
408.0	0.1	0.07	0.079	2.54	3459.9	0.6
409.0	0.1	0.07	0.079	2.54	3459.5	0.6
410.0	0.1	0.07	0.079	2.54	3459.2	0.6
411.0	0.1	0.07	0.079	2.54	3458.8	0.6
412.0	0.1	0.07	0.079	2.54	3458.4	0.6
413.0	0.1	0.07	0.079	2.54	3458.0	0.6
414.0	0.1	0.07	0.079	2.54	3457.7	0.6
415.0	0.1	0.07	0.079	2.54	3457.3	0.6
416.0	0.1	0.07	0.079	2.54	3456.9	0.6
417.0	0.1	0.07	0.079	2.54	3456.5	0.6
418.0	0.1	0.07	0.079	2.54	3456.2	0.6
419.0	0.1	0.07	0.079	2.54	3455.8	0.6
420.0	0.1	0.07	0.079	2.54	3455.4	0.6
421.0	0.1	0.07	0.079	2.54	3455.0	0.6
422.0	0.1	0.07	0.079	2.54	3454.7	0.6
423.0	0.1	0.07	0.079	2.54	3454.3	0.6
424.0	0.1	0.07	0.079	2.54	3453.9	0.6
425.0	0.1	0.07	0.079	2.54	3453.6	0.6
426.0	0.1	0.07	0.079	2.54	3453.2	0.6
427.0	0.1	0.07	0.079	2.54	3452.8	0.6
428.0	0.1	0.07	0.079	2.54	3452.4	0.6
429.0	0.1	0.07	0.079	2.54	3452.1	0.6
430.0	0.1	0.07	0.079	2.54	3451.7	0.6
431.0	0.1	0.07	0.079	2.54	3451.3	0.6
432.0	0.1	0.07	0.079	2.54	3451.0	0.6
433.0	0.1	0.07	0.079	2.54	3450.6	0.6
434.0	0.1	0.07	0.079	2.54	3450.2	0.6
435.0	0.1	0.07	0.079	2.54	3449.9	0.6
436.0	0.1	0.07	0.079	2.54	3449.5	0.6
437.0	0.1	0.07	0.079	2.54	3449.1	0.6
438.0	0.1	0.07	0.079	2.54	3448.7	0.6
439.0	0.1	0.07	0.079	2.54	3448.4	0.6
440.0	0.1	0.07	0.079	2.54	3448.0	0.6
441.0	0.1	0.07	0.079	2.54	3447.6	0.6
442.0	0.1	0.07	0.079	2.53	3447.3	0.6
443.0	0.1	0.07	0.079	2.53	3446.9	0.6
444.0	0.1	0.07	0.079	2.53	3446.5	0.6
445.0	0.1	0.07	0.079	2.53	3446.2	0.6

446.0	0.1	0.07	0.079	2.53	3445.8	0.6
447.0	0.1	0.07	0.079	2.53	3445.4	0.6
448.0	0.1	0.07	0.079	2.53	3445.1	0.6
449.0	0.1	0.07	0.079	2.53	3444.7	0.6
450.0	0.1	0.07	0.079	2.53	3444.4	0.6
451.0	0.1	0.07	0.079	2.53	3444.0	0.6
452.0	0.1	0.07	0.079	2.53	3443.6	0.6
453.0	0.1	0.07	0.079	2.53	3443.3	0.6
454.0	0.1	0.07	0.079	2.53	3442.9	0.6
455.0	0.1	0.07	0.079	2.53	3442.5	0.6
456.0	0.1	0.07	0.079	2.53	3442.2	0.6
457.0	0.1	0.07	0.079	2.53	3441.8	0.6
458.0	0.1	0.07	0.079	2.53	3441.4	0.6
459.0	0.1	0.07	0.079	2.53	3441.1	0.6
460.0	0.1	0.07	0.079	2.53	3440.7	0.6
461.0	0.1	0.07	0.079	2.53	3440.4	0.6
462.0	0.1	0.07	0.079	2.53	3440.0	0.6
463.0	0.1	0.07	0.079	2.53	3439.6	0.6
464.0	0.1	0.07	0.079	2.53	3439.3	0.6
465.0	0.1	0.07	0.079	2.53	3438.9	0.6
466.0	0.1	0.07	0.079	2.53	3438.6	0.6
467.0	0.1	0.07	0.079	2.53	3438.2	0.6
468.0	0.1	0.07	0.079	2.53	3437.8	0.6
469.0	0.1	0.07	0.079	2.53	3437.5	0.6
470.0	0.1	0.07	0.079	2.53	3437.1	0.6
471.0	0.1	0.07	0.079	2.53	3436.8	0.6
472.0	0.1	0.07	0.079	2.53	3436.4	0.6
473.0	0.1	0.07	0.079	2.53	3436.0	0.6
474.0	0.1	0.07	0.079	2.53	3435.7	0.6
475.0	0.1	0.07	0.079	2.53	3435.3	0.6
476.0	0.1	0.07	0.079	2.53	3435.0	0.6
477.0	0.1	0.07	0.079	2.53	3434.6	0.6
478.0	0.1	0.07	0.079	2.53	3434.3	0.6
479.0	0.1	0.07	0.079	2.52	3433.9	0.6
480.0	0.1	0.07	0.079	2.52	3433.5	0.6
481.0	0.0	0.00	0.079	2.52	3431.0	0.6
482.0	0.0	0.00	0.079	2.52	3426.2	0.6
483.0	0.0	0.00	0.079	2.52	3421.5	0.6
484.0	0.0	0.00	0.079	2.51	3416.8	0.6
485.0	0.0	0.00	0.079	2.51	3412.0	0.6
486.0	0.0	0.00	0.079	2.51	3407.3	0.6
487.0	0.0	0.00	0.079	2.50	3402.6	0.6
488.0	0.0	0.00	0.079	2.50	3397.8	0.6
489.0	0.0	0.00	0.079	2.49	3393.1	0.6
490.0	0.0	0.00	0.079	2.49	3388.4	0.6
491.0	0.0	0.00	0.079	2.49	3383.7	0.6
492.0	0.0	0.00	0.078	2.48	3379.0	0.6
493.0	0.0	0.00	0.078	2.48	3374.3	0.6
494.0	0.0	0.00	0.078	2.48	3369.6	0.6
495.0	0.0	0.00	0.078	2.47	3364.9	0.6
496.0	0.0	0.00	0.078	2.47	3360.2	0.6
497.0	0.0	0.00	0.078	2.47	3355.5	0.6
498.0	0.0	0.00	0.078	2.46	3350.8	0.6
499.0	0.0	0.00	0.078	2.46	3346.1	0.6
500.0	0.0	0.00	0.078	2.46	3341.4	0.6
501.0	0.0	0.00	0.078	2.45	3336.7	0.6
502.0	0.0	0.00	0.078	2.45	3332.1	0.6
503.0	0.0	0.00	0.078	2.45	3327.4	0.6
504.0	0.0	0.00	0.078	2.44	3322.7	0.6
505.0	0.0	0.00	0.078	2.44	3318.0	0.6
506.0	0.0	0.00	0.078	2.44	3313.4	0.6
507.0	0.0	0.00	0.078	2.43	3308.7	0.6
508.0	0.0	0.00	0.078	2.43	3304.1	0.6
509.0	0.0	0.00	0.077	2.43	3299.4	0.6
510.0	0.0	0.00	0.077	2.42	3294.8	0.6
511.0	0.0	0.00	0.077	2.42	3290.1	0.6
512.0	0.0	0.00	0.077	2.42	3285.5	0.6
513.0	0.0	0.00	0.077	2.41	3280.9	0.6
514.0	0.0	0.00	0.077	2.41	3276.2	0.6
515.0	0.0	0.00	0.077	2.41	3271.6	0.6

516.0	0.0	0.00	0.077	2.40	3267.0	0.6
517.0	0.0	0.00	0.077	2.40	3262.4	0.6
518.0	0.0	0.00	0.077	2.40	3257.7	0.6
519.0	0.0	0.00	0.077	2.39	3253.1	0.6
520.0	0.0	0.00	0.077	2.39	3248.5	0.6
521.0	0.0	0.00	0.077	2.39	3243.9	0.6
522.0	0.0	0.00	0.077	2.38	3239.3	0.6
523.0	0.0	0.00	0.077	2.38	3234.7	0.6
524.0	0.0	0.00	0.077	2.38	3230.1	0.6
525.0	0.0	0.00	0.077	2.37	3225.5	0.6
526.0	0.0	0.00	0.076	2.37	3220.9	0.6
527.0	0.0	0.00	0.076	2.36	3216.3	0.6
528.0	0.0	0.00	0.076	2.36	3211.8	0.6
529.0	0.0	0.00	0.076	2.36	3207.2	0.6
530.0	0.0	0.00	0.076	2.35	3202.6	0.6
531.0	0.0	0.00	0.076	2.35	3198.0	0.6
532.0	0.0	0.00	0.076	2.35	3193.5	0.6
533.0	0.0	0.00	0.076	2.34	3188.9	0.6
534.0	0.0	0.00	0.076	2.34	3184.3	0.6
535.0	0.0	0.00	0.076	2.34	3179.8	0.6
536.0	0.0	0.00	0.076	2.33	3175.2	0.6
537.0	0.0	0.00	0.076	2.33	3170.7	0.6
538.0	0.0	0.00	0.076	2.33	3166.1	0.6
539.0	0.0	0.00	0.076	2.32	3161.6	0.6
540.0	0.0	0.00	0.076	2.32	3157.0	0.6
541.0	0.0	0.00	0.076	2.32	3152.5	0.6
542.0	0.0	0.00	0.076	2.31	3148.0	0.6
543.0	0.0	0.00	0.075	2.31	3143.4	0.6
544.0	0.0	0.00	0.075	2.31	3138.9	0.6
545.0	0.0	0.00	0.075	2.30	3134.4	0.6
546.0	0.0	0.00	0.075	2.30	3129.9	0.6
547.0	0.0	0.00	0.075	2.30	3125.4	0.6
548.0	0.0	0.00	0.075	2.29	3120.8	0.6
549.0	0.0	0.00	0.075	2.29	3116.3	0.6
550.0	0.0	0.00	0.075	2.29	3111.8	0.6
551.0	0.0	0.00	0.075	2.28	3107.3	0.6
552.0	0.0	0.00	0.075	2.28	3102.8	0.6
553.0	0.0	0.00	0.075	2.28	3098.3	0.6
554.0	0.0	0.00	0.075	2.27	3093.9	0.6



NOAA Atlas 14, Volume 6, Version 2
 Location name: Paradise, California, US*
 Coordinates: 39.7536, -121.6239
 Elevation: 1720ft*
 * source: Google Maps



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanya Penca, Sarah Dettz, Sarah Heim, Lilian Hiner, Kazungu Maitani, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypanuk, Dale Urruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Borinn, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchon

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	2.75 (2.36-3.23)	3.36 (2.88-3.96)	4.16 (3.56-4.92)	4.84 (4.09-5.77)	5.75 (4.68-7.15)	6.47 (5.12-8.24)	7.20 (5.54-9.44)	7.96 (5.93-10.8)	9.00 (6.38-12.8)	9.83 (6.68-14.6)
10-min	1.97 (1.69-2.32)	2.41 (2.05-2.84)	2.99 (2.56-3.53)	3.46 (2.93-4.13)	4.12 (3.35-5.12)	4.63 (3.67-5.90)	5.16 (3.97-6.77)	5.71 (4.25-7.74)	6.46 (4.57-9.20)	7.04 (4.79-10.5)
15-min	1.59 (1.36-1.87)	1.94 (1.66-2.29)	2.41 (2.06-2.84)	2.79 (2.36-3.33)	3.32 (2.70-4.13)	3.74 (2.96-4.76)	4.16 (3.20-5.46)	4.60 (3.42-6.24)	5.20 (3.69-7.42)	5.68 (3.86-8.43)
30-min	1.08 (0.932-1.27)	1.32 (1.14-1.56)	1.64 (1.41-1.94)	1.91 (1.61-2.28)	2.27 (1.84-2.82)	2.55 (2.02-3.25)	2.84 (2.18-3.73)	3.14 (2.34-4.26)	3.55 (2.52-5.06)	3.88 (2.64-5.75)
60-min	0.708 (0.608-0.832)	0.865 (0.742-1.02)	1.07 (0.917-1.27)	1.25 (1.05-1.49)	1.48 (1.20-1.84)	1.66 (1.32-2.12)	1.85 (1.43-2.43)	2.05 (1.53-2.78)	2.32 (1.64-3.31)	2.53 (1.72-3.76)
2-hr	0.498 (0.428-0.588)	0.608 (0.521-0.715)	0.753 (0.644-0.890)	0.874 (0.740-1.04)	1.04 (0.846-1.29)	1.17 (0.928-1.49)	1.31 (1.01-1.71)	1.45 (1.08-1.96)	1.64 (1.16-2.34)	1.79 (1.22-2.66)
3-hr	0.414 (0.356-0.487)	0.505 (0.433-0.595)	0.625 (0.534-0.739)	0.725 (0.613-0.865)	0.862 (0.700-1.07)	0.969 (0.768-1.23)	1.08 (0.830-1.42)	1.19 (0.888-1.62)	1.35 (0.957-1.93)	1.48 (1.00-2.19)
6-hr	0.308 (0.265-0.362)	0.376 (0.323-0.443)	0.466 (0.398-0.551)	0.539 (0.456-0.643)	0.639 (0.519-0.794)	0.716 (0.567-0.912)	0.794 (0.611-1.04)	0.875 (0.651-1.19)	0.985 (0.698-1.41)	1.07 (0.729-1.59)
12-hr	0.223 (0.191-0.262)	0.279 (0.240-0.329)	0.352 (0.301-0.416)	0.409 (0.347-0.489)	0.486 (0.395-0.603)	0.542 (0.430-0.691)	0.599 (0.461-0.786)	0.656 (0.488-0.890)	0.731 (0.518-1.04)	0.788 (0.536-1.17)
24-hr	0.161 (0.141-0.188)	0.208 (0.182-0.244)	0.268 (0.233-0.314)	0.314 (0.271-0.370)	0.373 (0.313-0.454)	0.417 (0.343-0.517)	0.460 (0.370-0.583)	0.502 (0.393-0.653)	0.556 (0.419-0.752)	0.596 (0.436-0.832)
2-day	0.105 (0.092-0.123)	0.137 (0.119-0.160)	0.176 (0.154-0.207)	0.207 (0.179-0.245)	0.248 (0.206-0.302)	0.278 (0.229-0.345)	0.307 (0.247-0.390)	0.337 (0.264-0.438)	0.375 (0.283-0.507)	0.403 (0.294-0.563)
3-day	0.083 (0.072-0.097)	0.107 (0.094-0.126)	0.139 (0.121-0.162)	0.163 (0.141-0.193)	0.195 (0.164-0.238)	0.220 (0.181-0.272)	0.243 (0.196-0.309)	0.267 (0.209-0.348)	0.298 (0.225-0.404)	0.322 (0.235-0.449)
4-day	0.069 (0.061-0.081)	0.090 (0.078-0.105)	0.116 (0.101-0.135)	0.136 (0.117-0.160)	0.163 (0.136-0.198)	0.183 (0.150-0.227)	0.203 (0.163-0.257)	0.222 (0.174-0.290)	0.249 (0.188-0.336)	0.268 (0.196-0.375)
7-day	0.050 (0.043-0.058)	0.063 (0.055-0.074)	0.080 (0.070-0.094)	0.094 (0.081-0.111)	0.112 (0.094-0.136)	0.125 (0.103-0.155)	0.138 (0.111-0.175)	0.151 (0.118-0.197)	0.168 (0.127-0.228)	0.181 (0.132-0.253)
10-day	0.040 (0.035-0.047)	0.051 (0.044-0.060)	0.064 (0.056-0.075)	0.075 (0.065-0.088)	0.089 (0.074-0.108)	0.099 (0.081-0.123)	0.109 (0.088-0.138)	0.119 (0.093-0.155)	0.132 (0.100-0.179)	0.142 (0.104-0.198)
20-day	0.027 (0.024-0.032)	0.035 (0.030-0.040)	0.043 (0.038-0.051)	0.050 (0.043-0.059)	0.059 (0.050-0.072)	0.066 (0.054-0.081)	0.072 (0.058-0.091)	0.078 (0.061-0.101)	0.086 (0.065-0.118)	0.092 (0.067-0.128)
30-day	0.022 (0.019-0.026)	0.028 (0.024-0.032)	0.035 (0.030-0.041)	0.040 (0.035-0.047)	0.047 (0.039-0.057)	0.052 (0.043-0.064)	0.056 (0.045-0.072)	0.061 (0.048-0.079)	0.067 (0.050-0.090)	0.071 (0.052-0.099)
45-day	0.018 (0.016-0.021)	0.023 (0.020-0.027)	0.029 (0.025-0.034)	0.033 (0.028-0.039)	0.038 (0.032-0.047)	0.042 (0.035-0.052)	0.046 (0.037-0.058)	0.049 (0.038-0.064)	0.053 (0.040-0.072)	0.056 (0.041-0.079)
60-day	0.016 (0.014-0.019)	0.020 (0.018-0.024)	0.025 (0.022-0.030)	0.029 (0.025-0.034)	0.034 (0.029-0.041)	0.037 (0.030-0.046)	0.040 (0.032-0.051)	0.043 (0.033-0.056)	0.046 (0.035-0.062)	0.049 (0.036-0.068)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

**TOWN OF PARADISE
ENGINEERING DIVISION
PROJECT CONTROL SHEET**

PROJECT # EN12-00036 AP# 050-082-023 RECEIPT 8512 \$ 387.52

APPLICANT NAME: Jay & Joyce Powell PHONE # _____

APPLICANT ADDRESS _____

OWNER NAME: Jay & Joyce Powell PHONE # _____

OWNER ADDRESS: 1624 S. COURT ST. VISALIA CA. 93277

ENGINEER NAME: Rancho PHONE # 877-3700

ENGINEER ADDRESS: 5550 Skyway Paradise ca. 95969

DATE APPLICATION RECEIVED: 5/15/12

DATE ALL CONDITIONS MET: _____

MAP SENT APPROVAL REC'D

FIRE _____ _____

PID _____ _____

MAP CHECK REC'D COMPLETE ADD'L PLAN REVIEW HRS

1st _____ _____ _____

2nd _____ _____ _____

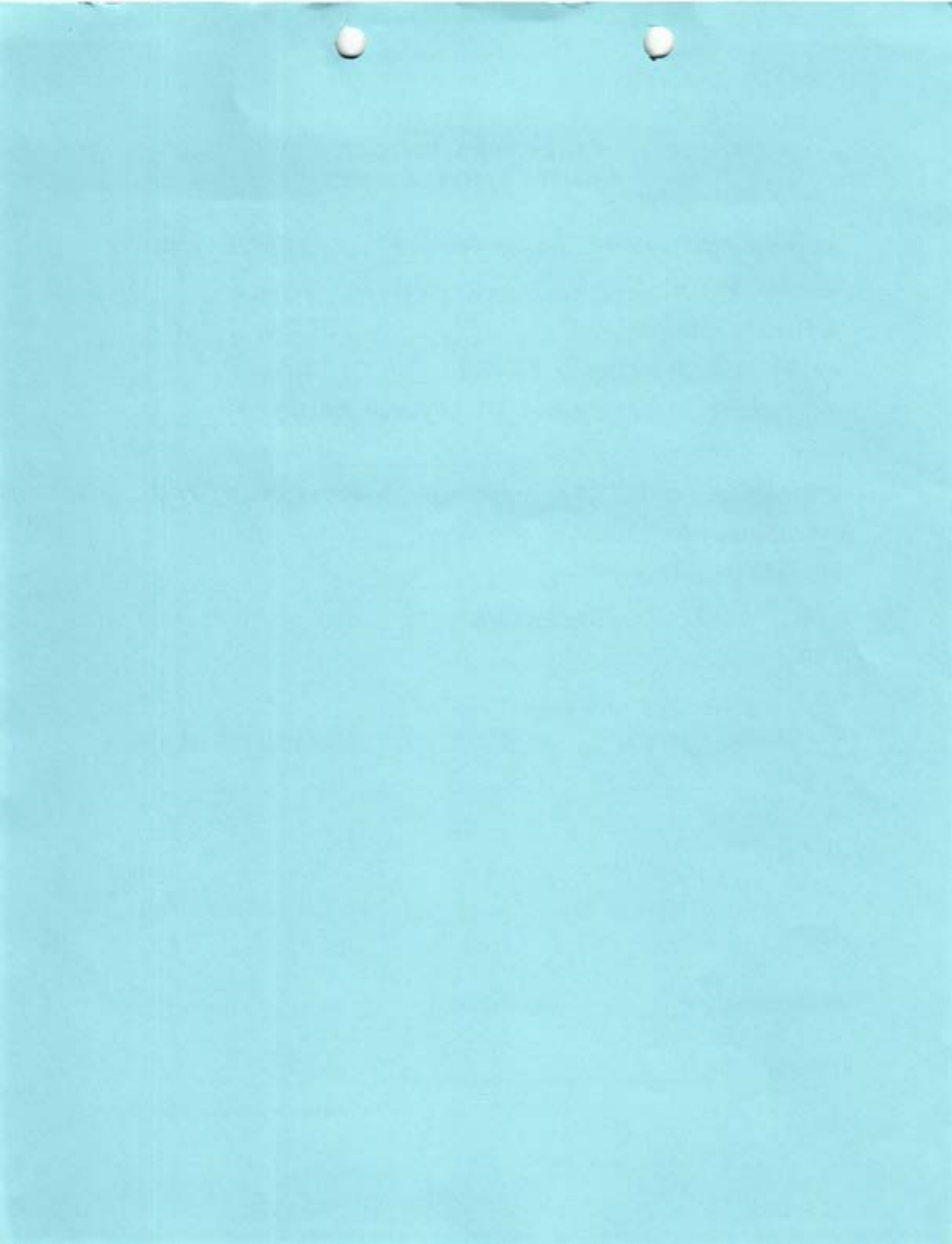
3rd _____ _____ _____

4th _____ _____ _____

4th _____ _____ _____

TO RECORDER: _____ RECORDED: _____ BK _____ PAGE _____

STAFF PERSON: _____



RECEIPT

PARADISE
 PARADISE
 5555 SKYWAY
 PARADISE

Application: EN12-00036
Application Type: Engineering/Drainage Analysis/NA/NA
Address: 6983 PENTZ RD , PARADISE, CA 95969

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
8512	2171	\$387.52	05/15/2012	MHANSON		050-082-023. PAID BY WLM CNST

Owner Info.: POWELL JAY & JOYCE FAMILY TRUST
 C/O POWELL JAY & JOYCE TRUSTEES
 VISALIA, CA 93277

Work Description: Drainage Analysis Martin Assisted Living 6983 Pentz Rd. Paradise CA.
 APN#050-082-023

Baker, Craig

From: Baker, Craig
Sent: Monday, May 07, 2012 1:39 PM
To: 'Bill Martin'
Subject: RE: Grand Sierra Lodge CUP

Hello Ann & Bill,

Thank you for submitting your drainage analysis for Grand Sierra Lodge. I will ask our contract civil engineer to get his review started tomorrow and I anticipate deeming your application complete with this submittal (the complete determination does not hinge upon approval of the analysis, only its submittal). We do, however, need the processing fee for reviewing the analysis, which is **\$387.52**. I meant to let you know earlier – I'm just getting used to processing engineering applications in the absence of a seated full time Town Engineer. I will try to get started on the environmental analysis late this week or early next week, hoping for a June Planning Commission hearing.

Thanks.



Craig Baker
Community Development Director
Town of Paradise
5555 Skyway
Paradise, CA 95969
Phone: 530.872.6993
Fax: 530.877.5059

050-082-023
6983 PENTZ R2

From: Bill Martin [<mailto:wlmconstructioninc@gmail.com>]
Sent: Wednesday, May 02, 2012 10:36 AM
To: Baker, Craig
Cc: Sean Jensen; Jarrod Holliday
Subject: Grand Sierra Lodge CUP

Hello Craig! I submitted a hard copy of the Archaeological report by Sean Jensen this morning. Debbie said she'd put it on your desk, and I promised I'd email you a copy. Please see attached. The drainage report by Rancho Engineering will be ready next week, perhaps by Monday. We're looking forward to working with you. Let us know if you need anything else.

Thanks,

Ann
Ann Martin, CFO
WLM Construction

TOWN OF PARADISE PROJECT CONTROL SHEET

6983 PENTZ RD

2,520.00

PROJECT # PL12-00075 AP# 050-082-023 RECEIPT NO. 8151 \$ PL12-00075

PROJECT/APPLICANT NAME: BILL + ANN MARTIN (GRAND SIERRA LODGE)

CONTACT PERSON: BILL MARTIN

PHONE: 520-5170 FAX: _____ EMAIL: _____

APPLICANT ADDRESS: 5806 ACORN RIDGE DR., PARADISE, CA 95969

OWNER NAME: JAY AND JOYCE POWELL PHONE: _____

OWNER ADDRESS: 1624 S. COURT ST., VISALIA, CA 93277

ENGINEER NAME: RANCHO ENGINEERING PHONE: 877-3700

ENGINEER ADDRESS: 5550 SKYWAY, PARADISE, CA 95969

DATE APP. REC'D 3/21/12 DATE DEEMED COMPLETE: 5/18/12 INCOMPLETE: _____

DRR'S	SENT	RECD	SENT	RECD	DRR'S	SENT	RECD	SENT	RECD
Eng	<u>3/22</u>	_____	_____	_____	SBC	_____	_____	_____	_____
Onsite	<u>3/22</u>	_____	_____	_____	PUSD	_____	_____	_____	_____
CSS	<u>3/22</u>	_____	_____	_____	Fish & Game	_____	_____	_____	_____
Fire	_____	_____	_____	_____	Cal Trans	_____	_____	_____	_____
Police	<u>3/22</u>	_____	_____	_____	CDD/PW Coord	_____	_____	_____	_____
PID	<u>3/22</u>	<u>3/22</u>	_____	_____	Recreation	_____	_____	_____	_____
CSUC	_____	_____	_____	_____	Bus./Housing	<u>3/22</u>	_____	_____	_____
PG&E	<u>3/22</u>	_____	_____	_____	BCAG	_____	_____	_____	_____
NRWS	<u>3/22</u>	_____	_____	_____	_____	_____	_____	_____	_____
BCAQMD	_____	_____	_____	_____	_____	_____	_____	_____	_____

DATE NOTICE PUBLISHED: _____ DATE PROPERTY OWNERS NOTIFIED: _____ HEARING BODY: _____ PC _____ PD _____ TC

DATE AGENDA PACKETS SENT: _____

ENVIRONMENTAL DETERMINATION: EXEMPT _____ NEGATIVE DEC. _____ SECTION _____ NEG. DEC. MAILED: _____ MITIGATED NEGATIVE _____ CLASS _____

DECISION PUBLIC HEARING/ACTION: DATE: _____ ACTION: _____ DATE: _____ ACTION: _____

TO TOWN COUNCIL: DATE: _____ ACTION: _____ DATE: _____ ACTION: _____

COMMENTS: _____

EXPIRATION DATE: _____ STAFF PERSON: _____



The following information was obtained from the records of the
 State of Michigan, Department of State, Bureau of Vital Statistics,
 for the year 1954.

MICHIGAN DEPARTMENT OF STATE
 BUREAU OF VITAL STATISTICS
 LANSING, MICHIGAN

1954

DEPARTMENT USE ONLY:

Receipt No. 8151 Fee 2,520.00

Project No. PL12-00075

TOWN OF PARADISE
APPLICATION FOR GENERAL PLAN AMENDMENT/REZONING
(Including TEXT ONLY Amendments)

Applicant's Name BILL MARTIN, WLM CONSTRUCTION INC. Phone 520-5170

Applicant's Mailing Address 5806 ACORN RIDGE, PARADISE, CA 95969

Applicant's email wlmconstructioninc@gmail.com Fax -

Applicant's Interest in Property (Owner, Lessee*, Other*) AGENTS FOR THE TRUST.

*If applicant is not the owner, the owner's signature or letter of authorization MUST accompany this application.

Owner's Name JAY & JOYCE POWELL Phone -

Owner's Mailing Address 1624 S. COVET ST. VISALIA, CA 93277

Property Address 6983 PENTZ RD.

Engineer (Name, Address) RANCHO ENGINEERING

Engineer's Phone 877-3700 Fax 877-3700 email ranchoengineering@hotmail.com

AP Number(s) 050-082-023 Zone RR 2/3 Existing Use UNIMPROVED

Check all that apply: 1. General Plan Amendment A. Map Change
2. Rezoning B. Text Change

(For MAP changes, complete entire application. For TEXT ONLY changes, attach a separate sheet detailing the requested change and your reason for the change.)

Present General Plan Designation - Present Zoning RR 2/3

Requested General Plan Designation - Requested Zoning TR 1/3

Location, dimensions and size of area(s) to be amended/rezoned: 6983 PENTZ RD.

LOT SIZE: 185' ALONG PENTZ, 392' ALONG KINGDOM CL.

72,520 SQ. FT. 1.66 ACRES

Is this application a part of a related development project (e.g., use permit, land division, etc.)?

YES. USE PERMIT TO BE SUBMITTED AT SAME TIME AS REZONE APP.

Applicant's reasons for amendment/rezoning:(attach additional sheets if necessary) THE REQUESTED

REZONE OF TR 1/3 ALLOWS A BUILDING COVERAGE OF 30%

VS. 20% BUILDING COVERAGE FOR RR 2/3. THE PROPOSED

BUILDING FOR THE SITE IS CLOSE TO 30% OF THE LOT SIZE.

FOR GENERAL PLAN MAP AMENDMENT: Provide details of how the amendment would be of environmental, social and economic benefit to the Town? THE PROPOSED BUILDING FOR THE SITE IS A 30 ROOM

RESIDENTIAL CARE FACILITY, THAT IS APPROX. 21,250 SQFT. IN SIZE. IF THE SITE IS NOT REZONED THE LARGEST BUILDING SIZE ALLOWED ON THE SITE WOULD BE 14,500 SQFT.

Attach additional sheet(s) if necessary. A CARE FACILITY OF THIS SIZE DOES NOT MAKE SENSE TO DEVELOPER AND WOULD MOST LIKELY NOT PROCEED WITH PROJECT @ THIS SITE.

I hereby declare under penalty of perjury that the above statements and attached plot plan are true, accurate, complete, and correct to the best of my knowledge and belief.

Applicant's Signature [Signature] Date 2-16-12

Property Owner Signature - Date -

(If applicable)

RECEIPT

PARADISE
 PARADISE
 5555 SKYWAY
 PARADISE

Application: PL12-00075
Application Type: Planning/Entitlement/NA/NA
Address: 6983 PENTZ RD , PARADISE, CA 95969

Receipt No.	8151					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Check	2075	\$2,520.00	03/21/2012	SHARTMAN		050-082-023. PAID BY WLM CNST

Owner Info.: POWELL JAY & JOYCE FAMILY TRUST
 C/O POWELL JAY & JOYCE TRUSTEES
 VISALIA, CA 93277

Work Description: GPA/REZONE

050-082-023

TOWN OF PARADISE

NOTICE IS HEREBY GIVEN by the Town Council that a public hearing will be held on Tuesday, August 7, 2012 at 6:00 p.m., or as soon thereafter as possible, in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following matter:

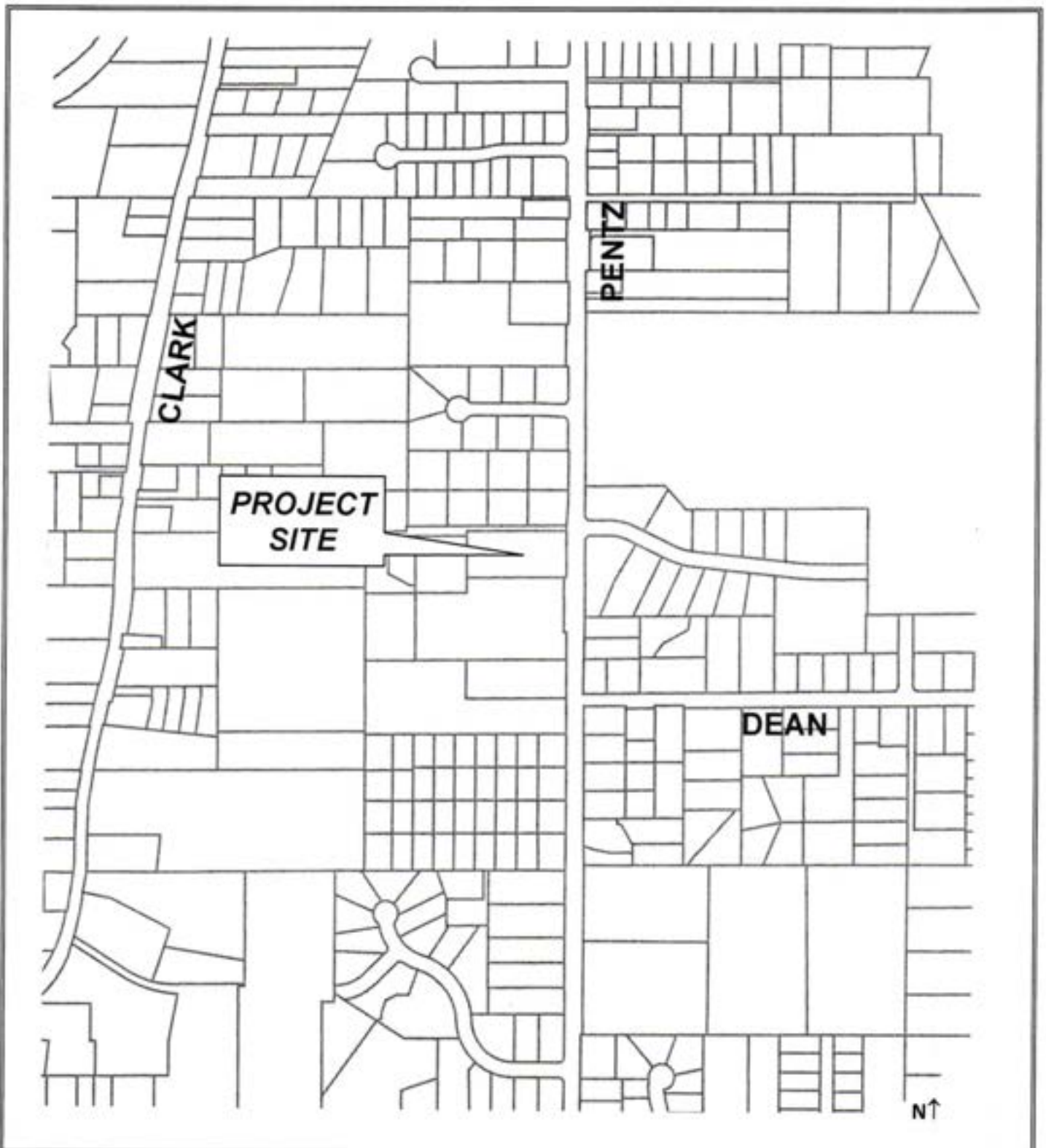
a. Item for which an environmental document (negative declaration) has been prepared:

GRAND SIERRA LODGE (PL12-06075): Town Council consideration of a Planning Commission recommendation for a proposed General Plan amendment/rezone application proposing the assignment of a Community Services (CS) land use designation and zoning for a vacant 1.66 acre property proposed to be developed with a 19,972 square foot community care facility and an adjacent 4.16 acre property currently developed for religious assembly purposes. The subject properties are currently designated and zoned Rural Residential (RR) and Rural Residential-2/3 acre minimum (RR-2/3), respectively. The subject parcels are located at 6975 and 6983 Pentz Road in Paradise and are further identified as Assessor parcel numbers 050-082-023 and 050-082-105.

The project file is available for public inspection at the Town of Paradise, Development Services Department, Paradise Town Hall. If you challenge this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town Council at, or prior to, the public hearing. For further information please contact the Development Services Department (planning division), Paradise Town Hall, 5555 Skyway, Paradise, CA (530) 872-6291, ex. 111.

Joanna Gutierrez
Town Clerk

Publish: 7/28/12



APPLICANT: BILL AND ANN MARTIN		6983 Pentz Road
OWNER: JAY AND JOYCE POWELL		
REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.		
Zoning: RR-2/3	GENERAL PLAN: RR	FILE NOS. PL12-00073, PL12-00074, PL12-00075
ASSESSOR PAREL: 050-082-023		COMMENTS DUE: 4-5-12

**TOWN OF PARADISE
ORDINANCE NO. 526**

AN ORDINANCE REZONING CERTAIN REAL PROPERTIES FROM "RR-2/3" (RURAL RESIDENTIAL, 2/3-ACRE MINIMUM) TO A "CS" (COMMUNITY SERVICES) ZONE PURSUANT TO PARADISE MUNICIPAL CODE SECTIONS 17.45.500 ET. SEQ. (PL12-00075: GRAND SIERRA LODGE)

The Town Council of the Town of Paradise, State of California, does hereby **ORDAIN AS FOLLOWS:**

SECTION 1. The hereinafter described real properties situated in the Town of Paradise, State of California, shall be and are hereby zoned "CS" (Community Services) as described in Chapter 17.26 of the Paradise Municipal Code and such land area shall be subject to the restrictions, restricted uses and regulations of such chapter. The real properties so zoned are located at 6975 and 6983 Pentz Road in the Town of Paradise, and are more particularly identified as AP Nos. 050-082-023 and 050-082-105.

SECTION 2. This ordinance shall take effect thirty (30) days beyond the date of its passage. Before the expiration of fifteen (15) days after its passage, this ordinance shall be published in a newspaper of general circulation and circulated within the Town of Paradise along with the names of the members of the Town Council of Paradise voting for and against same.

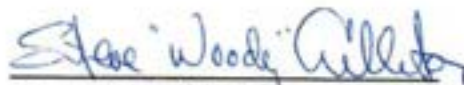
PASSED AND ADOPTED by the Town Council of the Town of Paradise, County of Butte, State of California, on this 11th day of September, 2012, by the following vote:

AYES: Joe DiDuca, Scott Lotter, Tim Titus, Alan White and Steve "Woody" Culleton, Mayor.

NOES: None.

ABSENT: None.

NOT VOTING: None.



Steve "Woody" Culleton, Mayor

ATTEST: 9-18-2012

By: 
Joanna Gutierrez, Town Clerk

APPROVED AS TO FORM:

By: 
Dwight L. Moore, Town Attorney

TOWN OF PARADISE
Council Agenda Summary
Date: August 7, 2012

ORIGINATED BY: Craig Baker, Community Development Director

REVIEWED BY: Chuck Rough, Town Manager

SUBJECT: Public Hearing: Planning Commission Recommendation for Town Council Adoption of a Paradise General Plan Land Use Map Amendment and Property Rezone for an Application Identified as PL12-00075 (Grand Sierra Lodge)

COUNCIL ACTION REQUESTED: Conduct the duly noticed and scheduled public hearing related to this agenda item. Upon conclusion of this public hearing, adopt the Planning Commission's recommended actions.

PLANNING COMMISSION RECOMMENDATIONS: Adopt a MOTION TO:

1. Concur with the Planning Commission's decision to adopt the environmental document (negative declaration) prepared for the project under requirements of the California Environmental Quality Act (CEQA); **AND**
2. Concur with the project recommended General Plan land use map amendment and rezone action adopted by the Planning Commission on July 17, 2012, and embodied within Planning Commission Resolution No. 12-03; **AND**
3. Adopt Town of Paradise Resolution No. 12-____, "A Resolution of the Town Council of the Town of Paradise Adopting a Negative Declaration and Amending the Land Use Map of the 1994 Paradise General Plan (PL12-00075: Grand Sierra Lodge); **AND**
4. Waive the first reading of Town Ordinance No. ____ and read by title only (roll call vote); **AND**
5. Introduce Town of Paradise Ordinance No. ____, "An Ordinance Rezoning Certain Real Properties From "RR-2/3" (Rural Residential, 2/3-Acre Minimum) to a "CS" (Community Services) Zone Pursuant to Paradise Municipal Code Sections 17.45.500 Et. Seq. (PL12-00075; Grand Sierra Lodge)"; **OR**

ALTERNATIVE ACTIONABLE OPTION(S):

1. Adopt an alternative directive to town staff.

BACKGROUND: On March 21, 2012, project applicants Bill and Ann Martin filed a formal application requesting town approval of a Paradise General Plan land use designation amendment from "RR" (Rural Residential) to "CS" (Community Services) and a property rezone from Rural Residential, 2/3-acre minimum (RR-2/3) to "CS" (Community Services) zoning.

The purpose of the proposed application is to establish a Paradise General Plan land use designation and zoning district that facilitates the establishment of a single-story, 19,972 square foot Community Care (assisted living) facility accompanied by an on-site paved parking facility containing twenty parking spaces, an engineered on-site wastewater treatment and disposal system, a subsurface storm water detention system, driveway access connecting to Pentz Road and on-site landscaping.

Pursuant to the Town's zoning ordinance regulations, a conditional use permit is required to establish a community care facility in Town-assigned zoning districts. Accordingly, the project developer included a conditional use permit application with project application materials submitted to the Town.

Due to the design of the project relative to building coverage and impervious coverage limitations in the RR-2/3 zoning district, the project developer has also included the application requesting a General Plan amendment/property rezone from the current RR-2/3 zoning to a land use designation and zoning of Community Services (CS).

Construction and installation of proposed project improvements will result in the felling and removal of approximately thirteen pine, fir and oak trees large enough to be subject to the issuance of a Town of Paradise tree felling permit. Accordingly, the project applicants also included a completed tree felling permit application with other project application materials.

The proposed hours of operation for the community care facility are twenty-four hours per day, seven days per week, including holidays. The estimated maximum number of employees in the proposed complex is five during the day shifts and two overnight, for a total of twelve employees. The estimated maximum number of clients expected to be cared for at the facility is thirty.

The project applicant is proposing to establish contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors. Please refer to the proposed project site plan, building elevations and floor plan.

In consideration of the existing pattern of zoning classifications and land uses in the area, the Town Planning Director, on behalf of the Town of Paradise, recommended an expansion of the

request for a land use and zoning designation change to the Planning Commission to include one other abutting parcel currently zoned RR-2/3. This abutting parcel is presently developed with the facilities of the Paradise Ridge Southern Baptist Church. It was also the opinion of the Planning Commission that the established land use and substantial improvements on the 4.16 acre site developed to accommodate religious assembly would benefit from a change from the current residential zoning to a zoning classification that is more accommodating for such land uses. If approved, the expanded property rezone would consist of a 5.82 acre land area comprised of the Grand Sierra Lodge project site and the adjacent church property. There are no current plans to expand the existing church facilities.

The Grand Sierra Lodge General Plan amendment and property rezone application was thoroughly evaluated by town staff in the context of its associated development project and duly noticed for a public hearing before the Planning Commission during its meeting of July 17, 2012, for purposes of securing an advisory recommendation to be subsequently presented to Town Council.

Upon the conclusion of the public hearing, the Planning Commission publicly concurred with staff's analysis of the Paradise General Plan amendment and property rezone application as presented and recommended. Subsequently, they adopted Planning Commission **Resolution No. 12-03**. A copy of the Planning Commission adopted resolution document is attached for your review and consideration.

DISCUSSION: The attached Planning Commission resolution document recommends Town Council adoption and assignment of specific Paradise General Plan land use designation and rezone of certain real properties. Attached with this council agenda summary for consideration, possible adoption and introduction respectively by the Town Council, are copies of the aforementioned Town of Paradise resolution document and a zoning ordinance document, both of which reflect the Planning Commission's recommended actions.

Lastly, for your convenience, town planning staff has also generated and attached other information materials related to this agenda item.

FINANCIAL IMPACT: Adoption of this Paradise General Plan amendment will result in some minimal cost (\$50-\$75) to the town related to future printing of an amended 1994 Paradise General Plan land use map. The town incurs no direct costs with the first reading and introduction of the zoning ordinance.

Attachments

**ATTACHMENTS
FOR
GRAND SIERRA LODGE GENERAL PLAN AMENDMENT/REZONE**

1. Published public hearing notice for the August 7, 2012 Town Council hearing
2. Project vicinity map
3. List of property owners notified of the September 7, 2012 Town Council hearing
4. Excerpt of draft minutes from the July 17, 2012 Planning Commission meeting
5. Planning Commission Resolution No. 12-03, adopted July 17, 2012
6. Initial study and negative declaration prepared for the Grand Sierra Lodge project
7. Town of Paradise Ordinance No. ____, "An Ordinance Rezoning Certain Real Properties From "RR-2/3" (Rural Residential, 2/3-Acre Minimum) to a "CS" (Community Services) Zone Pursuant to Paradise Municipal Code Sections 17.45.500 Et. Seq. (PL12-00075; Grand Sierra Lodge)"
8. Town of Paradise Resolution No.____, "A Resolution of the Town Council of the Town of Paradise Adopting a Negative Declaration and Amending the Land Use Map of the 1994 Paradise General Plan (PL12-00075: Grand Sierra Lodge)"
9. Set of Grand Sierra Lodge project plans (five 24" x 36" sheets)

TOWN OF PARADISE

NOTICE IS HEREBY GIVEN by the Town Council that a public hearing will be held on Tuesday, August 7, 2012 at 6:00 p.m., or as soon thereafter as possible, in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following matter:

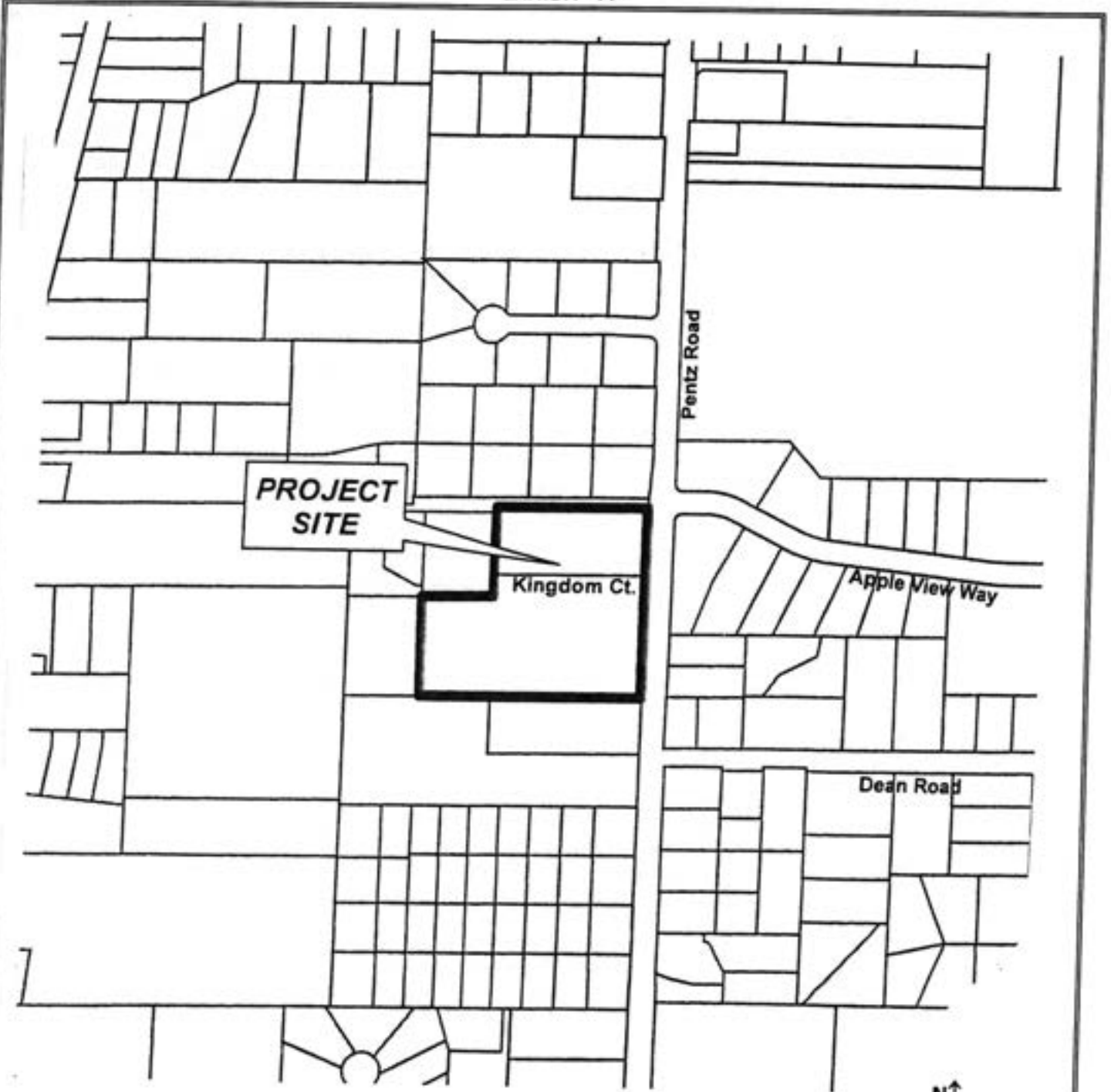
a. Item for which an environmental document (negative declaration) has been prepared:

GRAND SIERRA LODGE (PL12-00075): Town Council consideration of a Planning Commission recommendation for a proposed General Plan amendment/rezone application proposing the assignment of a Community Services (CS) land use designation and zoning for a vacant 1.66 acre property proposed to be developed with a 19,972 square foot community care facility and an adjacent 4.16 acre property currently developed for religious assembly purposes. The subject properties are currently designated and zoned Rural Residential (RR) and Rural Residential-2/3 acre minimum (RR-2/3), respectively. The subject parcels are located at 6975 and 6983 Pentz Road in Paradise and are further identified as Assessor parcel numbers 050-082-023 and 050-082-105.

The project file is available for public inspection at the Town of Paradise, Development Services Department, Paradise Town Hall. If you challenge this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town Council at, or prior to, the public hearing. For further information please contact the Development Services Department (planning division), Paradise Town Hall, 5555 Skyway, Paradise, CA (530) 872-6291, ex. 111.

Joanna Gutierrez
Town Clerk

EXHIBIT "A"



APPLICANTS: BILL AND ANN MARTIN

OWNERS: JAY AND JOYCE POWELL

6975 and 6983 Pentz Road

REQUEST: General Plan amendment/rezone application proposing the assignment of a Community Services (CS) land use designation for a vacant 1.66 acre property and an adjacent 4.16 acre property currently developed for religious assembly purposes.

Existing General Plan designation: RR

Proposed General Plan designation: CS

FILE NO. PL12-00075

ASSESSOR PARCELS: 050-082-023 and 050-082-105

HEARING DATE: 8/7/12

APN	Owner	Owner_Add	CityStZIP
050-052-057-000	DORSEY PATRICIA A	1658 EAGLET WAY	PARADISE CA 95969
050-052-056-000	BUJOR GREG & MELISSA	1664 EAGLET LN	PARADISE CA 95969
050-052-046-000	DICKSON RAY FAMILY REVOCABLE TRUST	2831 ORTHELLO WAY	SANTA CLARA CA 95051
050-052-051-000	ELDER CHARLES A & BARBARA DUNIVAN	1692 MULBERRY LN	PARADISE CA 95969
050-052-050-000	GADBURY FAMILY TRUST	1684 MULBERRY LN	PARADISE CA 95969
050-430-008-000	WALL JIM & SHIRLEY FAMILY TRUST	1801 APPLEVIEW WAY	PARADISE CA 95969
050-052-047-000	OSTRANDER SANDRA F TRUST	1676 MULBERRY LN	PARADISE CA 95969
050-082-023-000	POWELL JAY & JOYCE FAMILY TRUST	1624 S COURT ST	PARADISE CA 95969
050-082-102-000	SELBERG JON	PO BOX 371	VISALIA CA 93277
050-082-104-000	MCALEXANDER ROBERT & CLAUDEAN	7006 CLARK RD	DOBBINS CA 95935
050-430-001-000	HOOPER FAMILY TRUST	1800 APPLE VIEW WAY	PARADISE CA 95969
050-082-093-000	SELBERG JON A	PO BOX 371	DOBBINS CA 95935
050-430-002-000	WESTRA EARL H & FRANCES FAMILY TRUST	1806 APPLE VIEW WY	PARADISE CA 95969
050-430-003-000	DAY RUSSELL A & D SHARON TRUST	1812 APPLE VIEW WAY	PARADISE CA 95969
050-082-105-000	PARADISE RIDGE SOUTHERN BAPTIST CHURCH	6975 PENTZ RD	PARADISE CA 95969
050-082-095-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1694 KINGDOM CT	PARADISE CA 95969
050-120-004-000	HEGENBART PAUL A & JULIE R	6962 PENTZ RD	PARADISE CA 95969
050-120-003-000	HUSS RENEE M	6216 CANNON CT	PARADISE CA 95969
050-120-126-000	CHRISTIANSOY ROY R	6720 BARNABY CT	MAGALIA CA 95954
050-120-124-000	BASS MARVIN K & CONNIE L	1763 DEAN RD	PARADISE CA 95969
050-082-017-000	COVERT REVOCABLE INTER VIVOS TRUST	6947 PENTZ RD	PARADISE CA 95969
050-082-018-000	CHRISTIAN CHURCH OF PARADISE	6933 PENTZ RD	PARADISE CA 95969
050-120-050-000	ENGLANT LISA A	6930 PENTZ RD	PARADISE CA 95969
050-082-058-000	ANDERSON CARL D & GRETCHEN L	1651 TIMBER LANE	PARADISE CA 95969
050-082-059-000	SMITH RUSSELL W & EVELYN M REV LIVING TR	1641 TIMBER LANE	PARADISE CA 95969
050-082-048-000	HARRIS DAVID	1611 TIMBER LN	PARADISE CA 95969
050-082-103-000	SEELEY TIMOTHY C & ANNE M ETAL	4819 FOX GLOVE CT	PARADISE CA 95969
050-082-107-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1314 MILTON AVE	SANTA ROSA CA 95405
050-120-046-000	JONES REVOCABLE LIVING TRUST	6016 CYPRESS POINT DR	WALNUT CREEK CA 94596
050-120-047-000	SUIHKONEN OWEN V & PHYLLIS K	6942 PENTZ RD	BAKERSFIELD CA 93309
050-082-088-000	RIESS KAZUKO	3353 CONEJO DR	PARADISE CA 95969
050-082-089-000	REISCHMAN JOHN D ETAL	P O BOX 1744	SAN BERNARDINO CA 92404
050-082-087-000	GARCIA MARTIN & TELMA	5 STERLING CT	PARADISE CA 95967
			CHICO CA 95928

APN	Owner	Owner_Add	CityStZIP
050-052-056-000	BUJOR GREG & MELISSA	1664 EAGLET LN	PARADISE CA 95969
050-052-044-000	HUGHES ROBERT A & SHIRLEY R REV LIVING TRUST	1655 EAGLET WAY	PARADISE CA 95969
050-052-035-000	MANSON RICHARD R III & JENNIFER L	1693 MULBERRY LN	PARADISE CA 95969
050-052-036-000	HUNTER TRUST	4610 WATERBURY DR	CLARSTON MI 48348
050-052-048-000	VANDUZER VERNE & BETTY F	1675 MULBERRY	PARADISE CA 95969
050-052-046-000	DICKSON RAY FAMILY REVOCABLE TRUST	2831 ORTHELLO WAY	SANTA CLARA CA 95051
050-052-051-000	ELDER CHARLES A & BARBARA DUNIVAN	1692 MULBERRY LN	PARADISE CA 95969
050-052-050-000	GADBURY FAMILY TRUST	1684 MULBERRY LN	PARADISE CA 95969
050-110-029-000	NOBLE FAMILY TRUST ESTATE	9272 TURNER LN	DURHAM CA 95938
050-052-049-000	KLAVES FAMILY TRUST	1667 MULBERRY LANE	PARADISE CA 95969
050-430-008-000	WALL JIM & SHIRLEY FAMILY TRUST	1801 APPLEVIEW WAY	PARADISE CA 95969
050-052-047-000	OSTRANDER SANDRA F TRUST	1676 MULBERRY LN	PARADISE CA 95969
050-082-023-000	POWELL JAY & JOYCE FAMILY TRUST	1624 S COURT ST	VISALIA CA 93277
050-082-102-000	SELBERG JON	PO BOX 371	DOBBINS CA 95935
050-082-104-000	MCALEXANDER ROBERT & CLAUDEAN	7006 CLARK RD	PARADISE CA 95969
050-430-001-000	HOOPER FAMILY TRUST	1800 APPLE VIEW WAY	PARADISE CA 95969
050-082-093-000	SELBERG JON A	PO BOX 371	DOBBINS CA 95935
050-430-002-000	WESTRA EARL H & FRANCES FAMILY TRUST	1806 APPLE VIEW WY	PARADISE CA 95969
050-082-105-000	PARADISE RIDGE SOUTHERN BAPTIST CHURCH	6975 PENTZ RD	PARADISE CA 95969
050-082-095-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1694 KINGDOM CT	PARADISE CA 95969
050-120-004-000	HEGENBART PAUL A & JULIE R	6962 PENTZ RD	PARADISE CA 95969
050-120-003-000	HUSS RENEE M	6216 CANNON CT	MAGALIA CA 95954
050-082-103-000	SEELEY TIMOTHY C & ANNE M ETAL	4819 FOX GLOVE CT	SANTA ROSA CA 95405

050-082-047-000
050-082-049-000

HEWSTON LES & ENID
GRANADOS HAROLD & MARLENE LIVING TRUST

1631 TIMBER LN
22385 GERALDINE CIRCLE

PARADISE CA 95969
SONORA CA 95370

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

~~Paradise Irrigation District
P.O. Box 2409
Paradise, CA 95967-2409~~

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
5550 Skyway
Paradise, CA 95969

Paradise Board of Realtors
6178 Center Street
Paradise, CA 95969

Paradise Downtown Business
Association
c/o Fir Street Gallery/Pam Funk
6256 Skyway
Paradise, CA 95969

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
116 W. 2nd Street #3
Chico, CA 95928

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

Paradise Irrigation Dist.
6332 Clark Road
Paradise, CA 95969

Bill & Ann Martin
5806 Acorn Ridge Dr.
Paradise, CA 95969

Rancho Engineering
5550 Skyway
Paradise, CA 95969

Go to paragraph – insert 6pt
Type first line – Change P back to 0



EXCERPT OF DRAFT PLANNING COMMISSION MEETING MINUTES
REGULAR MEETING – 6:00 PM – July 17, 2012

4. CONTINUED PUBLIC HEARING

- 5a. Community Development Director Baker reported to the Planning Commission regarding the GRAND SIERRA LODGE General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) applications seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements on property located at 6983 Pentz Rd, Paradise, AP No. 050-082-023. An adjacent property (AP No. 050-082-105) currently developed for religious assembly purposes is also recommended to be rezoned to better accommodate and recognize the existing land use. Staff recommended approval of Resolution No. 12-03, a Resolution of the Paradise Planning Commission recommending Town Council adoption of a Paradise General Plan Land use Map Amendment for the development project and the church.

It was staff's recommendation that the project be approved as conditioned and displayed a power point and discussed the drainage system and floor plan for the 30 room facility and referenced a memo received from Planning Commissioner Clarkson.

Commissioner Grossberger questioned the traffic ingress and egress to the facility, and Mr. Baker clarified that the proposal is to make travel through the facility one-way only, with one driveway for entrance and one for exit only. Commissioner Grossberger stated that she doesn't see a kitchen facility in the plan and is assuming that meals have been taken into consideration with regard to water usage. Mr. Baker confirmed that the engineered septic system has taken the kitchen into account and has twice the needed capacity rather than providing replacement area. Grossberger also asked what will Pentz Road look like by Apple View Way, and Mr. Baker informed that, as recommended to be conditioned, street improvements for the project will include a deceleration and acceleration area.

Commissioner Zuccolillo asked if the traffic count triggered the acceleration and deceleration lanes. Mr. Baker stated that the traffic volume did not trigger the lanes, but it makes sense to accommodate turning in and out, though traffic volume generated by this type of project is typically low.

Commissioner Clarkson confirmed the deceleration lane is southbound; Apple View located opposite the northeast corner of the project; and was there any concern about vehicles exiting Apple View Lane. Mr. Baker stated that the proposed design does not necessarily constitute an offset intersection; anticipated traffic volumes didn't generate a concern on the part of Town engineering staff with regard to Apple View Lane.

Chair Bolin asked if the tree permit is the only condition with an expiration date. Mr. Baker indicated yes, but that time extensions are available.

Commissioner Grossberger inquired about TR-1/3 zoning of property north of the site. She indicated that residential development of the project site may well include a rezone application to TR-1/3 and the creation of several residential building sites.

Chair Bolin stated that 1/3 acre parcels are almost impossible to accommodate sewage disposal and Mr. Baker stated that vacant parcels would have to be 1/2 acre minimum for a total of three possible sites.

Chair Bolin opened the public hearing at 6:37 pm.

Speaking in favor of the proposed project:

1. Bill Martin, WLM Construction, stated that the property is owned by a trust, introduced the project engineers and the project arborist. He also thanked the Planning Commission for their consideration of the project.
2. Ann Martin thanked the Planning Commission for the previous continuance and explained that the continuance provided an opportunity to re-design and improve the project.

Commissioner Grossberger asked questions about what would happen during transition. Project engineers Jerrod Holiday and Frank Sands explained there would be minor grading at the rear of the project; the septic lines in contour; grass will come back in as it is now, and discussed the cut that will occur for a 4' retaining wall to uphold the easement.

Community Development Director Baker explained that the easement to the north is no longer part of the project design, that the fire access will be paved, so dust will not be an issue and that solid waste haulers will not be traveling along the fire lane.

Engineer Frank Sands further explained the fire access and confirmed that it cannot be used for parking or any vehicles. He also discussed septic flows, that they used the actual flow from care facilities to determine daily flows per bed and interpolated that data into the calculations for this project. Engineer Jason Holiday stated that the Town's onsite approval is for 3,480 gallons per day and that this facility will generate approximately 2,400 gpd including the kitchen. He also discussed how storm water from

the project's hard surfaces will all be conveyed into subsurface detention and then to Pentz Road.

Speaking against the proposed project:

1. Charles Elder stated he lives on Mulberry on the corner, questioned the deceleration lanes as he thinks the speeds on that road are much higher than 35 mph. He also expressed concern about ingress and egress being adequate.

2. Gerald Gadbury, stated that he lives on Mulberry on the second lot and is concerned about two things: (1) Drainage: He is concerned that the water will not flow as planned; and, (2) Pentz Road is so narrow two people cannot walk side by side and by the road; he indicated that there doesn't seem to be enough room for deceleration and acceleration.

Commissioner Jones asked about the area that is currently the ditch outside and how much wider will it become?

Engineer Sands stated that it will be widened to the Town Engineer standards, 10' lanes.

Commissioner Jones asked if that meant 10' of additional pavement and Engineer Sands stated that asphalt will be added. Grossberger stated that is covered in Condition #10.

Community Development Director Baker stated that the right-of-way width is probably about 60 feet; the area between the existing pavement edge and the front project site boundary scales to about 20', that the majority of this area will be improved for traffic safety and that the design of final street improvement plans is subject to Town Engineer approval.

Commissioner Jones noted that the CalTrans standard for deceleration areas is 12', implying that 20' of shoulder width was adequate. Commissioners discussed that the project will result in some improvement for pedestrians.

Community Development Director Baker noted that one of the reason staff was not recommending full frontage improvements (requiring a sidewalks) is that such an improvement would result in a short sidewalk where none other exists nearby on the west side of Pentz Road.

Commissioner Bolin asked if the lanes could be extended to Kingdom Court and Mr. Baker stated that the frontage improvement plans have not been finalized and that could be included.

3. Pastor Sorenson stated that the Church on Kingdom Court has a fire hydrant that he thinks will probably have to be moved if the ingress and egress to the project is changed to accommodate longer lanes and stated

he is also concern about the enormous amount of water that accumulates at times at 6955 Pentz Road, not just affecting Kingdom Court.

Engineer Holiday stated that they would look at street improvement designs extending beyond the project frontage based on the requirements of the Town Engineer; CDD Director Baker informed the Planning Commission that the fire hydrant referred to appears to be out of the right of way on the church property.

Commissioner Jones stated that she would like to see the lanes extended. Commissioner Grossberger asked if the church would be responsible for any additional cost of the lane extension and Mr. Baker stated that the work would be confined to the right-of-way and the project applicant would be responsible for the cost of required street improvements.

4. Sandy Ostrander stated that she is the third property owner on Mulberry Lane, that she is concerned about the number of employees required at the facility that will create traffic in addition to the garbage and delivery trucks and, that she will be at the end of the drainage for the project and is concerned about the impact on her leach lines. Ms. Ostrander also stated she would like the Rural Residential zone kept and is also concerned about noise from the facility that would impact her property value.

5. John Selberg stated that he lives down slope from the project site and is concerned about failure of the leach field and there are leach lines in the area that have failed.

Engineers Holiday and Sands explained that the type of system proposed was designed as a closed system similar to what is used at Feather River Hospital and that the system is oversized by a factor of two. Commissioner Zuccolillo noted that if one field fails, the other field is sufficient in size to handle wastewater while the failure is addressed.

Commissioner Clarkson asked how the per bed usage was calculated, was it an average of other facilities or was a maximum used.

Engineer Sands explained that they used winter monthly water records (to factor out landscape water) from both Paradise Irrigation District and the City of Chico for a three month time period for facilities such as the one proposed and came up with a 54 gallon per day per bed average with a 1.5 factor applied.

Commissioner Grossberger asked if adjoining properties would be taking on any excess drainage.

Community Development Director Baker stated that he thinks it is fair to state that this project may actually decrease drainage onto other adjoining parcels.

6. Lucy Vettie stated that she attends the church in the area and is speaking in favor of the project as she thinks will be a beautiful facility and an enhancement to the community.

Commissioner Grossberger asked Commissioner Clarkson if the concerns he expressed in his memo were addressed. Commissioner Clarkson explained that his concern manifested language in the Safety Element of the Town's General Plan, and would like to discuss if it would be prudent to require installation of cameras to protect this type of unguarded facility.

Commissioner Bolin asked is this was something the Town could require. Staff stated that it could be, but has never been required by the Town in the past with a use permit to his knowledge.

7. Ann Martin stated that the safety of the residents is of the utmost importance and explained the various state agencies that have oversight for the licensing of these facilities, that she felt it was best to defer security issues to State agencies and that privacy standards are also addressed by the State licensing boards. She indicated that lighting must be designed carefully to accommodate comfort of the residents.

Commissioner Clarkson stated he is more concerned about security cameras and would like to discuss the subject further.

8. Ann Martin stated that there is a trend for establishing these types of facilities in smaller communities because the facility will be smaller and easy to monitor the safety of the residents

9. Pastor Sorenson stated there is a element that will not be stopped by security cameras and that they have security lighting at the church. He further stated that the hope we don't become a police state or a police community.

10. Bill Martin stated that the purpose of the floor plan was to show there is room for the thirty bedrooms and that there is enough square footage to accommodate other needs of the facility, such as the kitchen and laundry.

11. Jim Harding stated that his experience building is that 50-70% of the flow actually hits the fields, that this facility is proposing a "Mercedes" system, that the engineers have a good reputation, and the Town has high standards for the disposal of wastewater.

Chair Bolin closed the public hearing at 7:35 p.m.

Commissioner Zuccolillo stated that his concern is with the rezone in the event that this plan does not go through for this type of facility and asked if the project could be approved with a variance instead of a zone change to CS.

Community Development Director Baker stated that a variance is only appropriate and legally defensible if a physical characteristic of the property prevents use and enjoyment of the property as others in the area with the same RR-2/3 zoning.

Commissioner Jones stated that all of her questions have been answered; that the project seems to be a good one that is very well planned; and, would like to see the acceleration/decelerations lanes extended beyond the project frontage.

Commissioner Clarkson stated that this will be a beautiful facility that fits into our community and appreciates the work and preparation of the developers.

Commissioner Grossberger stated that she appreciates and recognizes the safety and privacy concerns, and also the concerns of a police state mentioned by Pastor Sorenson; that she doesn't want to be monitored as a volunteer working at a facility and doesn't think security cameras are a deterrent to crime; recognizes the State oversight of these types of facilities; and stated that the medical facility established on Bille Road Extension is an example of a successful project and that none of the concerns expressed by the neighbors manifested. Commissioner Grossberger further stated that she thinks a empty lot might be more of a draw for a criminal element.

Commissioner Bolin stated that he would like to see the acceleration/deceleration lanes extended to Kingdom Court and would like to see the septic tanks in the back shielded from public view.

Community Development Department Director Baker stated that the most recent amendment to the Town's Onsite Manual for treatment of wastewater requires screening and landscaping for these types of above-ground treatment systems.

Commissioner Zuccollilo asked if a condition could be added that these entitlements remain strictly for a senior facility so that it doesn't turn into another type of care facility.

12. Bill Martin stated that he understands Commissioner Zuccollilo's concern is specific to potential establishment of a drug and alcohol treatment center.

Community Development Director Baker indicated that a condition could be added with language such that occupancy of the facility shall be primarily comprised of the elderly or infirm and shall not include any drug recovery services.

13. Ann Martin stated that she would not want any condition that would interfere with an elderly person on medication with a need for intervention services.

Community Development Director stated that, under State law, certain drug recovery facilities housing six or fewer persons are permitted by State law in all zoning districts statewide.

ITEM 4a: The MOTION by Jones, seconded by Grossberger to adopt the findings 1-6 recommended by staff and (1) Adopt Planning Commission Resolution No. 12-03, recommending Town Council approval and adoption of a new Community Services (CS) General Plan land use designation and new Community Services (CS) zoning to be assigned to certain real properties within the Town of Paradise; (2) To approve the proposed Grand Sierra Lodge use permit and tree felling permit applications (PL12-00073 and PL12-00074) subject to conditions as recommended by staff and directed staff to see that street improvement plans include an acceleration lane extending south from the site as deemed feasible by the Town Engineer.

COMMISSION VOTE: Ayes of Commissioner James Clarkson, April Grossberger, Jody Jones, Michael Zuccolillo and Greg Bolin, Chair.
NOES: None. **ABSENT:** None. **ABSTAIN:** None.

FINDINGS FOR APPROVAL

1. Find that, as conditioned, the proposed project could not have a significant effect on the environment and adopt the negative declaration prepared by staff for the Grand Sierra Lodge project.
2. Find that the project, as conditioned, is consistent with the requested Community Services land use designation and is consistent with the development goals, objectives and policies of all applicable General Plan elements.
3. Find that the project, as conditioned, is compatible with surrounding land uses and would not be detrimental to the health, safety and general welfare of the residents of the Town of Paradise.
4. Find that the project, as conditioned, will not detrimentally effect existing plant and animal life in the project vicinity for the following reasons:
 - a. The project is located within an area that has been altered from its natural state by long-established agricultural, community service and residential land uses and supporting infrastructure;
 - b. No known outstanding wildlife habitat exists in the immediate project vicinity;
 - c. No known rare or endangered plants exist in the immediate project vicinity.

5. Find that the Grand Sierra Lodge tree felling permit application meets the criteria for conditional tree felling permit approval as outlined within PMC Section 8.12.090 because the proposed tree felling activity is necessary to accommodate the establishment of the proposed development project.

6. Find that the proposed tree felling activity, as conditioned, is consistent with applicable Town zoning regulations regarding commercial timber harvesting.

GENERAL CONDITIONS

1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.

2. Unless otherwise noted, it shall be the sole responsibility of the project developer to implement, monitor and fulfill the requirements of all conditions assigned to this use permit.

3. All work within the Pentz Road public right of way is subject to Town issuance of an encroachment permit, which will require that the contractor be properly licensed and bonded with the Town of Paradise.

4. Establish and maintain on-site parking facilities and pavement markings in accordance with all town parking ordinance regulations and the requirements of the Town Engineer.

5. Outside light fixtures associated with the project shall be designed to not exceed a height of sixteen feet above finished grade and shall be shielded to prevent the direct projection of light onto adjoining and nearby properties.

6. If any archaeological resources are uncovered during project construction activities, all work shall stop in the area of the find until a qualified archaeologist provides an appropriate evaluation of the discovery.

7. Minor changes to the interior and/or exterior design of the project may be approved administratively by the Town Planning Director upon submittal of a written request for such changes, if the requested changes are consistent with the overall intent of the project and its approval action. Any requested changes deemed by the Planning Director to be major or significant shall require a formal use permit modification review and the payment of the appropriate processing fees.

8. Pay development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.

CONDITIONS TO BE MET PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

ROADS AND ACCESS

9. Submit and secure Town Engineer approval of six (6) copies of design plans for the construction of public street improvements along the Pentz Road frontage of the site in accordance with the requirements of the Town Engineer. Pay appropriate fees, provide the appropriate bonds and insurance certificates, obtain town issued encroachment permit and construct all design-approved work in the right of way (including driveway approach and utility connections). All design features shall meet ADA requirements, Town ordinances, accepted engineering standards and the requirements of the Town Engineer. Street frontage and driveway improvement plans must be approved PRIOR to the construction or installation of the required facilities.

10. If deemed necessary by the Town Engineer, deed sufficient right-of-way along project frontage of Pentz Road to the Town of Paradise to provide a minimum of 2.5 feet clear public right-of-way behind new or existing street improvements.

DRAINAGE

11. Provide a final design solution for drainage per requirements of the Town Engineer and the INTERIM DRAINAGE DESIGN GUIDELINES prepared April 2, 1998. Drainage facilities shall be designed in a manner that provides for the establishment of all necessary drainage improvements to accommodate existing and additional project induced drainage flows without generating any off-site adverse effects.

SANITATION

12. Complete the requirements of the Town Onsite Sanitary Official concerning application, final system design, and issuance of permit approvals for installation of a sewage treatment and disposal system improvements to serve all proposed facilities. Provide evidence thereof to the Town Development Services Department (building safety division).

SITE DEVELOPMENT

13. Submit three (3) copies of a detailed engineered site development and improvements plan showing all project improvements and facilities as proposed and required. Plans shall be prepared by a registered civil engineer (including final parking facility design and site drainage design) and submitted to the Public Works Department (engineering division) for review and approval. Pay required site plan checking fee. Construction and drainage improvement plans must be approved PRIOR TO CONSTRUCTION or installation of the required facilities.

14. Provide directional signs and pavement markings requiring one-way traffic flow for the on-site parking facility in a manner deemed satisfactory to the Town Engineer. Signs and markings shall designate the south driveway encroachment as an entry only and the north driveway as an exit only.

15. Show all easements of record on the site development and improvements plan as well as a fifty-foot building setback line measured from the centerline of Pentz Road. Show a minimum 25-foot setback between storm drainage facilities and leach fields (primary and replacement).

16. Apply for and secure Town issuance of a grading permit satisfying all Engineering Division requirements and the current town adopted edition of the Uniform Building Code. Pay applicable grading permit fees per current fee schedule.

17. Properly abandon or relocate any easements that conflict with the design of the project.

18. Submit a detailed storm water pollution prevention plan (SWPPP) to the State Regional Water Quality Control Board (along with the appropriate filing fee). Provide a copy of this approved plan to the Town of Paradise prior to initiation of grading activities.

19. Submit a detailed soil erosion prevention plan to the Town Public Works Department for approval by the Town Engineer PRIOR to the start of any earthwork. Show all erosion control devices and sedimentation basins required by Paradise Municipal Code Section 15.04.280.

20. Submit a detailed dust emissions control plan to the Town Public Works Department for approval PRIOR to the start of any earthwork.

21. Meet the requirements of the Town Building Official/Fire Marshal regarding submittal of construction plans, interior automatic fire sprinkler plans, building permit applications, and all applicable Town adopted construction and fire code requirements.

FIRE PROTECTION

22. Meet the project requirements of the building safety services division development review comments/conditions dated May 30, 2012 that are required to be fulfilled prior to the issuance of a building permit and any revisions thereto on file with the Town Development Services Department.

WATER

23. Meet all requirements of the Paradise Irrigation District () in accordance with written project review comments received from staff

dated March 22, 2012 and any revisions thereto on file with the Town Development Services Department. Provide material evidence of having fulfilled this condition to the Town Development Services Department (building safety division).

CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATES OF OCCUPANCY

ROADS AND ACCESS

24. Construct and install required project site frontage improvements in accordance with approved frontage improvement plans

25. Submit reproducible "as-built" improvement plans for Pentz Road street improvements.

SITE DEVELOPMENT

26. Construct all necessary site, drainage, access, wastewater treatment/disposal and other facilities improvements as required by the Town Engineer and the Town Onsite Sanitary Official. All construction shall be in conformance with generally acceptable engineering and construction practices.

27. Submit landscaping plans and application fee to the Development Services Department (planning division) in accordance with Paradise Municipal Code requirements. **IMPORTANT NOTE:** No final building inspection or occupancy shall be permitted until the landscape plans for the project have been formally approved by the Town of Paradise and landscape materials have been installed (or bonded to guarantee installation).

28. Meet the requirements of all other utility providers regarding the extension or relocation of utility service lines and the establishment of any necessary on site utility easements.

29. Meet the requirements of Northern Recycling and Waste Systems (NRWS) regarding the design and function of the solid waste/recycling enclosure and provide evidence thereof to Town Development Services Department (building safety services division) staff.

FIRE PROTECTION

30. Meet all other project requirements of the building safety services division development review comments/conditions dated May 30, 2012 and any revisions thereto on file with the Town Development Services Department.

SANITATION

31. Meet the requirements of Town onsite sanitation staff regarding inspection and approval for the construction and final design of the onsite sewage disposal system.

CONDITIONS TO BE MET PRIOR TO ISSUANCE OF TREE FELLING PERMIT

32. Secure the issuance of a Town approved tree-felling permit prior to felling any qualifying trees.

33. Secure official Town Public Works Director approval for detailed and engineered project improvement plans (including drainage plans), a Town onsite septic system construction permit and submit building plans for the Grand Sierra Lodge development project.

34. Submit and secure Town Planning Director review and approval of a professionally produced "Tree Protection Plan" for the proposed project that provides for existing tree protection measures (fencing, etc.); prior to the commencement of ground disturbance site work (grading, etc.) for the project.

35. All qualifying trees proposed to be retained and any native saplings proposed to be retained on the site as replacement trees shall be protected during construction activities in a manner consistent with the Town of Paradise Suggested Practices for Protection of Trees on Commercial, Quasi-Public and Multi-Family Residential Construction Sites.

36. A certified arborist shall be engaged by the applicant to oversee the employment of tree protection measures during all related project site improvements construction that has the potential to effect trees to be retained.

37. The required landscape plan for the proposed Grand Sierra Lodge development project shall include provisions for the planting of all required replacement trees on-site and within each landscape area, particularly in areas adjacent to residential land uses and in areas plainly visible from Pentz Road. A minimum of fifty percent of required replacement trees shall be conifer species. Tree plantings shall be selected and ultimately approved by the Town for inclusion within the landscape plan primarily based upon their ability to provide summer shade for the project site. Smaller ornamental tree species (i.e. dogwood, crepe myrtle) shall not be considered suitable for purposes of replacing native trees on the site.

38. The approval action of this tree felling permit application shall only be valid and in effect for three years (36 months) past its conditional approval date.

Community Development Director Baker announced that the Planning Commission decision on the Grand Sierra Lodge General Plan

Amendment/Property Rezone and Conditional Use Permit is subject to a seven-day appeal period; and, the Tree Felling Permit Application is subject to a ten-day appeal period. The Town Council serves as the appeals board and the required appeal and fee are filed with the Town Clerk.

**TOWN OF PARADISE
PLANNING COMMISSION**

RESOLUTION NO. 12-03

**A RESOLUTION OF THE PARADISE PLANNING COMMISSION RECOMMENDING TOWN
COUNCIL ADOPTION OF A PARADISE GENERAL PLAN LAND USE MAP AMENDMENT
AND REZONING OF CERTAIN REAL PROPERTY WITHIN THE TOWN OF PARADISE
(MARTIN; PL12-00075)**

WHEREAS, the Paradise Planning Commission has conducted a public hearing, pursuant to the California Planning and Zoning Law, concerning a proposed amendment to the Paradise General Plan and property rezone; and

WHEREAS, said public hearing also included review of potential environmental impacts, pursuant to the California Environmental Quality Act; and

WHEREAS, Sections 65353, 65354 and 65854 of the California Government Code require the Planning Commission to conduct a public hearing and notify the Town Council in writing of its recommendation; and

WHEREAS, the Planning Commission has considered the analysis and recommendation of the Development Services Department (planning division) and has considered the comments made at a public hearing conducted by the Planning Commission on July 17, 2012; and

WHEREAS, the Planning Commission has determined that an amendment to the Paradise General Plan Land Use Map for a Community Service (CS) land use designation and its related zone change to a Community Services (CS) zoning district affecting properties located at 6975 and 6983 Pentz Road and further identified as AP Nos. 050-082-105 and 050-082-023, as proposed, is in the public interest.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

SECTION 1. The Planning Commission of the Town of Paradise hereby finds:

- a. That the proposed project will not have a significant effect on the environment, and adopts the negative declaration prepared by staff.
- b. That the general plan land use designation and zoning district requested to be assigned to the project property via the general plan amendment/rezone project application (PL12-00075) is appropriate and reasonable because it would assign a Community

RESOLUTION NO. 12-03

Service (CS) General Plan land use designation and Community Services (CS) zoning to properties that are currently developed and proposed to be further developed with community service-oriented land uses and that are situated at a location and with characteristics that satisfy the 1994 Paradise General Plan policies that are applicable to development of community services land uses.

SECTION 2. The Planning Commission of the Town of Paradise hereby recommends to the Town Council approval of the project application for Paradise General Plan Land Use Map amendment and its related zone change known as the Martin (PL12-00075) application for property identified as AP Nos. 050-082-0105 and 050-082-023 as depicted in Exhibit "A", attached hereto and made a part hereof by reference.

PASSED AND ADOPTED by the Planning Commission of the Town of Paradise this 17th day of July, 2012, by the following vote:

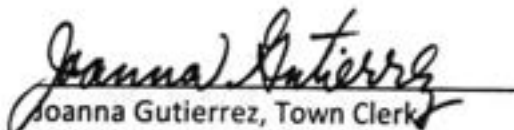
AYES: Commissioners James Clarkson, April Grossberger, Jody Jones, Michael Zuccolillo and Greg Bolin, Chair.

NOES: None.

ABSENT: None.

NOT VOTING: None.

ATTEST: 7-18-2012


Joanna Gutierrez, Town Clerk


Greg Bolin, Planning Commission Chair

**TOWN OF PARADISE
NEGATIVE DECLARATION REGARDING ENVIRONMENTAL EFFECT**

1. Description of Project:

Grand Sierra Lodge project: Environmental review for the development of a 1.66 acre property with a thirty bedroom community care facility along with related site improvements. Environmental review also includes a proposed General Plan amendment/rezone related to the project and involving a 5.82 acre land area comprised of two parcels that includes the site proposed for development.

2. Name and Address of Project Applicant:

Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969


3. The Initial Study for this Project was Prepared on: June 25, 2012

4. NOTICE IS HEREBY GIVEN that the Planning Director of the Town of Paradise has reviewed the project described above pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code) and determined that it will not have a significant effect on the environment. Preparation of an Environmental Impact Report will not be required.

5. A copy of the Planning Director's determination regarding the environmental effect of this project is available for public inspection at the Town of Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA. Copies thereof will be provided to any person upon payment of the established fee.

6. Any person wishing to respond to this negative declaration may file written responses no later than July 16, 2012 by 5:00 p.m. with the Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA 95969, (530) 872-6291. The Planning Director or the Planning Commission will review such comments and will either uphold the issuance of a negative declaration or require an environmental impact report to be prepared.

7. If no protest is lodged, the negative declaration may be formally adopted at the conclusion of the review period. Any negative declaration subject to state clearinghouse review shall not be formally adopted until such review has been completed.

By: 
Craig Baker, Planning Director

Date: 6/25/12

**INITIAL STUDY
FOR
GRAND SIERRA LODGE**



**PROJECT DESCRIPTION
AND
ENVIRONMENTAL SETTING**

**GRAND SIERRA LODGE USE PERMIT, GENERAL PLAN AMENDMENT AND TREE-FELLING
PERMIT APPLICATIONS**

PROJECT DESCRIPTION

The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit. The General Plan amendment/property rezone is proposed to also include an adjacent developed property for a total land area of 5.82 acres.

ENVIRONMENTAL SETTING

Location

The project site is located at 6983 Pentz Road, a two-lane arterial public street situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel No. 050-082-023 and is located within the southeast $\frac{1}{4}$ of Section 1, T22N, R3E, MDB&M.

Land Use

The 1.66 acre development project site is situated within the Rural Residential-2/3 acre (RR-2/3) zoning district and is currently vacant. Properties to the north and west are developed for single family residential land uses. Abutting property to the south is developed with a paved private road (Kingdom Court) and beyond that, the facilities of the Paradise Ridge Southern Baptist Church. Pentz Road abuts the site along its entire east boundary. Town-assigned zoning in the area is predominately residential, allowing for medium to low-density residential land uses and various community service-oriented uses.

Topography and Soils

The property is situated at an approximate elevation of 2,190 feet above sea level and slopes gently to the south and west. Vegetation on the vacant project site is characterized by seasonal grasses and roughly a dozen widely-spaced native oaks and conifer trees. Several brush species also occur on the

site.

Soils on the project site belong to the Aiken Very Deep (AVD) soil series. These soils are well-drained, well-structured clay loam and generally exceed five feet in depth. Aiken Very Deep soils are considered to be well-suited for on-site wastewater treatment and disposal.

Public Services

Services and facilities presently available or potentially available to the project site include but are not limited to the following listing:

Access:	Pentz Road (public street)
Communications:	AT&T Telephone/Comcast Cable Services
Electricity:	Pacific Gas and Electric Company
Public Safety:	Town of Paradise
Recreation:	Paradise Recreation and Park District
Schools:	Paradise Unified School District
Sewage Disposal:	Engineered on-site wastewater disposal system
Water Supply:	Paradise Irrigation District

PROJECT DETAILS

The permit applicant/property owner is requesting approval from the Town of Paradise to establish a development project consisting of a single-story, 19,972 square foot Community Care (assisted living) facility accompanied by an on-site paved parking facility containing twenty parking spaces, an engineered on-site wastewater treatment and disposal system, a subsurface storm water detention system, driveway access connecting to Pentz Road and on-site landscaping.

Pursuant to the Town's zoning ordinance regulations, a conditional use permit is required to establish a community care facility in Town-assigned zoning districts. Accordingly, the project developer has included a conditional use permit application with project application materials submitted to the Town.

Due to the design of the project relative to building coverage and impervious coverage limitations in the RR-2/3 zoning district, the project developer has also included an application requesting a General Plan amendment/property rezone from the current RR-2/3 zoning to a land use designation and zoning of Community Services (CS).

Construction and installation of proposed project improvements will result in the felling and removal of approximately thirteen pine, fir and oak trees large enough to be subject to the issuance of a Town of Paradise tree felling permit. Accordingly, the project applicants have also included a completed tree felling permit application with other project application materials.

The proposed hours of operation for the community care facility are twenty-four hours per day, seven days per week, including holidays. The estimated maximum number of employees in the proposed complex is five during the day shift and two overnight, for a total of twelve employees. The estimated number of clients expected to be cared for at the facility is thirty.

The project applicant is proposing to establish contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors. Please refer to the proposed project site plan, building elevations and floor plan following this discussion.

In consideration of the existing pattern of zoning classifications and land uses in the area, the Town Planning Director, on behalf of the Town of Paradise, is recommending a proposed expansion of the request for a land use and zoning designation change to CS to include one other abutting parcel currently zoned RR-2/3. This abutting parcel is presently developed with the facilities of the Paradise Ridge Southern Baptist Church. It is the opinion of the Planning Director that the established land use and substantial improvements on the 4.16 acre site oriented toward religious worship would benefit from a change from residential zoning to a zoning classification that is more accommodating for such land uses. If approved, the expanded property rezone would consist of a 5.82 acre land area. There are no current plans to expand the existing church facilities on the site.

TOWN OF PARADISE

ENVIRONMENTAL CHECKLIST FORM

I. BACKGROUND

- | | |
|--|--|
| 1. Name of Proponent | Bill and Ann Martin |
| 2. Address and phone number of proponent | 5806 Acom Ridge Drive, Paradise, CA 95969; (530) 520-5170 |
| 3. Date of checklist | June 25, 2012 |
| 4. Zoning and general plan designation | Rural Residential-2/3 acre minimum (RR-2/3) Zone; Rural Residential (RR) Land Use Designation |
| 5. Name of proposal, if applicable | Grand Sierra Lodge Use Permit (PL12-00073), General Plan Amendment/Rezone (PL12-00075) and Tree Felling Permit (PL12-00074) Applications |

II. ENVIRONMENTAL IMPACTS

Issues (and Supporting Information Sources):

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
1. LAND USE AND PLANNING. Would the proposal:					
a. Conflict with general plan designation or zoning?	1			<u>X</u>	
b. Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project?	1				<u>X</u>
c. Be incompatible with existing land use in the vicinity?	8			<u>X</u>	
d. Affect agricultural resources or operations (e.g. impacts to soils or farmlands, or impacts from incompatible land uses)?	8				<u>X</u>
e. Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	8				<u>X</u>
2. POPULATION AND HOUSING. Would the proposal:					

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
a. Cumulatively exceed official regional or local population projects?	1				<u>X</u>
b. Induce substantial growth in an area either directly or indirectly (e.g. through projects in an undeveloped area or extension of major infrastructure)?	1				<u>X</u>
c. Displace existing housing, especially affordable housing?	1				<u>X</u>
3. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:					
a. Fault rupture?	1				<u>X</u>
b. Seismic ground shaking	1				<u>X</u>
c. Seismic ground failure, including liquefaction?	1				<u>X</u>
d. Seiche, Tsunami or volcanic hazard?	1, 8				<u>X</u>
e. Landslides or mudflows?	1, 6				<u>X</u>
f. Erosion, changes in topography or unstable soil conditions from excavation, grading or fill?	1, 6			<u>X</u>	
g. Subsidence of the land?	1, 6				<u>X</u>
h. Expansive soils?	1, 6				<u>X</u>
i. Unique geologic or physical features?	8				<u>X</u>
4. WATER. Would the proposal result in:					
a. Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff?	3, 9			<u>X</u>	
b. Exposure of people or property to water related hazards such as flooding?	1, 3				<u>X</u>
c. Discharge into surface waters or other alteration of surface water quality (e.g. temperature, dissolved oxygen or turbidity)?	9				<u>X</u>
d. Changes in the amount of surface water in any water body?	3				<u>X</u>
e. Changes in currents, or the course or direction of water movements?	3				<u>X</u>
f. Change in the quantity of groundwater, either through direct	9				<u>X</u>

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability?					
g. Altered direction or rate of flow of groundwater?	9				<u>X</u>
h. Impacts to groundwater quality?	9			<u>X</u>	
i. Substantial reduction in the amount of groundwater otherwise available for public water supplies?	9				<u>X</u>
5. AIR QUALITY. Would the proposal:					
a. Violate any air quality standard or contribute to an existing or projected air quality violation?	1			<u>X</u>	
b. Expose sensitive receptors to pollutants?				<u>X</u>	
c. Alter air movement, moisture, or temperature, or cause any change in climate?	9				<u>X</u>
d. Create objectionable odors?	12				<u>X</u>
6. TRANSPORTATION/CIRCULATION. Would the proposal result in:					
a. Increased vehicle trips or traffic congestion?	1			<u>X</u>	
b. Hazards to safety from design features (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	9				<u>X</u>
c. Inadequate emergency access or access to nearby uses?	1				<u>X</u>
d. Insufficient parking capacity onsite and offsite?	9				<u>X</u>
e. Hazards or barriers for pedestrians or bicyclists	9				<u>X</u>
f. Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?	1				<u>X</u>
g. Rail, waterborne or air traffic impacts?	8, 9				<u>X</u>
7. BIOLOGICAL RESOURCES. Would the proposal result in impacts to:					
a. Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals and birds)?	7				<u>X</u>

			POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	<u>NO</u> <u>IMPACT</u>
	SOURCE NO.		POTENTIALLY SIGNIFICANT IMPACT		
b.	Locally designated species (e.g. heritage trees)?	8			<u>X</u>
c.	Locally designated natural communities (e.g. oak forest, coastal habitat, etc.)?	1			<u>X</u>
d.	Wetland habitat (e.g. marsh, riparian and vernal pool)?	6, 7			<u>X</u>
e.	Wildlife dispersal or migration corridors?	1			<u>X</u>
8.	ENERGY AND MINERAL RESOURCES. Would the proposal:				
a.	Conflict with adopted energy conservation plans?	1			<u>X</u>
b.	Use nonrenewable resources in a wasteful and inefficient manner?	9			<u>X</u>
c.	Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the state?	9			<u>X</u>
9.	HAZARDS. Would the proposal involve:				
a.	A risk of accidental explosion or release of hazardous substances (including, but not limited to; oil, pesticides, chemicals or radiation)?	12			<u>X</u>
b.	Possible interference with an emergency response plan or emergency evacuation plan?	1			<u>X</u>
c.	The creation of any health hazard or potential health hazard?	12			<u>X</u>
d.	Exposure of people to existing sources of potential health hazards?	12			<u>X</u>
e.	Increased fire hazard in areas with flammable brush, grass or trees?	1			<u>X</u>
10.	NOISE. Would the proposal result in:				
a.	Increases in existing noise levels?	12			<u>X</u>
b.	Exposure of people to severe noise levels?	11, 12			<u>X</u>
11.	PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:				
a.	Fire protection?	12			<u>X</u>

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
b. Police protection?	12			<u>X</u>	
c. Schools?	12				<u>X</u>
d. Maintenance of public facilities, including roads?	12			<u>X</u>	
e. Other governmental services?	12			<u>X</u>	
12. UTILITIES AND SERVICE SYSTEMS. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:					
a. Power or natural gas?	12			<u>X</u>	
b. Communications systems?	12			<u>X</u>	
c. Local or regional water treatment or distribution facilities?	4			<u>X</u>	
d. Sewer or septic tanks?	12			<u>X</u>	
e. Storm water drainage?	3			<u>X</u>	
f. Solid waste disposal?	12			<u>X</u>	
g. Local or regional water supplies?	12			<u>X</u>	
13. AESTHETICS. Would the proposal:					
a. Affect a scenic vista or scenic highway?	1, 8			<u>X</u>	
b. Have a demonstrable negative aesthetic effect?	1, 9			<u>X</u>	
c. Create light or glare?	9			<u>X</u>	
14. CULTURAL RESOURCES. Would the proposal:					
a. Disturb paleontological resources?	2				<u>X</u>
b. Disturb archaeological resources?	2			<u>X</u>	
c. Affect historical resources?	8				<u>X</u>
d. Have the potential to cause a physical change which would affect unique ethnic cultural values?	2				<u>X</u>
e. Restrict existing religious or sacred uses within the potential impact area?	8				<u>X</u>
15. RECREATION. Would the proposal:					

	<u>SOURCE</u> <u>NO.</u>	<u>POTENTIALLY</u> <u>SIGNIFICANT</u> <u>IMPACT</u>	<u>POTENTIALLY</u> <u>SIGNIFICANT</u> <u>UNLESS</u> <u>MITIGATION</u> <u>INCORPORATED</u>	<u>LESS THAN</u> <u>SIGNIFICANT</u> <u>IMPACT</u>	<u>NO</u> <u>IMPACT</u>
a. Increase the demand for neighborhood or regional parks or other recreational facilities?	1				<u>X</u>
b. Affect existing recreational opportunities?	1				<u>X</u>
16. MANDATORY FINDINGS OF SIGNIFICANCE.					
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?					<u>X</u>
b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?					<u>X</u>
c. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connect with the effects of past projects, the effects of other current projects, and the effects of probable future projects).					<u>X</u>
d. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?					<u>X</u>

INITIAL STUDY
STATEMENT OF ENVIRONMENTAL EVALUATION
FOR
GRAND SIERRA LODGE

III. DISCUSSION OF ENVIRONMENTAL EVALUATION

1. **General Evaluation.** Potential environmental impacts associated with the proposed project have been identified upon the preceding environmental review checklist form. It has been determined that the proposed project will not result in a significant adverse effect on the environment because no significant adverse environmental impacts have been identified that are associated with the project. No mitigation measures are contained within this Initial Study because none appear to be warranted. The text that follows identifies and evaluates potential impacts (or the lack thereof) that are associated with the project.

a. **Item No. 1 - Land Use and Planning.** If approved and established, the project shall result in an alteration of the existing undeveloped land usage to a community care facility on a year-round basis. This land use alteration is not in and of itself deemed a significant adverse change, since the current Paradise General Plan land use map and the Paradise Zoning Districts map identifies the project site as a site that is designated and zoned (RR and RR2/3, respectively) in a manner that provides for the potential establishment of the proposed type land use, subject to Town approval and issuance of a conditional use permit. The project applicants have requested a land use and zoning designation change because the development standards of the CS zone more comfortably accommodate the design of the project. In addition, assignment of CS land use and zoning designations allows the request to easily be expanded to include the adjacent Paradise Ridge Southern Baptist Church facilities. The proposed project is designed in a manner that is consistent with the requested CS General Plan land use designation and zoning. In addition, eventual approval and issuance of construction permits will be contingent upon assignment of the land use and zoning designations and assured compliance with all applicable zoning and land use/development regulations.

Existing zoning in the project area is residential in nature, roughly evenly divided by Rural Residential and Town Residential zoning districts. Residential properties abutting the site along its north side are zoned TR-1/3. The project site itself is currently zoned RR-2/3, which allows up to thirty percent of the site (+/-21,692 sq. ft.) to be covered with impervious surfacing. However, the design of the project would result in the establishment of impervious area that would exceed this limitation. As a consequence,

the project developer has filed a General Plan amendment/property rezone application to change the General Plan land use designation from RR to CS and the zoning for the site from RR-2/3 to CS. If the application is approved by the Town, up to eighty percent of the site can be covered with impervious surfacing, which will easily accommodate the design of the project which proposes to establish impervious surfaces over 54 percent of the site.

The project site is currently characterized open areas of seasonal grass and widely-spaced trees. Though the site is currently vacant, it has been developed for residential use in the recent past. Existing properties developed and approved for development with residential land uses are located along the north and west side of the project site and across Pentz Road to the east. By its nature as a community care facility for the elderly, the proposed land use is not expected to be incompatible with adjacent and nearby land uses, either visually or operationally. Though nearby properties may experience the proposed land use change to some degree, the change and the resulting impacts is not anticipated approach a level of significance that warrants mitigation.

- b. **Item No. 2 - Population and Housing.** The proposed project does not entail the establishment of any new housing units nor the displacement or demolition of existing housing units. Moreover, the proposed location and design features of the Grand Sierra Lodge project will not necessitate any extension of major infrastructure improvements and thereby not induce substantial population growth in areas of the community that are currently not well served by such improvements. Therefore, no impact is expected to population and housing and no mitigation is warranted.

- c. **Item No. 3 - Geologic Problems.** The project site is located in an area of relatively low seismic activity and consequently has been accorded a category of low potential earthquake hazard (Paradise General Plan, Volume III, 1994). In addition, the gentle slopes and well-structured soils on the project site do not pose a significant threat of landslides, mudflows or subsidence. Therefore, no geologic problems are anticipated and no mitigation is warranted.

- d. **Items 4 and 12 – Ground Water, Surface Water, Erosion and Drainage.** No areas of surface water or areas subject to flooding exist on or adjacent to the project site. The Town Onsite Sanitary Official has carefully reviewed the proposed project and its environs and has found that the project design preliminarily meets the requirements of town sewage disposal ordinance regulations. Therefore, no adverse impacts to surface waters or groundwater are expected as a result of project approval and the resulting construction of a proposed on-site wastewater treatment and disposal system.

Land clearing, grading and excavation work for purposes of site development, construction of roadway access, parking improvements, drainage improvements, etc., will disturb the physical environment of the project site. Such physical changes can result in improper drainage, soils erosion and/or wind-borne dust. However, detailed and engineered grading, drainage, dust/erosion control and site development improvement plans, all designed satisfactory to the Town Engineer, shall be required to be submitted and approved by the town and/or the Butte County Air Quality Management District prior to commencement of project construction.

The project site is currently vacant and undeveloped. Development of the site with areas of impervious surfacing will alter drainage patterns and significantly increase the rate and amount of storm water runoff. An engineered drainage analysis proposing an on-site subsurface storm water detention system and conveyance of storm water into the Pentz Road drainage system has been submitted to the Town of Paradise by the project applicant's engineer and has been reviewed by the Town Engineer. The proposed drainage analysis (and its engineered solution) has revealed that existing downstream and off-site drainage facilities within the Pentz Road public right of way are adequately sized to accommodate the post-development volume of storm water during periods of heavy precipitation. If approved by the Town of Paradise, the proposed project shall be conditioned to be designed and constructed in a manner that shall include establishment of all necessary drainage facilities, located on and possibly off-site to accommodate existing and any project-induced storm water drainage in accordance with the town's interim drainage guidelines and the requirements of the Town Engineer without generating any offsite adverse environmental effects.

In accordance with the circumstances and safeguards outlined above, no significant adverse environmental effects related to surface water, ground water, erosion or drainage are anticipated as a result of project approval and no mitigation measures related thereto appear to be warranted.

- e. **Item No. 5 - Air Quality.** A certain amount of dust will be generated during activities associated with construction of site improvements. However, this impact is expected to be temporary in nature. Further, as outlined within Item (d) above, an engineer-prepared dust/erosion control plan shall be required to be approved by the Town Engineer and implemented prior to commencement of construction activities for the project. Therefore, no significant impacts to adjacent residents are anticipated and no mitigation appears to be warranted.

- f. **Item No. 6 - Transportation/Circulation.** The proposed Grand Sierra Lodge project is located along the west side of Pentz Road (a public street) at its intersection with Kingdom Court, a paved private road. Pentz Road is a two lane collector street serving the predominantly residential east side of the Paradise community.

The proposed design of the project includes the establishment of two driveway access points connecting to Pentz Road. The driveway connections are designed to accommodate two-way traffic and provide access to a proposed paved parking facility containing twenty spaces.

Neither the Town Engineer nor the Paradise Police Department have identified any significant concerns regarding the existing design of the driveway access points or their proposed positions relative to other nearby encroachments onto Pentz Road. The potential increase in the volume of vehicle trips affecting this portion of Pentz Road as a result of project approval is not expected to be significant, given the size of the proposed community care facility and the frequency of trips customarily associated with such facilities. Traffic sight distances in the vicinity of the project site can be satisfactorily improved upon via vegetation removal within the existing Pentz Road public right-of-way. If the project is approved, the developer will be required by the Town of Paradise to establish and maintain adequate traffic sight distances accordingly.

In summary, no significant adverse impacts related to traffic or transportation have been identified and, accordingly, no mitigation measures appear to be warranted.

- g. **Item No. 7 - Biological Resources.** Review of the California DFG natural diversity data base information for the Paradise area reveals that no known rare, endangered or sensitive plant or animal species exist or inhabit the project site or its immediate vicinity. Although the area may contain some animal habitat values, the project site and the general area has been disturbed repeatedly by various land use activities that have taken place over several decades. In addition, the site is relatively small and probably has little value as important wildlife habitat. Accordingly, the potential impacts upon local endangered, rare or sensitive plant and animal populations should not be significant as a result of the proposed project.

Approximately thirteen trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate the proposed development. Accordingly, the project developer has submitted a Town tree felling permit application along with other project application materials. The Tree Felling permit application was accompanied by a report prepared by a Registered Professional Forester certifying that all trees proposed for felling would otherwise be adversely affected by the development or would substantially interfere with the design of the project. The application was also accompanied by a tree protection plan prepared by a Certified Arborist for trees that will remain and be incorporated into the design of the project. The project will be subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. Further, all qualifying trees felled and removed from the site will be required to be

replaced on-site at a one-to-one ratio with fifteen gallon-sized trees native to Northern California. Required landscape plans for the Grand Sierra Lodge project shall be reviewed and approved by the Town of Paradise in the context of required tree replacement, consideration for the protection of adjacent and nearby land uses and general aesthetics. Therefore, the magnitude of impact foreseen upon vegetation and wildlife is deemed to be less than significant and no mitigation measures appear to be necessary.

- h. **Item No. 8 - Energy and Mineral Resources.** The proposed project entails the construction of ±19,972 square feet of new building area, a paved parking facility and an on-site wastewater treatment and disposal facility. It is not anticipated that a project of this magnitude would threaten the availability of any known mineral resource. Similarly, no significant use of non-renewable resources is expected as a result of project approval and construction. Project construction plans will be required to comply with current Uniform Building Code energy-efficiency and construction waste reduction standards. Accordingly, no adverse impacts related to energy and mineral resources are anticipated and no mitigation measures appear to be required.

- i. **Item No. 9 - Hazards.** Since no known areas of toxic contamination exist on or in the vicinity of the project site, the project should not involve exposure of people to potential health hazards. In addition, the conventional construction techniques likely to be involved with establishment of the proposed facility should not pose health risks associated with explosions or the release of toxic substances. Therefore, no mitigation measures related to hazards appear to be warranted.

- j. **Item No. 10 - Noise.** The proposed project will result in a moderate increase of existing noise levels that shall predominantly occur during the project's construction. Such impact will be relatively short term and will not be substantially adverse provided permissible community noise levels as established by the town's noise ordinance are not exceeded.

By their nature as care facilities for the aged or infirm, assisted living facilities belong to a class of land uses that are operationally quiet. Therefore, the magnitude of impact foreseen upon surrounding properties as a result of noise impacts is deemed to be less than significant and no mitigation measures appear to be necessary.

- k. **Item No. 11 - Public Services. Fire Protection:** A review of Paradise Irrigation District comments received for the project reveals existing fire flows appear to be adequate to provide fire protection to the project site. Normal Fire Department response time to the site is well within established Town standards. The Paradise Fire

Department will review the proposed project in the context of locally adopted provisions of the California Fire Code (CFC) to determine if any additional fire hydrants will be required and the Town of Paradise will condition the project accordingly. As with any development project, adopted CFC requirements will be required to be incorporated into the project's final design, including standards for minimum fire flows, fire hydrant placement, access, interior automatic fire sprinkler systems, fire alarm systems, smoke and heat detectors, etc. If the project is approved, the Town of Paradise shall condition the project in a manner deemed satisfactory to the Town Fire Chief to insure the provision of adequate fire protection in compliance with Town-adopted UFC requirements. Therefore, fire protection impacts are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

- i. **Item No. 12 - Utilities and Service Systems.** Sewage Disposal - Comments generated by staff of the Town of Paradise Development Services Department onsite sanitation division indicate that existing soils and the project's proposed means of sewage treatment and disposal can be designed and constructed in a manner that legally satisfies the town's applicable onsite subsurface sewage disposal system development requirements.

Water Supply - Comments received from Paradise Irrigation District (PID) staff relative to the proposed project have not revealed a concern regarding the cumulative impact of recent and similar development upon the district's water supply service capacity. Until the PID reports otherwise, it is understood that domestic water supply is available to serve this proposed project.

- m. **Item 13 - Aesthetics.** Approximately thirteen trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate all elements of the proposed development. The project applicants, a registered professional forester and a certified arborist retained by the project applicants have made efforts to design proposed project improvements with an eye toward tree retention and protection. As designed and proposed, installation of proposed project improvements will result in the retention of approximately five native trees. While attempts have been made to retain trees where possible, the nature of proposed improvements are not always conducive to tree retention.

The project is located along the west side of Pentz Road. Pentz Road is designated within the 1994 Paradise General Plan as a scenic highway embodied within a scenic highway corridor measured 100 feet from its centerline. Scenic highway corridors are subject to scenic highway corridor regulations contained within Title 17 of the Paradise Municipal Code (PMC). Certain land uses are statutorily prohibited (e.g., swap meets automobile sales lots, billboards, etc.) within the corridor. However, no such land uses are proposed to be established in association with the project.

The design of the proposed assisted living facility building includes contemporary architectural building design using stone accents, exposed heavy wood support beams, multiple-pane windows and doors, architectural roofing materials and earth-toned exterior colors in order to maintain compatibility with nearby residential structures and to avoid an institutional appearance. The project design provides a separation distance of twenty-five feet between the north elevation of the proposed care facility and the developed residential properties to the north. Existing vegetation within much of this area will assist in screening the facility from these residences.

All non-residential development projects are subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. The project's required landscape plans shall be designed to mitigate the loss of trees and conditioned by the town. In addition, the proposed architectural design of the proposed community care facility is characterized by contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors not unlike existing residential structure designs in the project area.

The proposed project may produce new sources of light and potential glare associated with the eventual construction of parking facility lighting fixtures associated with the establishment of the proposed community care facility and related improvements. However, the Paradise Municipal Code contains provisions that prohibit unshielded lighting fixtures from projecting light directly upon adjacent properties within 200 feet of the light source. In addition, the Town will limit any project-related lighting to be no more than 16 to 18 feet above finished grade. Therefore, it is unlikely that these potential new light sources would be out of character with the existing surrounding residential setting to the extent that a significantly adverse environmental effect upon existing residences in the area would result. Accordingly, the magnitude of impact foreseen upon aesthetics is deemed to be less than significant and no mitigation appears to be warranted.

- n. **Item 14 - Cultural Resources**. The project site is located within an area that has been repeatedly disturbed and developed for various purposes over several decades. In addition, the site itself has been previously developed and significantly disturbed. Included with project application materials submitted to the Town was a written report prepared by a professional archaeologist and outlining the results of an archaeological survey of the site. The survey of the site did not reveal the presence of any archaeological or cultural resources on the site. Though it appears that the proposed project would have no significant adverse impacts on archaeological cultural resources, the possibility exists that such resources could be discovered during subsurface construction activities. As a result of this slight possibility, the Town of Paradise will condition any project approval to require all work to stop in the area of any discovery of

archaeological resources until a qualified archaeologist provides an appropriate evaluation of the discovery. Therefore, no significant impact is expected and no mitigation measure appears to be warranted.

- o. **Item No. 15 - Recreation.** It is not anticipated that the proposed Grand Sierra Lodge project would have a significant adverse impact upon recreational resources in the Paradise Community, since the facility will not in and of itself provide additional housing opportunities for families. Therefore, impacts to recreational facilities are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

2. Mitigation Monitoring

Since the preparation of this initial study did not result in the necessity for the development and application of mitigation measures, no mitigation monitoring program for the project developer and/or the Town of Paradise to administer is necessary.

IV. DETERMINATION.

On the basis of this initial evaluation:

- | | | |
|----|---|-------------------------------------|
| 1. | I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared. | <input checked="" type="checkbox"/> |
| 2. | I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described in this document shall be added to the project. A NEGATIVE DECLARATION WILL BE PREPARED. | <input type="checkbox"/> |
| 3. | I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required. | <input type="checkbox"/> |
| 4. | I find that the proposed project MAY have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation | <input type="checkbox"/> |

measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An

ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

5. I find that although the proposed project could have a significant effect on the environment, there **WILL NOT** be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR, including revisions or mitigation measures that are imposed upon the proposed project.



Date 6/25/12

Craig Baker, Planning Director
Town of Paradise

V. REFERENCES

1. Town of Paradise 1994 General Plan, Volumes I-III, Town of Paradise Community Development Department and Quad Consultants, October 1994.
2. Town of Paradise inventory map of archaeologically sensitive areas 1987, CSUC Anthropology Department.
3. Master storm drainage study and facilities plan, Paradise, California, 1980, McCain Associates.
4. Paradise Irrigation District water distribution map, 1993.
5. USGS topographic map: Paradise East Quadrangle, 1994.
6. The California natural diversity database, state Department of Fish and Game, 1988 and 1990.
7. "Soils of Paradise and Their Ability to Treat Domestic Wastewater," Wert and Associates, 1992.
8. Town of Paradise General Plan Land Use Designation Map; October, 1994.
9. Town of Paradise Zoning Ordinance (Title 17 of the Paradise Municipal Code).
10. Town of Paradise General Plan Land Use Constraints Diagram; October, 1994.
11. Field Inspection of the project Site by planning staff, March 28, 2012.
12. Grand Sierra Lodge project materials submitted to the Town of Paradise on March 21, 2012.

Initial Study
Prepared by:



Craig Baker
Community Development Director/Planning Director
Town of Paradise

TOWN OF PARADISE

ORDINANCE NO. ____

AN ORDINANCE REZONING CERTAIN REAL PROPERTIES FROM "RR-2/3" (RURAL RESIDENTIAL, 2/3-ACRE MINIMUM) TO A "CS" (COMMUNITY SERVICES) ZONE PURSUANT TO PARADISE MUNICIPAL CODE SECTIONS 17.45.500 ET. SEQ. (PL12-00075: GRAND SIERRA LODGE)

The Town Council of the Town of Paradise, State of California, does hereby **ORDAIN AS FOLLOWS:**

SECTION 1. The hereinafter described real properties situated in the Town of Paradise, State of California, shall be and are hereby zoned "CS" (Community Services) as described in Chapter 17.26 of the Paradise Municipal Code and such land area shall be subject to the restrictions, restricted uses and regulations of such chapter. The real properties so zoned are located at 6975 and 6983 Pentz Road in the Town of Paradise, and are more particularly identified as AP Nos. 050-082-023 and 050-082-105.

SECTION 2. This ordinance shall take effect thirty (30) days beyond the date of its passage. Before the expiration of fifteen (15) days after its passage, this ordinance shall be published in a newspaper of general circulation and circulated within the Town of Paradise along with the names of the members of the Town Council of Paradise voting for and against same.

/ / / / / / / / /

/ / / / / / / / /

/ / / / / / / / /

ORDINANCE NO. ____

PASSED AND ADOPTED by the Town Council of the Town of Paradise, County of Butte, State of California, on this ____ day of _____, 2012, by the following vote:

AYES:

NOES:

ABSENT:

NOT VOTING:

Steve "Woody" Culleton, Mayor

ATTEST:

By: _____
Joanna Gutierrez, Town Clerk

APPROVED AS TO FORM:

By: _____
Dwight L. Moore, Town Attorney

**TOWN OF PARADISE
RESOLUTION NO. 12-___**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF PARADISE ADOPTING A
NEGATIVE DECLARATION AND AMENDING THE LAND USE MAP OF THE 1994 PARADISE
GENERAL PLAN (PL12-00075: GRAND SIERRA LODGE)**

WHEREAS, the Paradise Planning Commission and the Paradise Town Council have conducted public hearings, pursuant to California planning and zoning law concerning a proposed amendment to the land use map of the 1994 Paradise General Plan; and

WHEREAS, such public hearings also included review of potential environmental impacts associated with the amendment to the Paradise General Plan, pursuant to requirements of the California Environmental Quality Act; and

WHEREAS, Section 65358 of the California Government Code allows a legislative body to amend its General Plan, and

WHEREAS, the action of the Town Council follows the requirements of Government Code Sections 65353, 65354, 65854 and 65090; and

WHEREAS, the Town Council has considered the analysis and recommendation of the Community Development Department; has received and considered the recommendations of the Planning Commission via adopted Planning Commission Resolution No. 12-03; and has considered the comments made at public hearings conducted by the Planning Commission and the Town Council; and on the basis thereof has determined pursuant to Section 65358 of the Government Code that a certain amendment of the 1994 Paradise General Plan Land Use Map is in the public interest; and

WHEREAS, the Paradise Planning Commission and the Town Council have determined that the proposed General Plan (land use map) amendment and rezone project is appropriate and reasonable because it would result in the assignment of general plan land use and zoning designations to the affected properties that are appropriate and reasonable in a manner that **a)** promote the development of an additional quality assisted living facility in the Town, **b)** is compatible with existing residential land uses in the surrounding area and therefore is consistent with applicable 1994 Paradise General Plan policies, and, **c)** assigns an appropriate General Plan land use designation to an adjacent property developed with an existing and legally established church facility.

RESOLUTION NO. 12-_____

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

Section 1. The Town Council hereby adopts the Negative Declaration for the Grand Sierra Lodge project based on the Initial Study relating to this General Plan Amendment, the associated staff report, all public comments relating to the project and the Town Council's independent judgment that there is no substantial evidence that this amendment to the General Plan will have a significant effect on the environment.

Section 2. The Town Council hereby adopts this amendment to the 1994 Paradise General Plan known as PL12-00075, assigning a Community Services (CS) General Plan land use map designation for a +/-5.82 acre land area located at 6975 and 6983 Pentz Road in Paradise and further identified as AP Nos. 050-082-023 and 050-082-105, as set forth in Exhibit "A" attached hereto and made a part hereof by reference.

PASSED AND ADOPTED by the Town Council of the Town of Paradise this ____ day of _____ 2012, by the following vote:

AYES:

NOES:

ABSENT:

NOT VOTING:

Steve "Woody" Culleton, Mayor

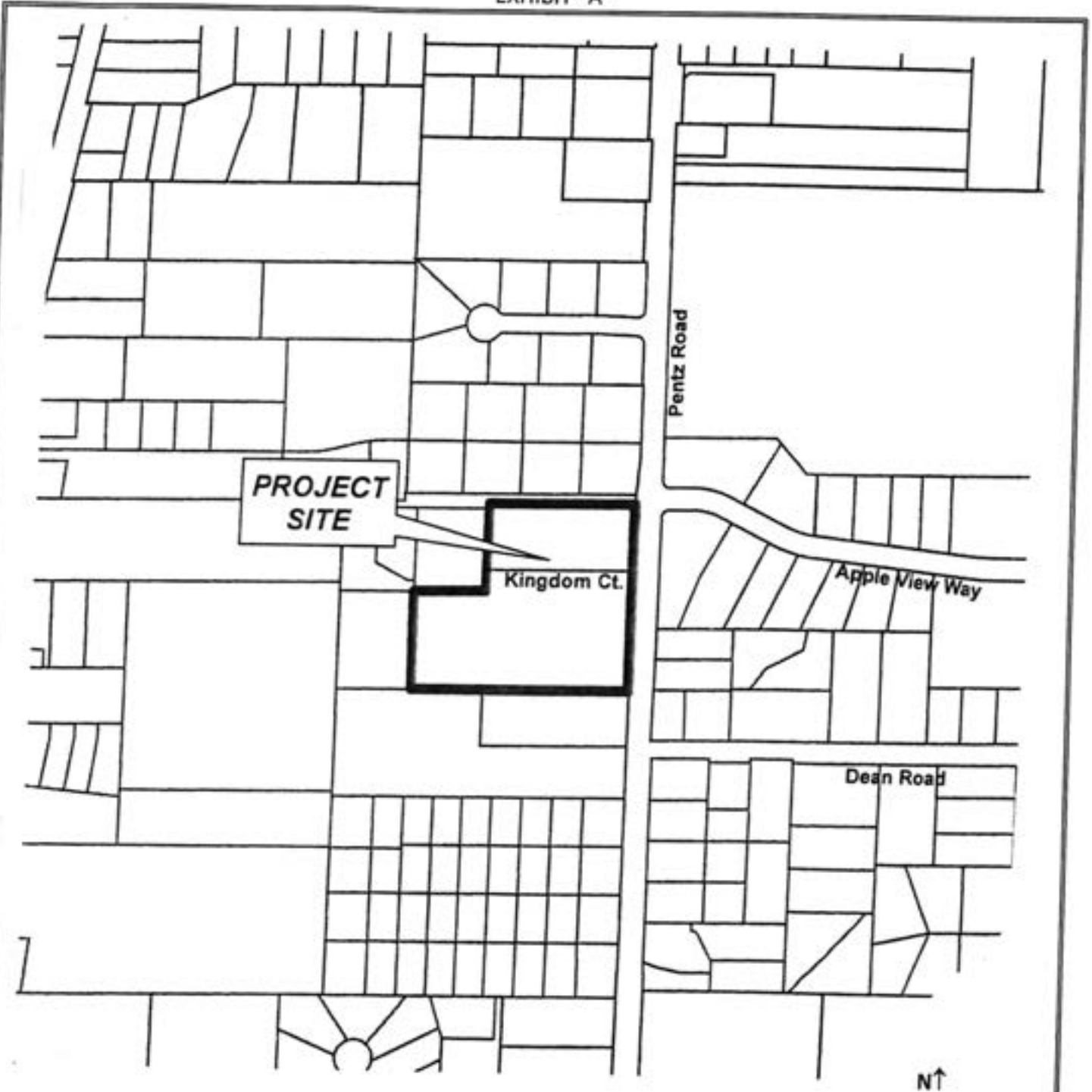
ATTEST:

By: _____
Joanna Gutierrez, Town Clerk

APPROVED AS TO FORM:

By: _____
Dwight L. Moore, Town Attorney

EXHIBIT "A"



APPLICANTS: BILL AND ANN MARTIN

OWNERS: JAY AND JOYCE POWELL

6975 and 6983 Pentz Road

REQUEST: General Plan amendment/rezone application proposing the assignment of a Community Services (CS) land use designation for a vacant 1.66 acre property and an adjacent 4.16 acre property currently developed for religious assembly purposes.

Existing General Plan designation: RR

Proposed General Plan designation: CS

FILE NO. PL12-00075

ASSESSOR PARCELS: 050-082-023 and 050-082-105

HEARING DATE: 8/7/12



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

August 10, 2012

Bill and Ann Martin
6036 Foster Rd
Paradise, CA 95969

SUBJECT: Grand Sierra Lodge General Plan Amendment and Property Rezone (PL12-00075); AP No. 050-082-023 & 105

Dear Mr. and Ms. Martin:

The Town Council conducted a public hearing on August 7, 2012 to consider the above-referenced general plan amendment and property rezone request. Subsequent to the conduct of the public hearing, the Town Council adopted Town Resolution No. 12-29 and introduced Town Ordinance No. 526. Adoption of Ordinance No. 526 is tentatively scheduled for Town Council consideration on September 11, 2012. Provided that the Town Council adopts Town Ordinance No. 526 on September 11, the new Community Services (CS) zoning will be assigned to your project site and the adjacent property occupied by the Paradise Ridge Southern Baptist Church thirty days thereafter.

If you have any questions regarding this matter, Please do not hesitate to contact me at (530) 872-6993.

Sincerely,

Craig Baker
Community Development Director

Cc: Rancho Engineering (via email)
Pastor Robert Sorenson, Paradise Ridge Southern Baptist Church, 6975 Pentz Road,
Paradise, CA 95969



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

May 18, 2012

TO: Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

FROM: Craig Baker, Assistant Community Development Director

SUBJECT: Grand Sierra Lodge Use Permit Application (PL12-00073), General Plan Amendment/Rezone Application (PL12-00075) and Tree Felling Permit Application (PL12-00074); APN 050-082-023

Section 65943 of the California Government Code requires that no later than 30 calendar days after receipt of the above-noted application, the Town of Paradise shall determine in writing whether such application is complete or incomplete and transmit such determination to the applicant. In the event that your application is determined not to be complete, the Town of Paradise shall specify those parts of your application which are incomplete and specify the manner in which they can be made completed.

Please note that the following determination(s) have been made:

Your application is complete.

Your application is incomplete and the following information is requested.

NOTE: COMPLETE APPLICATIONS WILL BE SCHEDULED FOR PUBLIC DECISION PENDING COMPLETION OF ENVIRONMENTAL REVIEW AND STAFF RECOMMENDATIONS. YOU WILL RECEIVE FURTHER NOTICE AT THAT TIME.

cc: Jay and Joyce Powell, 1624 S. Court Street, Visalia, CA 93277
Rancho Engineering, 5550 Skyway, Paradise, CA 95969

Baker, Craig

From: Danz, Doug
Sent: Friday, March 23, 2012 8:06 AM
To: Baker, Craig; Hartman, Susan
Cc: Larson, Bob
Subject: FW: Martin assisted care facility

From: Jarrod Holliday [<mailto:ranchoengineering@hotmail.com>]
Sent: Friday, March 23, 2012 7:10 AM
To: Danz, Doug
Subject: RE: Martin assisted care facility

Doug,

After speaking with both Bill and Ann martin on conference phone they have agreed to reduce the loading of the facility to 30 beds for all application purposes. If in the future they decide that they want to expand the facility they will reevaluate the project and reapply to onsite and planning to do so. Please feel free to redline the submitted files to reflect the change from 60 beds to 30 beds for the facility loading.

Thank you,

Jarrold Holliday, P.E.
Rancho Engineering
Phone/Fax. (530) 877-3700

> From: ddanz@townofparadise.com
> To: ranchoengineering@hotmail.com
> CC: cbaker@townofparadise.com; shartman@townofparadise.com
> Subject: Martin assisted care facility
> Date: Thu, 22 Mar 2012 23:57:55 +0000

>
> Hey Jarrod, just listened to your message regarding adjusting the Planning submittal to be adjusted to 30 beds. Would you mind giving us that message in email so we have some documented form we can file?

> Thanks - Doug

>
> Doug Danz
> Onsite Sanitary Official
> Town of Paradise
> 530-872-6239

>



PARADISE IRRIGATION DISTRICT

6332 Clark Road, Paradise CA 95969 | Phone (530)877-4971 | Fax (530)876-0483

March 22, 2012

Town of Paradise
Attn: Susan Hartman
5555 Skyway
Paradise, CA 95969

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

MAR 22 2012

RECEIVED

Subject: William & Ann Martin Development Review Request, 6983 Pentz Road, APN 050-082-023.

Dear Susan,

Thank you for the opportunity to review the above referenced development review materials. The following comments and conditions apply to the project, as proposed.

1. A 3/4-inch water meter currently serves the property. This meter will not have sufficient capacity to serve the proposed project. PID will review the building plans in light of the plumbing code and the project owner will be required to have the appropriate size water meter for the facility. A service capacity fee and meter installation charge will apply.
2. Fire suppression sprinklers for this facility can be supplied by the domestic meter (if it has sufficient capacity) or by a separate fire service connection. Fire service connections do not require the payment of a service capacity fee. The installation cost for a fire service connection is the responsibility of the project owner.
3. A backflow prevention assembly will be required at each service connection. An "RP" assembly will provide the appropriate level of protection.
4. A 12-inch water main is located in Pentz Road. A 6-inch water main is located in Kingdom Court along the south side of the subject property.
5. Static pressure at the project site is approximately 80 psi.
6. Paradise Fire Department will review the fire flows available at nearby fire hydrants to determine their adequacy for the proposed project. If available fire flow is not sufficient for the proposed project a water main upgrade may be necessary. The project owner will be responsible for the cost of a water main upgrade and the upgrade project will need to be approved by the District Board of Directors.

Please contact me at 876-2037 if you have any questions or comments regarding this matter.

Sincerely,

Neil J. Essila
Assistant Engineer

cc: William and Ann Martin

TOWN OF PARADISE COMMUNITY DEVELOPMENT DEPARTMENT

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *[Signature]*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

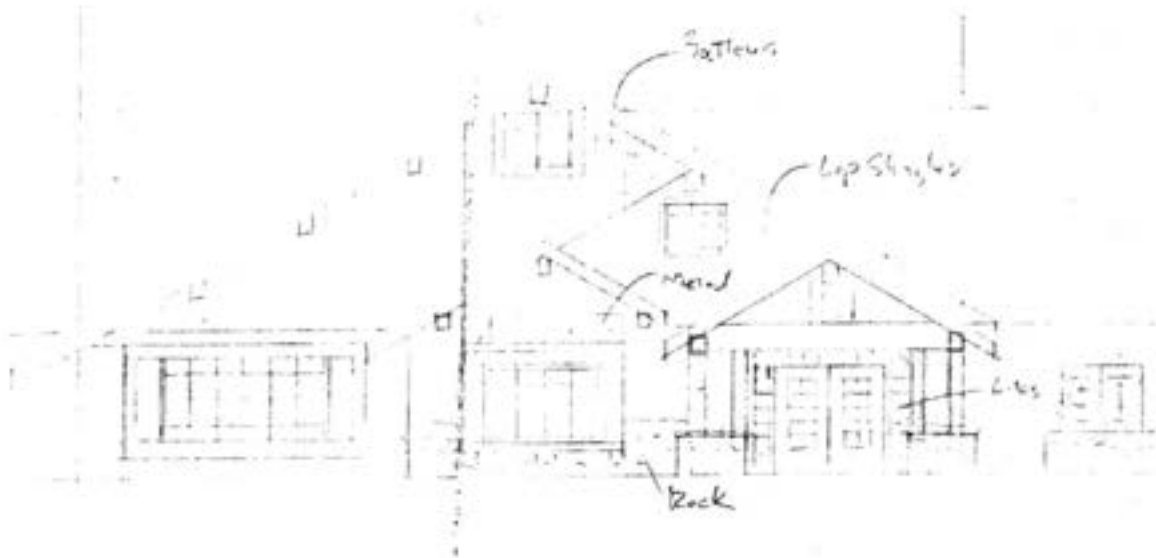
NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.

GRAND SIERRA LODGE

RESIDENTIAL RETIREMENT COMMUNITY

PARADISE, CA



Prepared by

WLM CONSTRUCTION, INC.

WILLIAM & ANN MARTIN

FOR

JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Letter of Authorization	.....	p 3
Project Summary	.....	p 4
Site Analysis	.....	p 5
Zoning and Land Use	.....	p 6
Neighborhood Support	.....	p 7
Wastewater	.....	p 8
Site Drainage	.....	p 8
Utilities	.....	p 8
Traffic	.....	p 8
Parking	.....	p 8
Fire Department	.....	p 9
Commitment to the Community	.....	p 9
Hospital	.....	p 10
Trees	.....	p 10
Development Design	.....	p 11
Development Team Bios	.....	p 11
Development Team Contact Information	.....	p 12

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1621509 THURSDAY
VINNIE, CALIFORNIA 95777

TELEPHONE: (530) 623-4343

FAX: (530) 623-4340


May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL
PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, A.P.N.
NUMBER 050482423-000.

WILLIAM L. MARTIN AND ORLEANN MARTIN ARE AGENTS FOR THE
TRUST IN ALL MATTERS CONCERNING THE SAID REAL PROPERTY,
INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR
PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE,
CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Grand Sierra Lodge of Paradise is to create, in a residential retirement community, the atmosphere of an elegant and comfortable mountain lodge. The proposed development is for a moderately sized, thirty-bedroom senior housing community; the average size in the U.S. is 58 units. The philosophy of Grand Sierra Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. The Grand Sierra Lodge retirement living philosophy embraces community, quality of life as well as quality of care, and supports the resident's decision to live with companionship and increasing levels of supportive services in the place they call home.

The terms used to describe senior communities differs across the country; in California senior communities are identified as independent living, assisted living and skilled nursing. Independent living is for seniors in good health, who desire the convenience and safety of a retirement living community. Assisted living provides seniors with assistance with one or more 'activities of daily living' (ADL). Skilled nursing is for individuals who require total care. The mission of the Grand Sierra Lodge is to offer a continuum of care from independent to assisted living, so as residents need more assistance, it can be provided.

The Grand Sierra Lodge will be prepared to undergo a licensure process to become a licensed assisted living facility. In California, the State Department of Social Services (DSS) conducts the licensure process. Also described as Residential Care Facility for the Elderly (RCFE) in the California Codes, assisted living communities are required to provide a number of services to residents, including 24-hour supervision, three meals per day plus snacks in a group dining room, as well as a range of services that promote resident quality of life and independence. Staff job descriptions and training requirements are defined by the DSS, and reflect the responsibilities of each position according to professional standards, with emphasis on observation, communication and care. Unlike nursing facilities where skilled medical care is provided on site, assisted living offers transportation to medical professionals. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Grand Sierra Lodge.

Regulations specific to construction of senior living facilities are detailed in the California Health and Safety Code. Senior communities range in size from a small residential house, with 6 or fewer residents, up to very large facilities providing services to hundreds of residents. Current best practices in senior community design include large studios for private living, and comfortable spaces for socialization, such as conversation areas, patios and hearth rooms. This enables residents to maintain a private lifestyle, while enjoying socialization at their leisure. Facilities are designed for the mobility impaired.

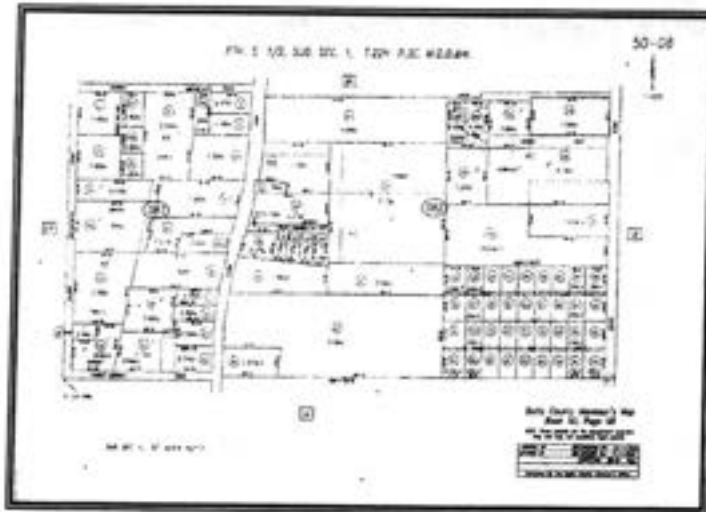
Site Analysis

The proposed development site is a unique infill location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road													
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	140	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	140	21242

Traffix System Version 6.4 (c) 1991 DA Licensed to Dowling Associates

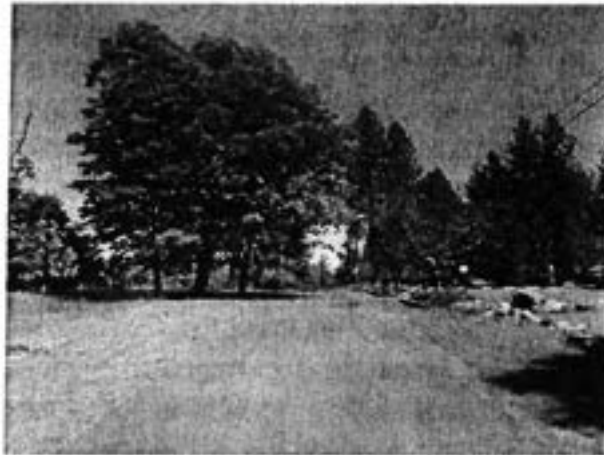
Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses. It is recommended the applicant apply for a zone change to TR 1/3 due to the size of the proposed facility.



Kingdom Court (left) and Pentz Road

The development site and proposed retirement living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexander family and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developers met with Mr. and Mrs. McAlexander at their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because senior living communities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

L & L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments. The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

The proposed septic system and leach field is shown on page CS of the Site Plan. Based on data collected, and from water records of like facilities, Rancho Engineering has designed a fully engineered system. An Advantex AX 100 Pod and Recirculation tank system with redundant pressurized distribution lines is proposed for this project. This will provide on site wastewater treatment for a thirty-bedroom facility.

The wastewater leach field location is designed to follow perpendicular to the natural slope of the property, as shown on page CS of the Site Plan. The proposed on-site septic system would be located in the westerly 140 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. The developer will explore cost effective solar energy applications for the residential facility.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

Parking

At this time, twenty (20) parking stalls are shown, including two ADA parking stalls and a commercial loading/unloading zone. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The

developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site. Fire flow tests have been conducted.



Southwest corner of property with fire hydrant on left

Commitment to the Community

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square feet home built in approximately 1940, and a large storage shed.

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightening Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborists for the development are Tom Gomez of Tom's Tree Service and consulting arborist Randolph Vasquez. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'. A full tree report, prepared by Vasquez is submitted with this application.



View from Pentz Road looking west

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and the California Department of Social Services, Community Care Licensing Division Residential Care Facilities for the Elderly (RCFE) and values expressed by the American Assisted Living Association (ALFA). Rancho Engineering has been retained for all design and engineering associated with the project.

The vision for Grand Sierra Lodge of Paradise is to create the atmosphere of an elegant, but comfortable mountain lodge. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards. Specific design features will adhere to State of California RCFE regulations, specifically those under Article 5 Physical Environment and Accommodations. The Grand Sierra Lodge will follow current best practices in senior community design include large private spaces and comfortable rooms for socialization, such as conversation areas, patios and hearth rooms. Facilities will be designed to house the mobility impaired; the majority of private rooms will accommodate the non-ambulatory.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified as a RCFE Administrator Certificate Holder, by the California Department of Social Services, Community Care Licensing Division. Ann has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
Bill Martin CEO, Builder
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
wlmconstructioninc@gmail.com
(530) 520-5170 Bill

RCFE Consultant: Ann Martin, Ed.D. RCFE Administrator
Certificate Holder License #6009259740
CA Dept. of Social Services, Community Care Licensing
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
(530) 520-5178 Ann

Building Engineer: Jarrod Holliday License # 66034
Frank Sands, Rancho Engineering
5550 Skyway
Paradise, CA 95969

Civil Engineer: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Wastewater: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Surveyor: L & L Surveying
1007 Bille Road
Paradise, CA 95969
(530) 877-4300

Arborists: Tom Gomez, Certified Arborist License #1248
Tom's Tree Service
6791 Pentz Road
Paradise, CA 95969
(530) 877-6055

 Randolph Vasquez, Registered Professional Forester #1884
Randolph Vasquez Forest Management
1600 Feather River Blvd, Suite B
Oroville, California 95965
(530) 534-5229

Redaction Log

Reason	Page (# of occurrences)	Description
Privacy Information	38 (1) 39 (1) 40 (1) 41 (1)	---

PROJECT # PL11-00164 AP# 050-082-023 RECEIPT NO. 0 S 0
 PROJECT/APPLICANT NAME: Northwest Assisted Living - Paradise Lodge
 CONTACT PERSON: William + Ann Martin (WLM Construction, Inc.)
 PHONE: 520-5170 FAX: _____ EMAIL: _____
 APPLICANT ADDRESS: P.O. Box 2035, Paradise, CA 95967
 OWNER NAME: Jay + Joyce Howell Family Trust PHONE: 559-625-4343
 OWNER ADDRESS: 1625 S. Court St., Visalia, CA 93277
 ENGINEER NAME: Jarrod Holliday - ^{Rancho} Engineering PHONE: _____
 ENGINEER ADDRESS: 5550 Skyway "C" Paradise, CA 95969
 DATE APP. REC'D 5/26/11 DATE DEEMED COMPLETE: _____ INCOMPLETE: _____

DRR'S	SENT	RECD	SENT	RECD	DRR'S	SENT	RECD	SENT	RECD
Eng	<u>5/27</u>	_____	_____	_____	SBC	_____	_____	_____	_____
Onsite	<u>5/27</u>	_____	_____	_____	PUSD	_____	_____	_____	_____
CSS	<u>5/27</u>	_____	_____	_____	Fish & Game	_____	_____	_____	_____
Fire	_____	_____	_____	_____	Cal Trans	_____	_____	_____	_____
Police	<u>5/27</u>	_____	_____	_____	CDD/PW Coord	<u>5/27</u>	_____	_____	_____
PID	<u>5/31</u>	_____	_____	_____	Recreation	_____	_____	_____	_____
CSUC	_____	_____	_____	_____	Bus./Housing	<u>5/27</u>	_____	_____	_____
PG&E	<u>5/31</u>	_____	_____	_____	BCAG	_____	_____	_____	_____
NRWS	_____	_____	_____	_____		_____	_____	_____	_____
BCAQMD	_____	_____	_____	_____		_____	_____	_____	_____

DATE NOTICE PUBLISHED: _____ DATE PROPERTY OWNERS NOTIFIED: _____ HEARING BODY: _____ PC _____ PD _____ TC _____

DATE AGENDA PACKETS SENT: _____

NEG. DEC. MAILED: _____
 ENVIRONMENTAL EIR _____ NEGATIVE DEC. _____ MITIGATED NEGATIVE _____
 DETERMINATION: EXEMPT _____ SECTION _____ CLASS _____

DECISION PUBLIC HEARING/ACTION: DATE: _____ ACTION: _____
 DATE: _____ ACTION: _____

TO TOWN COUNCIL: DATE: _____ ACTION: _____
 DATE: _____ ACTION: _____

COMMENTS: MTG Thurs 4/16/11 @ 10:00 AM

EXPIRATION DATE: _____ STAFF PERSON: _____



第
一

第
一
章

中華民國二十九年一月一日

Menu Save Reset Cancel Help

Record Detail (This section is required)

Application No. PL11-00164 Type Planning/Preliminary Development Review/NA/NA Status Applied
 Application Name NORTHWEST ASSISTED LIVING - PARADISE LODGE Opened Date 05/26/2011
 Detailed Description 23 BDRM ASSISTED LIVING HOME OF APPROX. 10,000 SQ FT

Total Fee Invoiced 0.00 Total Pay 0.00 Balance 0.00

Letter Type or Permit Category

App Spec Info
Type
Major

Permit Notes

Address (This section is not required)

Search Reset Clear Get Parcel & Owner

Street # 6983 Direction --Select-- Street Name PENTZ Street Type RD Unit Type --Select-- Unit #
 City PARADISE State CA Zip Code 95969 Primary Yes
 Address Type --Select--

Parcel (This section is required)

Search Reset Clear Get Address & Owner

Parcel # * 050-082-023-000 Legal Description 6983 PENTZ RD.

Parcel Area
72309.6

Land Value 0 Improved Value 0 Primary No

Drainage Basin General Plan Designation Special Permit Zone Soil Map

Elevation Use Code R2 Re-development Area --Select-- Zoning RR 2/3

Number of Units 1 Number of Buildings 0 Year Built 1900 Building 1232.00 SQFT

Garage .00 Septic SQFT Yes No Sewer Yes No Well Yes No

Owner (This section is not required)

Search Reset Clear

Name * POWELL JAY & JOYCE FAMILY TRUST Phone 559-625-4343 Primary Yes

Address Line 1 C/O POWELL JAY & JOYCE TRUSTEES

Address Line 2 1624 S COURT ST

Mail City VISALIA Mail State CA Mail Zip 93277 Country --Select--

Notes Phone 2 Phone 3

Professionals (This section is not required)

Search Reset Clear

License # * License Type * --Select-- Business Name Primary Yes

First Name Middle Name Last Name

Address Line 1

City State Zip Code

Phone 1 Phone 2 Email

License Class

Applicant * (This section is required.)

Search As Owner As Lic. Prof

Type * Applicant First Name Middle Name Last Name Relationship --Select--

Full Name WILLIAM & ANN MARTIN Organization Name WLM CONSTRUCTION, INC

Address Line 1

P O BOX 2035

Address Line 2

Address Line 3 City PARADISE State CA Zip Code 95967

Phone 1 530-520-5170 Phone 2 Fax Email

Primary No

Primary Contact (This section is not required.)

Search As Owner As Lic. Prof

Type Primary Contact First Name Middle Name Last Name Organization Name

Full Name

Address Line 1

Address Line 2 City State Zip Code Country --Select--

Phone 1 Phone 2 Fax Email

Primary No

Submit Cancel



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

SITE EVALUATION REPORT

Date: 9-5-09 Client Name: BILL MARTIN OS# _____

Assessor's Parcel Number: 050-082-023 Parcel Size: 1.66 Ac.

Slope: 0-6% Existing or Proposed Wells: NONE

Surface Water:

- a. Stream: NONE
- b. Drainage Swale: NONE

Groundwater:

- a. Perched: NONE
- b. Seasonal: NONE

Landslides or Unstable Soils: NONE

Easements: 1 ON NORTHSIDE OF PARCEL 20' WIDE X 392' LONG

Roads, Driveways: PENTZ RD.; 2 DRIVEWAYS

Existing Structures: NONE

Vegetation: OAKS, PINES, NATIVE GRASSES

Rock Outcrops: NONE

Escarpments and Large Cuts: ROADSIDE CUT ALONG PENTZ (3 TO 6')

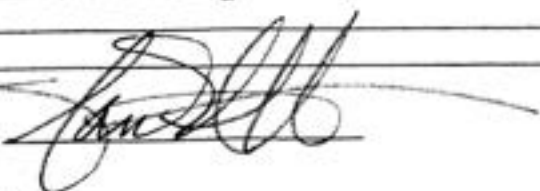
Proposed Development: MAXIMUM USAGE - SEE ATTACHED

Utilities (Water, Gas, Power, etc): PRESENT IN P.U.E.

Soil Type Description (Attach Report): SEE ATTACHED

Perc Test Results (Attach Report): SEE ATTACHED

Comments: SEE ATTACHED CALC SHEETS

Evaluator/Engineer: 

Owner: Dill Martin
 Location: Pentz Rd.

Date: 9/5/09
 Weather: Clear/overcast

Hole No	Number of Filings	Time of Measurement	Water Level From Surface	Drop in Water Level	Hole No	Number of Filings	Time of Measurement	Water Level From Surface	Drop in Water Level
1 Front	1	2:30		0	4 Back	1	3:05		0
Depth 30 ± 1	2	3:10	40	4	Depth 48 ± 1	2	16	11	4
Diameter or size 7-8	3	5:40	150	4	Diameter or size 7-8	3	40	24	4
Soaked overnight? YES	4	7:30	110	3 1/4	Soaked overnight? YES	4	4:17	37	4
Location SEE MAP	5				Location SEE MAP	5	57	40	4
Remarks WATER IN HOLE AFTER PRESOAK	6				Remarks NOWATER IN HOLE AFTER PRESOAK	6	5:45	48	4
Results $\frac{110}{3.25} = 33.85$	8				Results $\frac{48}{4} = 12$	8			
$\times 1.6 = 54$ minutes/foot	9				$\times 1.6 = 19.20$ minutes/foot	9			
2 Front	1	2:30		0	5 Back	1	3:05		0
Depth 30 ± 1	2	7:30	300	3 3/8	Depth 30 ± 1	2	3:13	18	4
Diameter or size 7-8	3				Diameter or size 7-8	3	23	10	4
Soaked overnight? YES	4				Soaked overnight? YES	4	34	11	4
Location SEE MAP	5				Location SEE MAP	5	47	13	4
Remarks WATER IN HOLE AFTER PRESOAK	6				Remarks NOWATER IN HOLE AFTER PRESOAK	6	4:04	17	4
Results $\frac{300}{3.625} = 82.78$	8				Results $\frac{17}{4} = 4.25$	8			
$\times 1.6 = 132.4$ minutes/foot	9				$\times 1.6 = 6.8$ minutes/foot	9			
3 Front	1	2:30		0	6 Back	1	3:05		0
Depth 30 ± 1	2	3:15	45	4	Depth 48 ± 1	2	35	30	4
Diameter or size 7-8	3	4:06	51	4	Diameter or size 7-8	3	4:18	43	4
Soaked overnight? YES	4	5:14	68	4	Soaked overnight? YES	4	55	37	4
Location SEE MAP	5	6:19	65	4	Location SEE MAP	5	5:39	44	4
Remarks WATER IN HOLE AFTER PRESOAK	6	7:30	71	4	Remarks NOWATER IN HOLE AFTER PRESOAK	6	6:22	43	4
Results $\frac{71}{4} = 17.75$	8				Results $\frac{43}{4} = 10.75$	8			
$\times 1.6 = 28.40$ minutes/foot	9				$\times 1.6 = 17.2$ minutes/foot	9			



I hereby certify under penalty of perjury that these data are true and correct. Jan 26/09 REHS #3626

Owner: Bill Weyant
 Location: Pentz Rd,

Date: 9/5/09
 Weather: clear/overcast

Well No	Depth	Diameter or dia	Soakhd overnight	Location	Remarks	Time of Measurement	Number of Fillings	Drop in Water Level	Water Level From Surface	Time of Measurement	Number of Fillings	Drop in Water Level	Water Level From Surface
Q1F	3	7.5	YES	SEE MAP			1	0			1	0	
Q2F	3	11.5	YES	SEE MAP			2	0			2	0	
Q3F	3	5.33	YES	SEE MAP			3	0			3	0	
Q4B	3	4.33	YES	SEE MAP			4	0			4	0	
Q5B	3	2.6	YES	SEE MAP			5	0			5	0	
Q6B	3	4.15	YES	SEE MAP			6	0			6	0	
Q7B	3	2.37	YES	SEE MAP			7	0			7	0	
Q8B	3	3.35	YES	SEE MAP			8	0			8	0	
Q9B	3	2.37	YES	SEE MAP			9	0			9	0	
Q10F	3	11.5	YES	SEE MAP			1	0			1	0	
Q11F	3	7.5	YES	SEE MAP			2	0			2	0	
Q12F	3	5.33	YES	SEE MAP			3	0			3	0	
Q13F	3	4.33	YES	SEE MAP			4	0			4	0	
Q14F	3	2.6	YES	SEE MAP			5	0			5	0	
Q15F	3	4.15	YES	SEE MAP			6	0			6	0	
Q16F	3	2.37	YES	SEE MAP			7	0			7	0	
Q17F	3	3.35	YES	SEE MAP			8	0			8	0	
Q18F	3	2.37	YES	SEE MAP			9	0			9	0	



I hereby certify under penalty of perjury that these data are true and correct.
Bill Weyant REGISTERED PROFESSIONAL ENGINEER # 3620

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>B. W. Markin</u>		Location: <u>Pentz Rd</u>		Mantle No: <u>NE 3A Property</u>	
APN: _____		Date: <u>9-01-04</u>		Weather/Lighting/Temp: <u>Clear/Bright/Hot</u>	
Total Depth: <u>84</u>		Texture: <u>CL</u>		Ribbon*: <u>2-2 1/4"</u> % Clay: <u><27 27-40 >40</u>	
Depth: <u>0 to 20"</u> Color: <u>2.5YR4/6 Red</u>		Horizon: <u>O A E B C R</u>		Texture: <u>CL</u> Ribbon*: <u>2-2 1/4"</u> % Clay: <u><27 27-40 >40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>>60</u>		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium (3) Fine (6-10) Fine (11-20) Coarse (4+) Med (11-20) Med (21-50) V. Coarse (11+) Coarse (21+) Course		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: Non C <u>EXWC</u> VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): <u>Abrupt (<2)</u> Clear (2-5) Gradual (5-15) Diffuse (>15) Topo: <u>Smooth</u> Wavy - Soil Water: <u>Dry</u> Moist Wet	
Mottles: <u>NO</u> YES Color		Mottle Contrast: <u>Faint</u> Distinct Prominent		Comments: <u>Saprolite < 20"</u>	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: <u>Few</u> Common Many			
Redoximorphic: YES NO		Redox Conc: Concretions Nodules Masses Depletions: Iron Clay			
Depth: <u>20 to 58"</u> Color: <u>5YR4/6 Yellowish Red</u>		Horizon: <u>O A E B C R</u>		Texture: <u>SILT+sap</u> Ribbon*: <u>1-1 1/2"</u> % Clay: <u><27 27-40 >40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>>60</u>		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium (3) Fine (6-10) Fine (11-20) Coarse (4+) Med (11-20) Med (21-50) V. Coarse (11+) Coarse (21+) Course		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: Non C <u>EXWC</u> VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): <u>Abrupt (<2)</u> Clear (2-5) Gradual (5-15) Diffuse (>15) Topo: <u>Smooth</u> Wavy - Soil Water: <u>Dry</u> Moist Wet	
Mottles: <u>NO</u> YES Color		Mottle Contrast: <u>Faint</u> Distinct Prominent		Comments: <u>Saprolite < 20"</u>	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: <u>Few</u> Common Many			
Redoximorphic: YES NO		Redox Conc: Concretions Nodules Masses Depletions: Iron Clay			
Depth: <u>58 to 84"</u> Color: <u>5YR4/6 Yellowish Red</u>		Horizon: <u>O A E B C R</u>		Texture: <u>SILT+sap</u> Ribbon*: <u>1-1 1/4"</u> % Clay: <u><27 27-40 >40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>>60</u>		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium (3) Fine (6-10) Fine (11-20) Coarse (4+) Med (11-20) Med (21-50) V. Coarse (11+) Coarse (21+) Course		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: Non C <u>EXWC</u> VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): <u>Abrupt (<2)</u> Clear (2-5) Gradual (5-15) Diffuse (>15) Topo: <u>Smooth</u> Wavy - Soil Water: <u>Dry</u> Moist Wet	
Mottles: <u>NO</u> YES Color		Mottle Contrast: <u>Faint</u> Distinct Prominent		Comments: <u>Saprolite < 20"</u>	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: <u>Few</u> Common Many			
Redoximorphic: YES NO		Redox Conc: Concretions Nodules Masses Depletions: Iron Clay			

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentec Rd</u>		Mantle No: <u>2 SE</u>	
APN:		Date: <u>9-01-09</u>	Weather/Lighting/Temp: <u>H</u>	Total Depth: <u>84</u>	
Depth: <u>0 to 29</u>	Color: <u>5YR4/6 Yellowish Red</u>	Horizon: <u>O₁ B₁ C₁ R</u>	Texture*: <u>SL</u>	Ribbon*: <u>1-1/4"</u>	% Clay: <u><27 27-40 >40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter
Rock Shape: Rounded Sub-rounded Angular Irregular	Rock Size (in mm): 2-75 76-250 251-600 >600		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones		Distribution/Types of Pores: Vesicular Imped Tubular Irregular
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid		Distribution/Types of Pores: Vesicular Imped Tubular Irregular
Stickiness: Not Slightly Sticky Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Boundary (in cm): Abrupt (<2) Gradual (5-15)		Soil Water: Dry Moist Wet
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color		Topo: Smooth Wavy Irregular		Soil Water: Dry Moist Wet
Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent		Comments: Saproelite < 1%		
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many				
Redoximorphic: YES NO	Redox Conc: Concretions Nodules Masses		Depletions: Iron Clay water		
Depth: <u>29 to 60</u>	Color: <u>7.5YR4/6 Sta Brown</u>	Horizon: <u>O₁ A₁ B₁ C₁ R</u>	Texture*: <u>Silt+Sap</u>	Ribbon*: <u>1"</u>	% Clay: <u><27 27-40 >40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter
Rock Shape: Rounded Sub-rounded Angular Irregular	Rock Size (in mm): 2-75 76-250 251-600 >600		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones		Distribution/Types of Pores: Vesicular Imped Tubular Irregular
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid		Distribution/Types of Pores: Vesicular Imped Tubular Irregular
Stickiness: Not Slightly Sticky Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Boundary (in cm): Abrupt (<2) Gradual (5-15)		Soil Water: Dry Moist Wet
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color		Topo: Smooth Wavy Irregular		Soil Water: Dry Moist Wet
Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent		Comments: Saproelite < 1%		
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many				
Redoximorphic: YES NO	Redox Conc: Concretions Nodules Masses		Depletions: Iron Clay water		
Depth: <u>60 to 84</u>	Color: <u>7.5YR4/6 Sta Brown</u>	Horizon: <u>O₁ A₁ B₁ C₁ R</u>	Texture*: <u>Silt+Sap</u>	Ribbon*: <u>1-1/4"</u>	% Clay: <u><27 27-40 >40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter
Rock Shape: Rounded Sub-rounded Angular Irregular	Rock Size (in mm): 2-75 76-250 251-600 >600		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones		Distribution/Types of Pores: Vesicular Imped Tubular Irregular
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid		Distribution/Types of Pores: Vesicular Imped Tubular Irregular
Stickiness: Not Slightly Sticky Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Boundary (in cm): Abrupt (<2) Gradual (5-15)		Soil Water: Dry Moist Wet
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color		Topo: Smooth Wavy Irregular		Soil Water: Dry Moist Wet
Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent		Comments: Sap < 1%		
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many				
Redoximorphic: YES NO	Redox Conc: Concretions Nodules Masses		Depletions: Iron Clay water		

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd</u>		Mantle No: <u>350</u>	
APN: _____		Date: <u>9-20-09</u>		Weather/Lighting/Temp: <u>42</u>	
Total Depth: <u>96</u>		Texture*: <u>Lt Sap</u>		Ribbon*: <u>1 1/4</u>	
Depth: <u>0 to 35</u>		Color: <u>2.5YR 3/6 DK Red</u>		Horizon: <u>0 E B C P</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Average number per eq. decimeter	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones	
Stickiness: Not Slightly Sticky Very		Stickiness: Not Slightly Sticky Very		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Cementation: Non ExW.C VeryW.C W.C Mod C. StgC. VeryStgC. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-6) Gradual (5-15) Diffuse (>15)	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Topo: Smooth Wavy Irregular No Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many		Soil Water: Dry Moist Wet	
Redoximorphic: YES NO		Redox Conc: Nodules Masses		Comments: Sap < 2%	
Depth: <u>35 to 70</u>		Color: <u>2.5YR 4/6 Red</u>		Horizon: <u>0 E B C R</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Average number per eq. decimeter	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones	
Stickiness: Not Slightly Sticky Very		Stickiness: Not Slightly Sticky Very		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Cementation: Non ExW.C VeryW.C W.C Mod C. StgC. VeryStgC. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-6) Gradual (5-15) Diffuse (>15)	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Topo: Smooth Wavy Irregular No Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many		Soil Water: Dry Moist Wet	
Redoximorphic: YES NO		Redox Conc: Nodules Masses		Comments: Sap < 1%	
Depth: <u>70 to 96</u>		Color: <u>7.5YR 4/6 Sta Brown</u>		Horizon: <u>0 E B C R</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Average number per eq. decimeter	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones	
Stickiness: Not Slightly Sticky Very		Stickiness: Not Slightly Sticky Very		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Cementation: Non ExW.C VeryW.C W.C Mod C. StgC. VeryStgC. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-6) Gradual (5-15) Diffuse (>15)	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Topo: Smooth Wavy Irregular No Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many		Soil Water: Dry Moist Wet	
Redoximorphic: YES NO		Redox Conc: Nodules Masses		Comments: Sap < 1%	

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pontz Rd.</u>		Mantle No: <u>4 Nk¹</u>	
APN:	Date: <u>9-1-09</u>	Weather/Lighting/Temp: <u>CL Br</u>		Total Depth: <u>96</u>	
Depth: <u>0 to 40</u>	Color: <u>2.5YR 4/4 Reddish Brown</u>	Horizon: <u>O E B C R</u>	Texture*: <u>L</u>	Ribbon*: <u>1/2 - 1 3/4</u>	% Clay: <u>27-40 > 40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc < 3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc > 3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60	Rock Size (in mm): 2-75 76-250 251-600 >600	Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	Distribution/Types of Pores: Inped Expd Vesicular Tubular Irregular	
Structure Grade: Weak Moderate Strong	Stickiness: Not Slightly Sticky Very	Plasticity: Not Slightly Plastic Very	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)	
Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent	Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Soil Water: Dry Moist Wet	Comments:	
Redoximorphic: YES NO	Redox Conc: Concretions	Nodules Masses	Depletions: Iron Clay water	Depth: <u>40 to 54</u> Color: <u>5YR 3/4 DK. Red Brown</u> Horizon: <u>O E B C R</u> Texture*: <u>CL</u> Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc < 3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc > 3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60	Rock Size (in mm): 2-75 76-250 251-600 >600	Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	Distribution/Types of Pores: Inped Expd Vesicular Tubular Irregular	
Structure Grade: Weak Moderate Strong	Stickiness: Not Slightly Sticky Very	Plasticity: Not Slightly Plastic Very	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)	
Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent	Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Soil Water: Dry Moist Wet	Comments:	
Redoximorphic: YES NO	Redox Conc: Concretions	Nodules Masses	Depletions: Iron Clay water	Depth: <u>54 to 96</u> Color: <u>5YR 4/6 Yellowish Red</u> Horizon: <u>O E B C R</u> Texture*: <u>CL</u> Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc < 3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc > 3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60	Rock Size (in mm): 2-75 76-250 251-600 >600	Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	Distribution/Types of Pores: Inped Expd Vesicular Tubular Irregular	
Structure Grade: Weak Moderate Strong	Stickiness: Not Slightly Sticky Very	Plasticity: Not Slightly Plastic Very	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)	
Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent	Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Soil Water: Dry Moist Wet	Comments:	
Redoximorphic: YES NO	Redox Conc: Concretions	Nodules Masses	Depletions: Iron Clay water	Depth: <u>96 to 100</u> Color: <u>5YR 4/6 Yellowish Red</u> Horizon: <u>O E B C R</u> Texture*: <u>CL</u> Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 27-40 > 40</u>	

SIZING CALCULATIONS

Contractor: Bill Martin Const.

Location: Pentz Rd., AP# 050-082-023

Paradise, CA 95969

1. Maximum Loading Per Acre With PRETREATMENT: 2,000 gallons
2. Parcel Size: 1.66 acres
3. Maximum Loading for this Parcel: $2,000 \text{ gallons/acre} \times 1.66 \text{ acres} = 3,320 \text{ gal/day}$;
4. Number of gallons of sewage produced by care facility with 18 total employees: (6 employees per shift X 3 shifts/day X 20 gal/employee/day = 360gal/day).
5. The number of residents allowed in the care facility with using pretreatment would be 23, based on the UPC sewage production figure of 125 gal/day/resident = 2,960 gal/day ($3,320 \text{ gal/day} - 360 \text{ gal/18 emps./day} = 2,960 \text{ gal per day/125 gal per res/day}$).
6. The leach field sizing would be as follows: $3,320 \text{ gal/day} \div 0.68 \text{ gal/square foot/day (48 inch test \#4)} = 4,882 \text{ square feet of absorption field required} / 4 \text{ square feet/lineal foot (24 inches total rock)} = 1,221 \text{ lineal feet of leach field required}$. It is the opinion of this consultant that the dispersal field/leach line would be of adequate size to service the proposed development.
7. The septic tank size should be 10,000gallon (3 day holding capacity); followed by a 7,500gallon dose/pump tank which will provide at least $\frac{1}{2}$ day emergency storage.

TABLE K-3 (Continued)

Type of Occupancy	Gallons (liters) Per Day
10. Institutions (Resident)	75 (283.9) per person
Nursing home	125 (473.1) per person
Rest home	125 (473.1) per person
11. Laundries, self-service (minimum 10 hours per day)	50 (189.3) per wash cycle
Commercial	Per manufacturer's specifications
12. Motel	50 (189.3) per bed space
with kitchen	60 (227.1) per bed space
13. Offices	20 (75.7) per employee
14. Parks, mobile homes	250 (946.3) per space
picnic parks (toilets only)	20 (75.7) per parking space
recreational vehicles – without water hook-up	75 (283.9) per space
with water and sewer hook-up	100 (378.5) per space
15. Restaurants – cafeterias	20 (75.7) per employee
toilet	7 (26.5) per customer
kitchen waste	6 (22.7) per meal
add for garbage disposal	1 (3.8) per meal
add for cocktail lounge	2 (7.6) per customer
kitchen waste – Disposable service	2 (7.6) per meal
16. Schools – Staff and office	20 (75.7) per person
Elementary students	15 (56.8) per person
Intermediate and high	20 (75.7) per student
with gym and showers, add	5 (18.9) per student
with cafeteria, add	3 (11.4) per student
Boarding, total waste	100 (378.5) per person
17. Service station, toilets	1000 (3785) for 1st bay 500 (1892.5) for each additional bay
18. Stores	20 (75.7) per employee
public restrooms, add	1 per 10 sq. ft. (4.1/m ²) of floor space
19. Swimming pools, public	10 (37.9) per person
20. Theaters, auditoriums	5 (18.9) per seat
drive-in	10 (37.9) per space

(a) **Recommended Design Criteria.** Sewage disposal systems sized using the estimated waste/sewage flow rates should be calculated as follows:

- (1) Waste/sewage flow, up to 1,500 gallons/day (5,677.5 L/day)
Flow x 1.5 = septic tank size
- (2) Waste/sewage flow, over 1,500 gallons/day (5,677.5 L/day)
Flow x 0.75 + 1,125 = septic tank size
- (3) Secondary system shall be sized for total flow per 24 hours.

(b) Also see Section K 2 of this appendix.



L&L SURVEYING

1007 Billie Road - P.O. Box 671 - Paradise, CA 95967-0167
Telephone: (530) 877-4300 - FAX: (530) 877-2251

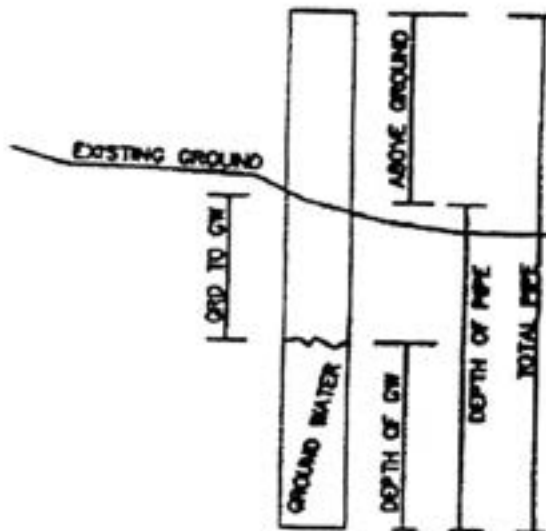
Martin - Pentz Road

APN: 050-082-023

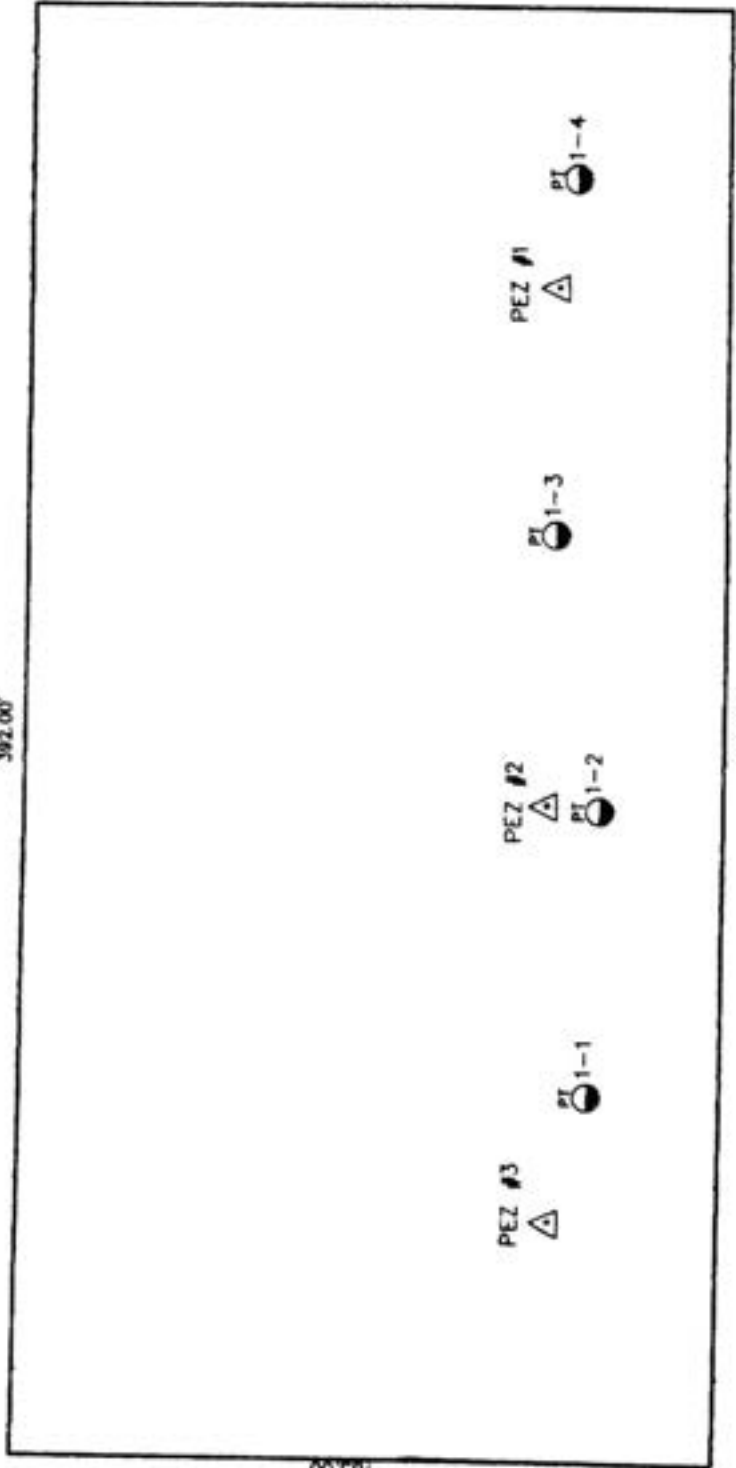
2007 - 2008

Installation

Pez	Total Pipe	Above Ground	Depth of Pipe	Installed
1	9.69	1.48	8.21	
2	9.78	1.76	8.02	
3	9.66	1.68	7.98	



392.00'

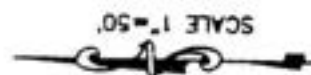


PENTZ ROAD

184.41'

392.00'

KINGDOM COURT



PLOT OF PIEZOMETERS
AND PERK TESTS
FOR

MARTIN

AP # 050-080-023

JOB # 05-11-121

NOVEMBER 2008



L & L SURVEYING

3000 W. 11TH AVENUE, SUITE 100, DENVER, CO 80202

Martin - Pentz Road

APN: 050-082-023

2007 - 2008

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/21/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/5/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/19/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/15/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/25/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
3/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/17/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/23/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
5/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon



Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/11/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/16/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/22/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/30/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/7/09	8.21	1.20	7.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/14/09	8.21	0.60	7.61	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/21/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/27/09	8.21	0.70	7.51	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/4/09	8.21	0.30	7.91	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/26/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/3/09	8.21	0.10	8.11	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/25/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/1/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy



Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
4/8/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/15/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/22/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/29/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
5/8/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy

PERCOLATION TEST LOG

NAME: Martin, W.L. JOB#: 05-11-121 DATE: 11/10/2005
 LOCATION: 6983 Pentz Road APN: 050-082-023
 SOIL DESCRIPTION: Dark loam, rocks

The following test data was obtained in conformance with the approved Town of Paradise Onsite Wastewater Manual.

HOLES WERE PRESOAKED ON : 11/9/2005
 TEST PERFORMED BY: Chris Damron L & L Surveying

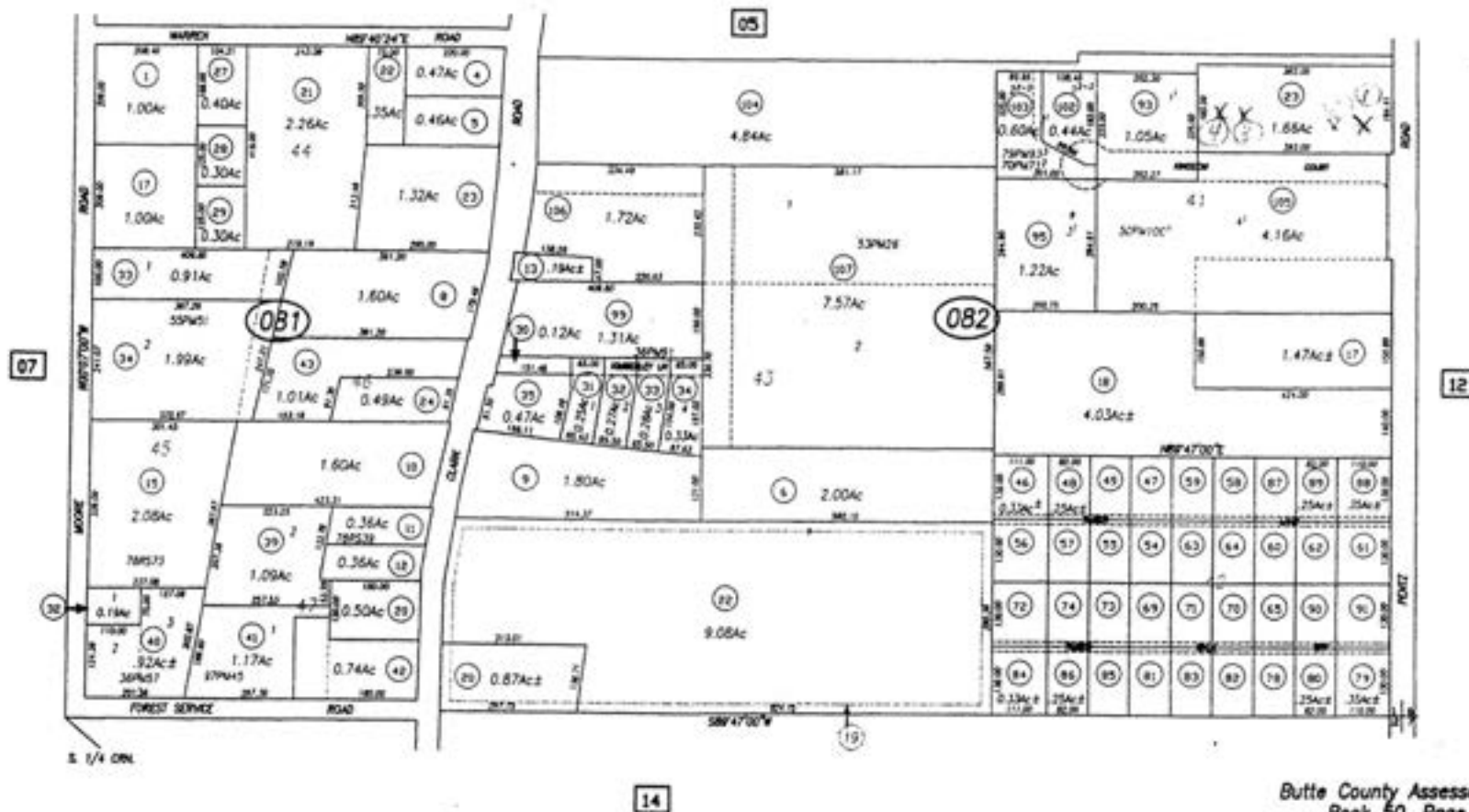
HOLE #	1	2	3	4
DEPTH	32"	32"	32"	32"
DIA.	6"	6"	6"	6"
	DROP TIME		DROP TIME	
	Begin	9:08	Begin	9:07
1	4"	9:28	4"	9:25
2	4"	9:51	4"	9:46
3	4"	10:16	4"	10:08
4	4"	10:47	4"	10:34
5	4"	11:18	4"	11:01
Rate	1"	7.75 min	1"	6.75 min
			1"	9 min
			1"	8.5 min

Average percolation rate = 8.0 min/inch x 1.6 T.O.P. ADJ Factor = 12.8 min/inch



EXP 6/30/07

1"=200'



SUB. SEC. 1, "A" M.O.R. 12/13

Butte County Assessor's Map
Book 50, Page 08

NOTE: These parcels are for assessment purposes only and may not constitute legal parcels.

CREATED BY	SR	CREATED ON	12-1-1999
REVISED BY	SR	REVISED ON	12-1-1999
		EFFECTIVE	00-01 ROLL
Compiled By The Butte County Assessor's Office			

June 16, 2011

To: Craig Baker, Community Development Director

From: Doug Danz, Onsite Sanitary Official 

Re: 6983 Pentz Rd development for an Assisted Living Facility on 1.66 acre property. 050-082-023

Information on file and provided for this referenced development demonstrates acceptable soil and groundwater conditions that would allow a large onsite sewage disposal system.

The gross hydraulic loading of the parcel allows up to 3320 gpd of secondary treated wastewater dispersal to occur. This is not including the extra gross acreage sizing allowed from including one half of the abutting roadway (Pentz).

Calculations provided by Contractor Bill Martin are unclear as to the use of advanced treatment into the design of the wastewater system. The proposed 1221 feet of primary leachfield trenching is not adequate in size to accommodate the design flow of 3320 gpd without advanced treatment provided. It is large enough to accommodate the design flow of 2442 gpd, which is not large enough for the 23 beds proposed. In order to accommodate the entire size of the proposed facility in the leachfield sizing provided advanced treatment must be provided to the onsite wastewater system as per the Town of Paradise Manual for the Onsite Treatment of Wastewater.

The project proponent must submit a Land Use Review report to the Onsite Sanitation Division. This review report must be completed by a Registered Civil Engineer or Registered Environmental Health Specialist experienced in onsite sewage design. In it trench sizing must show advanced treatment components or must demonstrate a greater amount of leachfield as per the submitted 1221 feet of primary.

MEMORANDUM

TO: Craig Baker, Assistant Community Development Director

FROM: Dennis J. Schmidt, Public Works Director/Town Engineer

SUBJECT: Preliminary Development Review, 10,000 sf Assisted Living Facility,
6983 Pentz Road, APN 050-082-023

DATE: June 15, 2011

Following are my comments relative to this proposed project.

STREETS/ACCESS:

1. Construct all interior roadways/parking areas to the A-3a road standard minimum (20 ft wide, 2" AC, 6" AB, curb/gutter or a/c dike). Areas subject to truck and heavy loading should have the structural section designed accordingly.
2. Please verify both driveways allow for the largest design vehicle that will be utilizing the facility – such as food delivery trucks, ambulances and fire trucks for emergency medicals.
3. Due to the low traffic volumes generated by these types of facilities, my recommendation is to not require a traffic impact report.
4. Due to the lack of existing infrastructure in the area, and the low anticipated pedestrian volume generated by this proposed usage, construction of frontage improvements may be deferred by the developer until such time as the town initiates a project to construct curb, gutter and sidewalk on Pentz Road.

STORM DRAINAGE:

1. Provide a drainage analysis as the new impervious area exceeds 5,000 square feet (planning process reforms No. 11). The engineer should analyze the point of connection into the storm drain system, and check pipe/channel capacity out to the discharge point. If any point downstream is under capacity, then consider detention to mitigate the increased drainage flows.
2. Carefully manage the amount of drainage that is released to the west. It appears that there are no formal channels or defined facilities to pick up any additional drainage.
3. Engineer should verify that all drainage is picked up by the storm drainage improvements, and does not create negative drainage impacts for any of the adjoining properties.
4. Verify that septic setbacks from storm drainage and potable water systems are maintained.

GRADING:

1. If cut and fill volumes exceed 5,000 cubic feet, "Engineered Grading" Requirements will be triggered (Geo-technical report, etc.). Engineered grading may also be triggered if the building is proposed to be placed on fill material.



2. Grading design should allow for the minimum property line setbacks as specified in the building code (2-foot minimum). Also verify how the grading plan "conforms" to existing ground.
3. Check for grading in the onsite sanitation disposal area. More than 1 foot of cut or fill will render the area unusable for onsite sanitation.
4. This project will likely trigger a SWPPP and submittal of an NOI to the CRWQCB since it exceeds one acre. In addition, an erosion and dust control plan must be prepared and submitted to the Town of Paradise prior to initiation of grading activities.

UTILITIES:

1. Recommend that all utilities be underground (Electric, Cable TV and Phone).
2. Have utilities been contacted regarding new electrical/gas/phone service?
3. Pentz Road received a major rehabilitation in 2010. There is a 3 year moratorium on cutting a newly repaved street. If utility connections in the roadway are necessary, the permit to cut the new street will need to be approved by the Town Council.

SITE DESIGN, PERMITS AND APPROVALS:

1. Submit engineered plans for all proposed project improvements (water, storm drain, etc).
2. Carefully verify that septic system and water line/storm drain line setbacks are maintained.
3. Confirm that all any easements that affect the property have been identified.
4. Development impact fees are required at time of building permit issuance
5. This project will require an erosion control plan as well as a SWPPP.
6. Project signage will be subject to the 50 foot building setback line, as well as other discretionary approvals.
7. Interior landscaping is required, as is a 5 foot minimum landscape area at all locations where parking lots meet property lines.
8. Confirm that parking stalls and aisle widths comply with Section 17.38 of the Paradise Municipal Code
9. Signage must comply with all applicable guidelines.
10. Verify with Fire Department the requirement for sprinklers and new hydrants.
11. Verify with final site design that total impervious area is less than 30% (RR 2/3 zoning requirement).
12. Verify that maximum building height is less than 35 feet (RR 2/3 zoning requirement).

ENGINEERING DIVISION APPROVALS REQUIRED:

1. Street and Frontage Plan Approval (Pentz Road Driveways)
2. Encroachment Permit for all work in the public right of way.
3. Erosion Control Plan Review
4. Grading Permit (Fees based upon total cut/fill volume).
5. Drainage Analysis Review.
6. Engineered Site Plan



MEMORANDUM

TO: File

FROM: Craig Baker, Assistant Community Development Director 

SUBJECT: Preliminary Development Review for Paradise Lodge (PL11-00164); APN 050-082-023

DATE: June 15, 2011

Project Description:

Conceptual establishment of a +/-10,000 square foot assisted living facility upon a vacant 1.66 acre property currently zoned Rural Residential-2/3 acre minimum (RR-2/3).

Required planning review and necessary entitlements:

- An assisted living facility is defined within the Paradise Municipal Code (PMC) as a community care facility which, pursuant to the RR-2/3 zoning regulations, requires town review and issuance of a conditional use permit (Current processing fee: \$1,180.48).
- PMC parking regulations applicable to community care facilities will require one space for every four persons cared for at the facility and one per employee at maximum shift. The parking design shown would allow for a maximum shift of three employees. Consider adding at least one more space, if one of the spaces will be reserved only for hybrid/electric vehicles.
- Maximum impervious coverage in the RR-2/3 zone is 30%; max. building coverage is 20%. Neither appears to be exceeded, though there are no details regarding the proposed coverage.
- The project will be subject to environmental review pursuant to the California Environmental Quality Act (CEQA). Town staff will prepare an initial study to identify and evaluate potential environmental impacts (e.g. drainage, noise, tree felling, grading, etc.). The initial study shall be available for public review for up to 30 days prior to the conduct of a public hearing for the project. If any significant impacts that are identified cannot be successfully mitigated to a less than significant level, or if the project applicant will not agree to mitigation measures designed to address these impacts, an environmental impact report will be required.
- Tree felling permit(s) are required for felling trees that are ≥ 10 " in diameter at 54" above grade. Fruit and nut trees are exempt from permit requirements. Positions of trees shown upon the proposed site plan are not consistent with trees shown on the existing



conditions plan. One or the other is a mirror image reflection of the other. If more than four qualifying trees are proposed to be felled to accommodate all project improvements, the tree permit associated with those trees must be acted upon simultaneously with the use permit application at a public hearing, so the applicant should file both at the same time. In addition, an application for five or more qualifying trees must be accompanied by written certification provided by a qualified tree expert that the trees must be felled to accommodate the project. The individual providing this certification may not perform the actual tree felling or benefit financially from it. If four or fewer qualifying trees are proposed to be felled, the tree felling permit can be acted upon administratively. No tree-felling permit may be issued to accommodate site improvements until the septic system construction permit has been issued and a building permit application has been submitted. Qualifying trees must be replaced with tree species native to Northern California (minimum 15 gallon size). *The town will strongly encourage tree retention and incorporation of any existing trees into the design of the project.*

- If there is a desire to designate the 58" DBH black oak as a landmark tree pursuant to the Town's Tree Ordinance regulations, application for such should be made to the planning division for consideration by the Town Council. No fee is required to process the application.
- Ten percent of the developed area of the project site will be required to be landscaped. Existing landscaping may be incorporated into site landscaping. Submit plans and pay current landscape plan review fee (\$241.92) to the town. Landscaping must be installed (or bonded to guarantee installation) prior to issuance of a certificate of occupancy. Landscape plans should emphasize the placement of 15 gallon minimum conifer and shade tree plantings. In addition, landscape plans should include perimeter landscaping to buffer the project from adjacent land uses.
- Any signs or light poles within 50' of the center of public streets will require town issuance of an administrative permit, reviewed primarily for any effect upon traffic sight distances. Current processing fee: \$266.60.
- Development of this project site (structures and signs) is subject to formal architectural design review by the town. Building and sign designs that are compatible with the town's design guidelines will be required. Because the design review is associated with planning entitlements (use permit, administrative permit), no service fee will be collected for design review.

PUBLIC HEARING - PC
10 DAYS, 300', PAPER, TODAY APPEAL



4

1



TOWN OF PARADISE
COMMUNITY SAFETY SERVICES DIVISION
5555 SKYWAY, PARADISE, CALIFORNIA 95969
(530) 872-6268

**COMMERCIAL
FIRE DEPARTMENT CONDITION LETTER**

PERMIT #: _____

APPLICANT: William and Ann Martin
6983 Pentz Road
APN 050-082-023

REVIEW DATE: 6/14/2011
 - APPROVED AS SUBMITTED
 - APPROVED W/ CONDITIONS
 - NOT APPROVED -
RESUBMITTAL REQUIRED

The following conditions have been applied to the above-referenced project pursuant to Town of Paradise Municipal Code, the California Fire Code and applicable standards. Conditions must be complied with as directed by the Town of Paradise Fire Department and shall be inspected, tested and approved in accordance with the requirements set forth.

FIRE DEPARTMENT ACCESS

REQ NR N/A

- X Private residential, public residential, commercial and industrial fire access roads shall provide an access roadway with a minimum unobstructed width of 20 feet wide and a minimum 13'6" vertical clearance. Additional width requirements may be applied to individual projects as determined by the Fire Marshal.
- X Roadways shall be extended to within one hundred and fifty (150) feet of all portions of the exterior walls as measured by an approved path of travel. An approved turn around shall be provided when the roadway exceeds one hundred and fifty (150) feet as directed by the Town of Paradise Fire Department. Fire

REQ NR N/A

Department turn around requirements shall be installed as directed. See attached turn around requirements.

- X All fire apparatus access roadways must be maintained unobstructed and drivable by fire apparatus throughout the construction process. Access roadways shall be capable of holding an imposed load of 75,000 pounds including in adverse weather conditions. A soils report of the access roadway may be submitted which provides evidence of a 90-95% compaction of the soil along the access roadway. Access roadways that do not meet this requirement could be subject to a stop construction order until the roadway can be maintained.
- X The development and each phase thereof shall have a minimum of 2-points of vehicular access for fire and emergency equipment and for routes of safe egress of citizens regardless of the cul-de-sac length and shall be required as directed by the Town of Paradise Fire Department.
- X Fire lane designations shall be required for all fire access roadways as determined by the Town of Paradise Fire Department. Posted signs which state "FIRE LANE, NO PARKING" shall be installed and curbs painted red and stenciled with white letters indicating the same on the face and top of any curb as directed by the Town of Paradise Fire Department. All fire lanes shall be marked and identified prior to Certificate of Occupancy.
- X Loading zones are required adjacent to loading doors and shall be designated on the Development Site of Plot Plan and shall be marked on the appropriate ground surface. Loading zones shall not interfere with required Fire Lanes or emergency egress capabilities.
- X Roadway design features (speed humps, bumps, speed control dips, etc.) which may interfere with emergency apparatus responses shall not be installed or allowed to remain on the emergency access roadways.
- X Any gate or barrier across a fire access roadway, whether manual or automatic, must meet the Town of Paradise Fire Department requirements and have specific plans and permits approved prior to installation. Gates serving multi-family, assembly, educational, hazardous, institutional, or storage structures must be automatic. Knox brand key-operated electric key switch to the Town of Paradise Fire Department and Police Department specification are required. The Knox switch shall override all gate functions and open the gate.

FIRE PROTECTION SYSTEMS:

- X The required fire flow shall be 1750 for a 2 hour duration at 20 PSI residual operating pressure. Documentation is required from the Water Purveyor verifying that the system is capable of meeting the required fire flow prior to building permit issuance. If the system is not capable of meeting the required fire flow, documentation shall be provided showing financial arrangements have

REQ NR N/A

been made and water system improvement plans approved to upgrade the existing system prior to release of building permits.

- Water improvement plans shall be approved by the Town of Paradise Fire Department. The Developer shall furnish the Town of Paradise Fire Department with three (3) copies of the water improvement plans designed by a Registered Engineer and/or Licensed Contractor. On-site private fire service mains shall have a minimum of eight (8) inch water mains with six (6) inch laterals and risers. Larger pipes may be required to meet required fire flow requirements.
- Fire hydrant water mains that supply two (2) or more private fire hydrants shall be looped to provide adequate supply. Public water main looping is dictated by fire flow requirements and reliability of the public system.
- The existing fire hydrant system is insufficient to provide the required fire flow. This system is required to be upgraded to meet the required fire flow as identified above.
- Prior to combustibles being brought to the site, the developer shall provide written certification from the Water Purveyor, dated within the last thirty (30) days, that:
 - A. All public fire hydrants required of the project have been installed, tested, and approved by the Water Purveyor, and
 - B. Are permanently connected to the public water main system, and
 - C. Are capable of supplying the required fire flow as required by the Town of Paradise Fire Department.
- Fire hydrants shall be painted per the Town of Paradise Fire Department standards and be maintained free of obstructions. Blue reflective raised pavement markers shall be installed on the pavement at approved locations marking each fire hydrant.
- Public and private water utility mains must provide the level of reliability/ redundancy determined necessary by the Town of Paradise Fire Department and the Water Purveyor Engineer.
- If any fire hydrant is taken OUT OF SERVICE the Town of Paradise Fire Department shall be notified immediately and the hydrant marked, bagged, or otherwise identified as OUT OF SERVICE as directed by the Fire Marshal.
- Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13 Standard for Automatic Fire Sprinkler Systems. Three (3) sets of plans, hydraulic calculations, and material specification's sheets for equipment used in the system shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.

REQ NR N/A

- X Prior to Fire Department Clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13-R Standard for Automatic Fire Sprinkler Systems-Multi-Family Dwellings. Three (3) sets of plans, hydraulic calculations, and material used in the system shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.
- X A class ____ standpipe system is required. A State of California Licensed Contractor shall submit three (3) sets of plans, specifications, and hydraulic calculations to the Fire Department for review, approval, and permits.
- X Prior to Fire Department Clearance for occupancy, an automatic fire alarm system shall be installed. The system shall comply with NFPA #72 Standard for Fire Alarm Systems. Three (3) sets of plans, material specification's sheets for all equipment used in the system and California State Fire Marshal listings shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.
- X Prior to final inspection or occupancy, hand portable fire extinguishers are required to be installed as directed by Town of Paradise Fire Department staff. The size, location, and markings shall be illustrated on the floor plan of the construction documents. Prior to installation the client is directed to request a fire inspection to confirm the locations of the fire extinguishers due to field changes of business systems.
- X An automatic smoke removal system is required. This system shall comply with the California Fire Code, NFPA and all other applicable standards. The applicant shall submit three (3) sets of detailed plans, specifications, and testing criteria to the Town of Paradise Fire Department for review, approval and permit.
- X An automatic smoke removal ventilation system (fusible link type) is required. Roof vents, venting ratios and draft curtains shall be provided in accordance with the California Fire Code, NFPA and all other applicable standards. This information shall be provided in sufficient detail on the building construction drawings and submitted to the Town of Paradise Fire Department.
- X An automatic hood and duct fire suppression system is required. A Licensed Contractor shall submit three (3) sets of detailed plans and specifications to the Town of Paradise Fire Department for review, approval and permit.
- X A Class 1 hood and duct system is required. A Licensed Contractor shall submit three (3) sets of detailed plans and specifications to the Town of Paradise Fire Department for review, approval and permit.

STANDARD FIRE CONDITIONS:

- X Permanent commercial/industrial three-dimensional street numbers, minimum twelve (12) inches in height, shall be provided on the address side of the building

REQ NR N/A

at the highest point and furthest projection of the structure. The address shall be visible from the street and shall not be obstructed in any manner.

- X Buildings on easement shall have additional street number signs at the intersections of the easement and the roadway, and at additional locations required by the Town of Paradise Fire Department.
- X Address numbers and suite numbers are required to be installed or painted on the rear of access doors to multiple suite facilities. Numbers or letters shall be a minimum of four (4) inches in height and placed on a contrasting background.
- X A lighted directory (site map) meeting the Fire Department specifications is required at each entrance to the complex as directed by the Town of Paradise Fire Department. A site plan with all building locations identified by a number of letter, space numbers, fire protection equipment, etc. shall be reviewed and approved by the Town of Paradise Fire Department prior to installation.
- X All flammable vegetation shall be removed from each building site with slopes less than fifteen percent (15%) at a minimum distance of one hundred (100) feet from all structures or to the property line, whichever is less.
- X A fuel modification plan is required. An approved Fire Protection Consultant that specializes in these types of complex plans shall prepare the plan. Plans shall be submitted, reviewed and approved by the Town of Paradise Fire Department prior to issuance of building construction permits.
- X Knox emergency access key box is required at each building, with specific mounting locations approved by the Town of Paradise Fire Department. Recessed mount key boxes are required. Premise keys for all buildings and areas shall be marked and placed in the box prior to final inspection to ensure emergency access. The building owner/occupants shall provide replacement keys whenever locks are changed.
- X A hazardous materials inventory and disclosure shall be provided with a complete listing of MSDS sheets, storage locations and a technical report shall be submitted for review and approval prior to or as part of the submission for a building permit.
- X The building has the potential for storage of combustible stock in excess of twelve (12) feet in height. Significant modifications to the structure, including but not limited to, smoke and heat vents or mechanical ventilation, draft curtains, special access doors, upgraded sprinkler systems and hose line requirements must be achieved in compliance with the California Fire Code Article 23, should such storage occur. Minimum design densities for fire sprinkler systems within spec. buildings shall be .45/3000. If high piled combustible storage exists plans, specifications, and a technical report shall be submitted with the construction drawings to ensure fire protection requirements. High piles combustible storage requires an annual permit pursuant to the California Fire Code with appropriate fees paid semi-annually.

REQ NR N/A

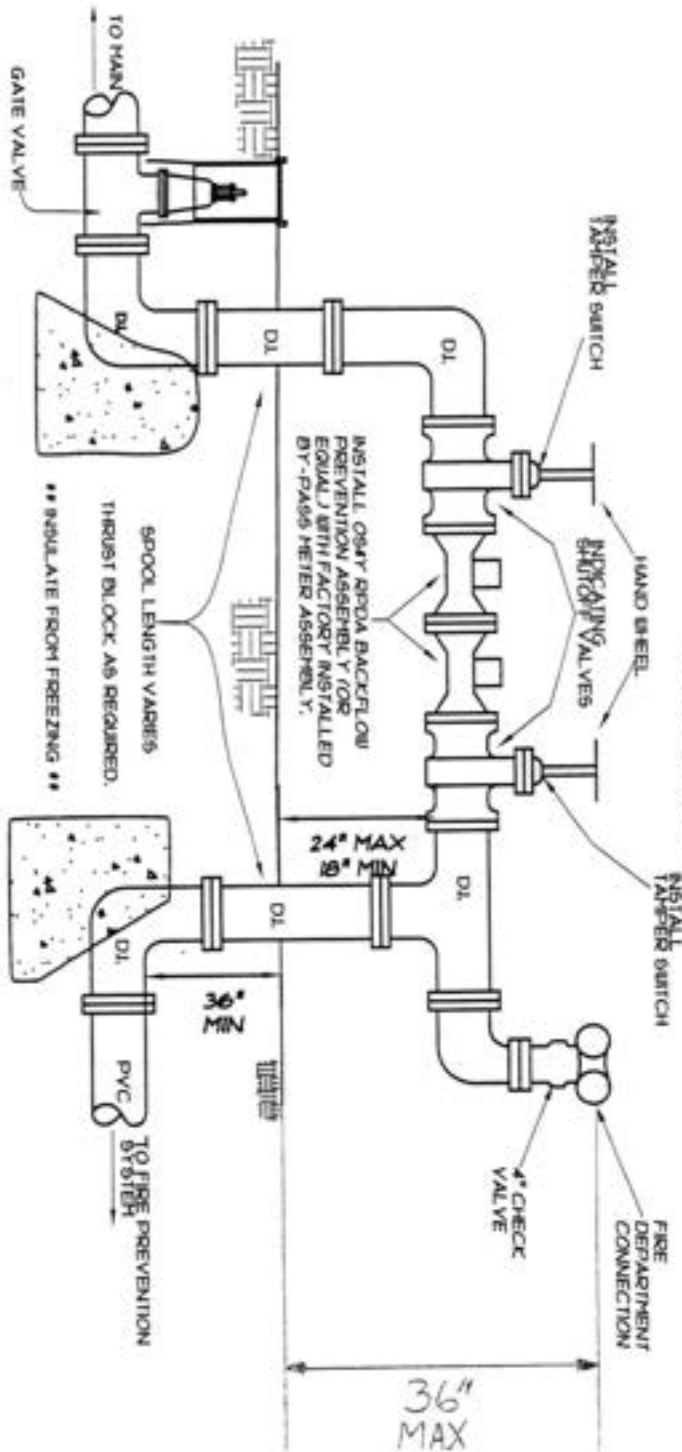
- X A fire permit is required for certain specific operations regulated by the California Fire Code. The permit is issued after application has been made to the Town of Paradise Fire Department and full compliance of the requirements for the operation has been adhered to. An annual fee is charged to the applicant for review and inspection of such permits. Some permits require additional inspections and permit compliance that may require additional fees to be paid semi-annually.

FIRE PROTECTION FEES:

- X The Town of Paradise Fire Department at time of plan or permit submission will charge plan review, inspection and permit fees for various processes and permits.
- X Any identified Fire Mitigation Impact fees that apply to the project or voluntary mitigation agreements shall be paid prior to building permits being issued.

PROJECT SPECIFIC FIRE CONDITIONS:

- Please note that any new structures will be required to comply with the Town of Paradise Municipal Code and the triennial edition of the California Code of Regulations, Title 24 (California Building Standards Code)
- Structure shall comply with all the code requirements of a R 2.1 occupancy.
- In order to ensure that the project complies with the California Building Code Chapter 7A a product submittal for the following items must be submitted for review prior to plan approval indicating compliance with the California Building Code Chapter 7A, Materials and Construction Methods for Exterior Wildfire Exposure Requirements:
1. Manufacturer specifications for:
 - A. Exterior wall siding
 - B. Attic and under floor vents
 - C. Decking, floors and under floor protection materials
 - D. Exterior doors windows
 2. Prior to combustible construction the lot must meet the requirements of defensible space pursuant to the Public Resources Code 4291. An inspection will occur prior to foundation approval to ensure that these requirements have been met.
- Fire flow data, construction Type V A, 1 hr. rated construction, fully sprinklered, less than 10,500 S.F., manual and automatic fire alarm system, R 2.1 occupancy.



CONDUITS TO ALARM SYSTEM/CONTROL ROOM FOR TAPPER SWITCHES REQUIRED AT THE OF THRUST BLOCK FOR INSPECTION W/ OPEN TRENCH COORDINATE W/ FIRE SPRINKLER DESIGNER

NOTES:
 1. BACKFLOW PREVENTION-FIRE SYSTEMS PER STD. DRAWING FPD-08
 2. PROVIDE THRUST BLOCKS AS REQUIRED

BFP/FDC CONNECTION
 NTS



PARADISE IRRIGATION DISTRICT

5325 Black Olive Drive • P.O. Box 2409 • Paradise, California 95967 • 530.877.4971 • Fax 530.876.0483

MEMORANDUM

DATE: June 3, 2011

TO: Town of Paradise, Community Development Department

FROM: Neil Essila, Paradise Irrigation District

SUBJECT: William and Ann Martin Preliminary Development Review, APN 050-082-023, 6983 Pentz Road, PL11-00164.


Preliminary project comments:

1. A 3/4-inch water meter currently serves the property. It is unlikely that this meter will have sufficient capacity to serve the proposed project. PID will review the building plans in light of the plumbing code and the project owner will be required to have the appropriate size water meter for the facility. If the meter size is increased a service capacity fee and meter installation charge will apply.
2. Fire suppression sprinklers for this facility can be supplied by the domestic meter (if it has sufficient capacity) or by a separate fire service connection. Fire service connections do not require the payment of a service capacity fee. The installation cost for a fire service connection is the responsibility of the project owner.
3. A backflow prevention assembly will be required at each service connection. An "RP" assembly will provide the appropriate level of protection.
4. A 12-inch water main is located in Pentz Road. A 6-inch water main is located in Kingdom Court along the south side of the subject property.
5. Static pressure at the project site is approximately 80 psi.
6. Paradise Fire Department will review the fire flows available at nearby fire hydrants to determine their adequacy for the proposed project. If available fire flow is not sufficient for the proposed project a water main upgrade may be necessary. The project owner would be responsible for the cost of a water main upgrade and the upgrade project would need to be approved by the District Board of Directors.

TOWN OF PARADISE DEVELOPMENT SERVICES DEPARTMENT
5555 SKYWAY
PARADISE, CA 95969
TELEPHONE (530) 872-6291

PRELIMINARY DEVELOPMENT REVIEW REQUEST

TO: BUSINESS & HOUSING, ENGINEERING, BUILDING, ONSITE,
PID, PG&E, PLANNING, POLICE, CDD/PW COORDINATOR

FROM: Craig Baker, Community Development Director 

REQUEST: REVIEW, ATTEND PRELIMINARY DEVELOPMENT REVIEW
MEETING AND COMMENT

DESCRIPTION OF PROJECT: Preliminary development review for a +/-10,000 assisted
living facility on a 1.66 acre property zoned RR-2/3.

LOCATION: 6983 Pentz Road (corner of Pentz Road and Kingdom Court)

AP NO.: 050-082-023

APPLICANT: William and Ann Martin

CONTACT PHONE: 520-5170

DATE DISTRIBUTED: May 31, 2011

MEETING DATE AND TIME: **June 16, 2011**

.....
A preliminary development review meeting has been scheduled for June 16, 2011 at 10:00 a.m. to formally discuss the above-noted conceptual project design. The meeting will be attended by the development review applicant and representatives from the agencies and departments listed above.

A representative from your agency should attend this preliminary development review meeting. Staff members who are to attend the meeting should study the enclosed materials, identify any significant issues or impacts which the project may pose relative to your agency's scope of responsibility, be prepared to discuss these issues and application processing procedures with the preliminary development review applicant and provide written comments accordingly.

NORTHWEST ASSISTED LIVING

PARADISE LODGE

PARADISE, CA



concept elevation, Gig Harbor WA

Prepared by
WLM CONSTRUCTION, INC.
WILLIAM & ANN MARTIN
FOR
JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Application for Preliminary Review (PDR)	p 3
Letter of Authorization	p 4
Project Summary	p 5
Site Analysis	p 6
Zoning and Land Use	p 7
Neighborhood Support	p 8
Wastewater	p 9
Site Drainage	p 9
Utilities	p 9
Traffic	p 10
Parking	p 10
Fire Department	p 10
Commitment to the Community	p 11
Hospital	p 11
Trees	p 11
Development Design	p 12
Concept Elevations	p 13
Development Team Bios	p 14
Development Team Contact Information	p 15

Application for Preliminary Development Review (PDR)

DEPARTMENTAL USE ONLY

Receipt No. _____ Fee _____
Project No. _____

TOWN OF PARADISE

APPLICATION FOR PRELIMINARY DEVELOPMENT REVIEW (PDR)

Applicant William & Ann Martin, WLM Construction, Inc. Phone 530.520.5170

Applicant's Mailing Address PO Box 2035 Paradise CA 95967

Applicant's Interest in Property (Owner, Lessee*, Other*) other - agents

Owner's Name Jay and Joyce Powell Family Trust Phone 559.625.4343

Owner's Mailing Address c/o Jay W. Powell 1625 S Court St. Visalia CA 93277

Property Address 6983 Pentz Road Paradise, CA Parcel Size 1.66 ac

Engineer (Name, Address) Jarrold Holliday, PE Rancho Engineering 5550 Skyway C Paradise

AP Number(s) 050-082-023 Zone RR 2/3 Existing Use vacant

Detailed project description: (attach additional sheets if necessary)

23 bedroom assisted living home of approx. 10,000 sq ft.

Quality northwest style lodge, with gardens, and optimal landscaping along scenic corridor.

Please see project summary

Purpose of project Comfortable quality residence for people who need help with daily living activities. Please see project summary

Sq. ft. of proposed structure project: _____ Approx. no. yards of cut/fill 2000 yds cut/fill

Percentage increase in area of structures on site
(For example: A 250 sq. ft. addition to a 1,000 sq. ft. building = 25%)

Distance to nearest fire hydrant _____ Distance from centerline 2 at property 90 ft.

Days/hours of operation: Days all Hours all Proposed no. of employees as required

Density 13.8 Max. occupancy 23 Max. height of proposed structure/project 1 level, 20 ft.

Describe exterior design and exterior finish Northwest lodge craftsman gardens

Light, bright interior rooms with quality features. Please see project summary

(Attach additional sheet(s) if necessary.)

Method of sewage disposal? on-site Please see project summary

*NOTE: If applicant is NOT the property owner, the owner's signature or attached letter of authorization signed by owner MUST accompany this application.

I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant's Signature [Signature] Date May 26, 2011

Property Owner Signature [Signature] Date May 9, 2011 see letter

1-Add to map for information (see page 4 of 4)

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1624 SOUTH COURT
VISALIA, CALIFORNIA 93277

TELEPHONE: (559) 625-4343

FAX: (559) 625-4346

May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, A.P.N. NUMBER 050-082-023-000.

WILLIAM L. MARTIN AND/OR ANN MARTIN ARE AGENTS FOR THE TRUST IN ALL MATERS CONCERNING THE SAID REAL PROPERTY, INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE, CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Northwest Assisted Living Paradise Lodge is to create, in an assisted living facility, the atmosphere of an elegant, but comfortable mountain lodge. Assisted living is designed specifically for individuals who require assistance with everyday activities such as meals, medication management or assistance, bathing, dressing and transportation. The level of care required by residents varies with the individual. Residents are assessed upon move in, or any time there is a change in condition, in order to develop an Individualized Service Plan (ISP).

Even so, assisted living is more than a service or location. The philosophy of Paradise Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. In contrast to other long-term care options, assisted living philosophy embraces quality of life as well as quality of care, and supports the resident's decision to live with supportive services and companionship in the place they call home.

In California assisted living facilities are licensed by the Department of Social Services as a Residential Care Facility for the Elderly (RCFE), or an Adult Residential Facility (ARF) or a Group Home (GH). Regulations specific to construction of assisted living facilities are detailed in the California Health and Safety Code.

Assisted living facilities can range in size from a small residential house for a few residents up to very large facilities providing services to hundreds of residents. Newer assisted living homes have large private studios for private living, and community rooms for socialization, such as dining rooms and activity rooms. This enables residents to maintain a private lifestyle, while enjoying group activities at their leisure. Facilities are designed for the mobility impaired, and are fully compliant with the Americans with Disabilities act of 1990 (ADA).

Assisted living staff are available 24 hours per day, seven days per week. Staff are specifically trained to assist residents with 'activities of daily living' and provide residents with cooking, cleaning, transportation and entertainment, with the highest level of professionalism and courtesy. Training requirements reflect the responsibilities of each particular position, and include specialized CPR and First Aid. Unlike nursing homes, staff are generally not medical professionals, however training in dementia may be provided for staff caring for residents with these needs. Instead, transportation is provided upon request to dental, vision, doctor, and other personal appointments. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Lodge.

The next sections detail specifics for the site and concept elevations of Paradise Lodge.

Site Analysis

The proposed development site is a unique infill residential location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road												
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	21242

Traffix System Version 6.4 (c) 1991 DA Licensed to Dowling Associates

Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses.



Kingdom Court (left) and Pentz Road

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square feet home built in approximately 1940, and a large storage shed.

The development site and proposed assisted living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexanders and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developer and owners met with the McAlexanders in their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because assisted living facilities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

The Town of Paradise does not have a public sewer system and any development site must percolate its own wastewater. L & L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments.

The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

Wastewater leach field location is shown to follow perpendicular to the natural slope of the property, as shown on page 1 of the Site Plan. The proposed on-site septic system would be located in the westerly 209 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

The leach field, as shown on page 1 of the Site Plan, is a liberal preliminary design. A fully engineered system design, based on the data, will show a reduction in the tank sizing and a reduction in the absorption field area. The system will easily provide on site wastewater treatment for a 23-bedroom facility.

Jan Hill conducted Soil Mantle observation (deep hole tests) in 2009. The Town of Paradise Onsite Sanitation Division official Doug Danz, viewed the excavation holes used for excavation and observation. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. At this time, it is believed the water pressure at Pentz Road is sufficient for development. A PID meter is currently on the property; and other services, such as electrical service, also available on site. The developer will explore cost effective solar energy applications for the home.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

Parking

At this time, nine (9) parking stalls are shown, including one ADA parking stall. Sufficient space is available for additional parking, and must be carefully planned to accommodate Scenic Corridor design standards. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site.



Southwest corner of property with fire hydrant on left

Commitment to the Community

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, one house and one large shed, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightening Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborist for the development is Tom Gomez of Tom's Tree Service. The property contains one large oak, and a smaller oak, and various evergreens along the northern boundary and frontage on Pentz. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'.

A heritage oak tree, a primary feature of the property, is centered in the western half of the property. The preliminary design of wastewater leech field provides for margin of 40 to 50 feet around the perimeter of the heritage oak, allocated for root protection.



View from Pentz Road looking west at Heritage Oak

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and values expressed by the American Assisted Living Association (ALFA). Architect Gregory Peitz has designed several facilities in the region, including Townsend House, Roses and Ivy in Chico. In addition, the development team intends to follow sustainable practices and the design ideologies described in Leadership in Energy and Environmental Design (LEED) to the project.

The vision for the Northwest Assisted Living Paradise Lodge is to create the atmosphere of an elegant, but comfortable mountain lodge. Architectural details found in resorts, such as Timberline, Oregon, will be used to enhance the ambiance of the living facility. Landscaping will follow philosophy of the Town of Paradise's Regional Scenic Corridor. Three concept elevations are provided below.

Paradise Lodge Concept Elevations



Concept Elevation One

Façade of an assisted living facility in Gig Harbor WA. The northwest design is captured by the alpine style of this Swiss Chalet. Decorative porch and rock chimney convey ideas of home, hearth and comfort.

Concept Elevation Two

Forest green color and shingled façade of this large residence captures the northwest design ideology. Lawn, shrubbery and trees follow Town of Paradise preservation of Pentz Road's regional scenic corridor.



Concept Elevation Three

Photo of an assisted living facility found in La Grande, Oregon. Natural light feature in center of facility would apply LEED design philosophy by allowing natural light into the common living space.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified Geospatial Technician (GIS). She has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
Bill Martin CEO, Builder
Ann Martin CFO, Planner
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
wlmconstructioninc@gmail.com
(530) 520-5170 Bill
(530) 520-5178 Ann

Architect: Gregory A. Peitz, Architect
383 Rio Lindo Ave.
Chico, CA 95926
gregpeitz@sbcglobal.net
(530) 894-5719
(530) 894-1523 fax

Civil Engineer: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Wastewater: Jan Hill, R.E.H.S.
Registered Environmental Health Specialist
6671 Evergreen Lane
Paradise, CA 95969
(530) 872-4027 phone
(530) 872-2284 fax
(530) 519-3160 cell

Surveyor: L & L Surveying
1007 Bille Road
Paradise, CA 95969
(530) 877-4300

Arborist: Tom Gomez, Certified Arborist
Tom's Tree Service
6791 Pentz Road
Paradise, CA 95969
(530) 877-6055



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

SITE EVALUATION REPORT

Date: 9-5-09 Client Name: BILL MARTIN OS# _____

Assessor's Parcel Number: 050-082-023 Parcel Size: 1.66 Ac.

Slope: 0-6% Existing or Proposed Wells: NONE

Surface Water:

a. Stream: NONE

b. Drainage Swale: NONE

Groundwater:

a. Perched: NONE

b. Seasonal: NONE

Landslides or Unstable Soils: NONE

Easements: 1 ON NORTHSIDE OF PARCEL 20' WIDE X 392' LONG

Roads, Driveways: PENTZ RD.; 2 DRIVEWAYS

Existing Structures: NONE

Vegetation: OAKS, PINES, NATIVE GRASSES

Rock Outcrops: NONE

Escarments and Large Cuts: ROADSIDE CUT ALONG PENTZ (3 TO 6')

Proposed Development: MAXIMUM USAGE - SEE ATTACHED

Utilities (Water, Gas, Power, etc): PRESENT IN P.U.E.

Soil Type Description (Attach Report): SEE ATTACHED

Perc Test Results (Attach Report): SEE ATTACHED

Comments: SEE ATTACHED CALC SHEETS

Evaluator/Engineer: _____

Owner: WILL MAY, JR.
 Location: Pentze Rd.

Date: 7/5/07
 Weather: Clear/overcast

Blade No.	Number of Fillings	Time of Measurement	Water Level From Surface	Drop in Water Level	Blade No.	Number of Fillings	Time of Measurement	Water Level From Surface	Drop in Water Level
Blade No. 1 Front	1	2:30		0	Blade No. 4 Back	1	3:05		0
Depth 30 ±	2	3:10	240	4	Depth 48 ±	2	16:21		4
Diameter or dia 7-8	3	5:40	250	4	Diameter or dia 7-8	3	4:24		4
Soaked overnight YES	4	7:30	110	3/4	Soaked overnight YES	4	4:17	37	4
Location SEE MAP	5				Location SEE MAP	5	5:57	40	4
Remarks WATER IN HOLE AFTER PRESOAK	6				Remarks WATER IN HOLE AFTER PRESOAK	6	5:45	48	4
Results $\frac{110}{3.25} = 33.85$	7				Results $\frac{48}{4} = 12$	7			
x 1.6 = 54	8				x 1.6 = 19.20	8			
Blade No. 2 Front	1	2:30		0	Blade No. 5 Back	1	3:05		0
Depth 30 ±	2	7:30	300	3/8	Depth 30 ±	2	3:13	18	4
Diameter or dia 7-8	3				Diameter or dia 7-8	3	2:32	10	4
Soaked overnight YES	4				Soaked overnight YES	4	3:42	11	4
Location SEE MAP	5				Location SEE MAP	5	4:47	13	4
Remarks WATER IN HOLE AFTER PRESOAK	6				Remarks NO WATER IN HOLE AFTER PRESOAK	6	4:04	17	4
Results $\frac{300}{3.625} = 82.78$	7				Results $\frac{17}{4} = 4.25$	7			
x 1.6 = 132.4	8				x 1.6 = 6.8	8			
Blade No. 3 Front	1	2:30		0	Blade No. 6 Back	1	3:05		0
Depth 30 ±	2	3:15	245	4	Depth 48 ±	2	3:52	30	4
Diameter or dia 7-8	3	4:06	251	4	Diameter or dia 7-8	3	4:18	43	4
Soaked overnight YES	4	5:14	268	4	Soaked overnight YES	4	5:55	37	4
Location SEE MAP	5	6:19	265	4	Location SEE MAP	5	5:39	44	4
Remarks WATER IN HOLE AFTER PRESOAK	6	7:30	71	4	Remarks NO WATER IN HOLE AFTER PRESOAK	6	6:22	43	4
Results $\frac{71}{4} = 17.75$	7				Results $\frac{43}{4} = 10.75$	7			
x 1.6 = 28.40	8				x 1.6 = 17.2	8			
Blade No. 9	9				Blade No. 9	9			



I hereby certify under penalty of perjury that these data are true and correct. Jan [Signature] B.F.H.S. #3626

Owner: Bill Wrayton
 Location: Pentz Rd,

Date: 9/5/09
 Weather: clear/overcast

Blade No	Depth	Diameter or dia	Soaked overnight?	Location	Remarks IN HOLE AFTER PRESOAK	Recess	Number of Fillings	Time of Measurement	Water Level From Surface	Drop In Water Level
Blade No 7 Back	30 ± 1	7-8	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	$\frac{14}{4} = 3.5$	1	3:37		⊖
							2	4:12		
							3	5:02		
							4	4:00		
							5	12:12		
							6	26:14		
							7			
							8			
							9			
Blade No 8 Back	48 ± 1	7-8	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	$\frac{22}{4} = 7$	1	3:38		⊖
							2	52:14		
							3	4:02		
							4	27:25		
							5	52:25		
							6	5:20		
							7			
							8			
							9			
Blade No 9 Back	30 ± 1	7-8	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	$\frac{14}{4} = 3.5$	1	3:39		⊖
							2	43:24		
							3	52:29		
							4	4:03		
							5	15:12		
							6	29:14		
							7			
							8			
							9			

REGISTERED INSTRUMENTAL
 CALIFORNIA
 12/10/09

I hereby certify under penalty of perjury that these data are true and correct.
Sanjay Bhat # 3620

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd</u>		Mantle No: <u>1 NE of Property</u>	
APN: _____		Date: <u>9-01-04</u>	Weather/Lighting/Temp: <u>Clear/Bright/Hot</u>		Total Depth: <u>84</u>
Depth: <u>0 to 20 1/2</u>	Color: <u>2.5YR4/6 Red</u>	Horizon: <u>O A E B C R</u>	Texture*: <u>CL</u>	Ribbon*: <u>2-2 1/4"</u>	% Clay: <u>< 27 27-40 > 40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>>60</u>		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular <u>Irregular</u>		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-60) V.Coarse (11+) Coarse(21+) Course		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: Non C Ex.W.C. Very W.C. W.C. Mod C. Stg.C. Very Stg.C. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard <u>Mod Hard</u> Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm Slightly Rigid Rigid V.Rigid	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) <u>Smooth</u> Wavy - Soil Water: <u>Dry</u> Moist Wet	
Mottles: <u>NO</u> YES Color		Mottle Contrast: Faint Distinct <u>Prominent</u>		Comments: _____	
Mottle Size (mm): Fine (<5) Med (5-15) <u>Large (>15)</u>		Quantity: Few Common <u>Many</u>		Redoximorphic: YES <u>NO</u> Redox Conc: Nodules Concretions Masses Depletions Iron Clay water	
Depth: <u>20 to 58</u>		Color: <u>5YR4/6 Yellowish Red</u>		Horizon: <u>O A E B C R</u>	
Texture*: <u>S:L+Sap</u>		Ribbon*: <u>1-1 1/2"</u>		% Clay: <u>< 27 27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 <u>0.25-0.10</u> <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>>60</u>		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular <u>Irregular</u>		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-60) V.Coarse (11+) Coarse(21+) Course		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: Non C Ex.W.C. Very W.C. W.C. Mod C. Stg.C. Very Stg.C. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard <u>Mod Hard</u> Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm Slightly Rigid Rigid V.Rigid	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) <u>Smooth</u> Wavy - Soil Water: <u>Dry</u> Moist Wet	
Mottles: <u>NO</u> YES Color		Mottle Contrast: Faint Distinct <u>Prominent</u>		Comments: <u>Saprolite < 20</u>	
Mottle Size (mm): Fine (<5) Med (5-15) <u>Large (>15)</u>		Quantity: Few Common <u>Many</u>		Redoximorphic: YES <u>NO</u> Redox Conc: Nodules Concretions Masses Depletions Iron Clay water	
Depth: <u>58 to 84</u>		Color: <u>5YR4/6 Yellowish Red</u>		Horizon: <u>O A E B C R</u>	
Texture*: <u>S:L+Sap</u>		Ribbon*: <u>1-1 1/4"</u>		% Clay: <u>< 27 27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>>60</u>		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular <u>Irregular</u>		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-5) Coarse (>5) Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-60) V.Coarse (11+) Coarse(21+) Course		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: Non C Ex.W.C. Very W.C. W.C. Mod C. Stg.C. Very Stg.C. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard <u>Mod Hard</u> Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm Slightly Rigid Rigid V.Rigid	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) <u>Smooth</u> Wavy - Soil Water: <u>Dry</u> Moist Wet	
Mottles: <u>NO</u> YES Color		Mottle Contrast: Faint Distinct <u>Prominent</u>		Comments: <u>Saprolite < 20</u>	
Mottle Size (mm): Fine (<5) Med (5-15) <u>Large (>15)</u>		Quantity: Few Common <u>Many</u>		Redoximorphic: YES <u>NO</u> Redox Conc: Nodules Concretions Masses Depletions Iron Clay water	

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Panther Rd</u>		Mantle No: <u>25E</u>	
APN: _____		Date: <u>9-01-09</u>		Weather/Lighting/Temp: <u>H</u>	
Depth: <u>29</u> in		Color: <u>5YR 4/6 Yellowish Red</u>		Horizon: <u>2A B C R</u>	
Texture*: <u>SL</u>		Ribbon*: <u>1-1/4"</u>		% Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), <u>Sandy Loam (SL)</u> , Loam (L), <u>Silt Loam (SIL)</u> , Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), <u>Silty Clay Loam (SICL)</u> , Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed <u>q-silica</u> , r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): <15 15-35 36-60	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: <u>Non C</u> Ex.W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Rupture Resistance/Consistence: DRY: Loose <u>Soft</u> Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Mottles: <u>NO</u> YES Color		Mottles Contrast: Faint Distinct Prominent		MOIST: Loose <u>V.Frable</u> Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Quantity: Few Common Many		Boundary (in cm): Abrupt (<2) <u>Clear (2-5)</u> Gradual (5-15) <u>Diffuse (>15)</u>	
Redoximorphic: YES <u>NO</u>		Redox Conc: _____ Nodules _____ Masses _____		Topo: <u>Smooth</u> Wavy - Irregular <u>NO</u> Broken - - -	
Depth: <u>29</u> in		Color: <u>7.5YR 4/6 Sta Brown</u>		Horizon: <u>2A B C R</u>	
Texture*: <u>SIL+ Sap</u>		Ribbon*: <u>1"</u>		% Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), <u>Sandy Loam (SL)</u> , Loam (L), <u>Silt Loam (SIL)</u> , Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), <u>Silty Clay Loam (SICL)</u> , Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, <u>Saprolite</u> , Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed <u>q-silica</u> , r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): <15 15-35 36-60	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: <u>Non C</u> Ex.W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Rupture Resistance/Consistence: DRY: Loose <u>Soft</u> Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Mottles: <u>NO</u> YES Color		Mottles Contrast: Faint Distinct Prominent		MOIST: Loose <u>V.Frable</u> Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Quantity: Few Common Many		Boundary (in cm): Abrupt (<2) <u>Clear (2-5)</u> Gradual (5-15) <u>Diffuse (>15)</u>	
Redoximorphic: YES <u>NO</u>		Redox Conc: _____ Nodules _____ Masses _____		Topo: <u>Smooth</u> Wavy - Irregular <u>NO</u> Broken - - -	
Depth: <u>60</u> in		Color: <u>7.5YR 4/6 Sta Brown</u>		Horizon: <u>2A B C R</u>	
Texture*: <u>SIL+ Sap</u>		Ribbon*: <u>1-1/4"</u>		% Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), <u>Sandy Loam (SL)</u> , Loam (L), <u>Silt Loam (SIL)</u> , Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), <u>Silty Clay Loam (SICL)</u> , Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed <u>q-silica</u> , r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): <15 15-35 36-60	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: <u>Non C</u> Ex.W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Rupture Resistance/Consistence: DRY: Loose <u>Soft</u> Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Mottles: <u>NO</u> YES Color		Mottles Contrast: Faint Distinct Prominent		MOIST: Loose <u>V.Frable</u> Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Quantity: Few Common Many		Boundary (in cm): Abrupt (<2) <u>Clear (2-5)</u> Gradual (5-15) <u>Diffuse (>15)</u>	
Redoximorphic: YES <u>NO</u>		Redox Conc: _____ Nodules _____ Masses _____		Topo: <u>Smooth</u> Wavy - Irregular <u>NO</u> Broken - - -	
Depth: <u>84</u> in		Color: <u>7.5YR 4/6 Sta Brown</u>		Horizon: <u>2A B C R</u>	
Texture*: <u>SIL+ Sap</u>		Ribbon*: <u>1-1/4"</u>		% Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), <u>Sandy Loam (SL)</u> , Loam (L), <u>Silt Loam (SIL)</u> , Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), <u>Silty Clay Loam (SICL)</u> , Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed <u>q-silica</u> , r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): <15 15-35 36-60	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: <u>Weak</u> Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Stickiness: <u>Not</u> Slightly Sticky Very		Cementation: <u>Non C</u> Ex.W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated		Distribution of Roots: In Cracks In Mat at Top of Horizon Matted Around Stones	
Plasticity: <u>Not</u> Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Rupture Resistance/Consistence: DRY: Loose <u>Soft</u> Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid	
Mottles: <u>NO</u> YES Color		Mottles Contrast: Faint Distinct Prominent		MOIST: Loose <u>V.Frable</u> Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Quantity: Few Common Many		Boundary (in cm): Abrupt (<2) <u>Clear (2-5)</u> Gradual (5-15) <u>Diffuse (>15)</u>	
Redoximorphic: YES <u>NO</u>		Redox Conc: _____ Nodules _____ Masses _____		Topo: <u>Smooth</u> Wavy - Irregular <u>NO</u> Broken - - -	
Depth: <u>84</u> in		Color: <u>7.5YR 4/6 Sta Brown</u>		Horizon: <u>2A B C R</u>	
Texture*: <u>SIL+ Sap</u>		Ribbon*: <u>1-1/4"</u>		% Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), <u>Sandy Loam (SL)</u> , Loam (L), <u>Silt Loam (SIL)</u> , Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), <u>Silty Clay Loam (SICL)</u> , Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed <u>q-silica</u> , r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					

Saprolite < 1%

Sap < 1%

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd</u>		Mantle No: <u>350</u>	
APN: _____		Date: <u>9-01-09</u>		Weather/Lighting/Temp: _____	
Depth: <u>3.5</u> Color: <u>2.5YR3/6 DK. Red</u>		Horizon: <u>0-2 B C R</u>		Texture*: <u>L</u> Ribbon*: <u>2</u> % Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Fragments %: <15 15-35 36-60 <u>NO</u>		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine(2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-60) V.Crs (11+) Coarse(21+) Course		Distribution/Types of Pores: Imped Expd Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very		Cementation: Non C Ex.W.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Frable Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)	
Mottles: <u>NO</u> YES Color		Mottle Contrast: Faint Distinct Prominent		Topo: Smooth Wavy Irregular Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many		Soil Water: Dry Moist Wet	
Redoximorphic: YES NO		Nodules Concretions Masses		Comments: Sap < 2%	
Redox Conc: _____		Depletions: Iron Clay water		Comments: Sap < 2%	
Depth: <u>3.5 to 7.0</u> Color: <u>2.5YR4/6 Red</u>		Horizon: <u>0-2 B C R</u>		Texture*: <u>L to Sap</u> Ribbon*: <u>1</u> % Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Fragments %: <15 15-35 36-60 <u>NO</u>		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine(2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-60) V.Crs (11+) Coarse(21+) Course		Distribution/Types of Pores: Imped Expd Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very		Cementation: Non C Ex.W.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Frable Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)	
Mottles: <u>NO</u> YES Color		Mottle Contrast: Faint Distinct Prominent		Topo: Smooth Wavy Irregular Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many		Soil Water: Dry Moist Wet	
Redoximorphic: YES NO		Nodules Concretions Masses		Comments: Sap < 1%	
Redox Conc: _____		Depletions: Iron Clay water		Comments: Sap < 1%	
Depth: <u>7.0 to 9.6</u> Color: <u>7.5YR4/6 Stg. Brown</u>		Horizon: <u>0-2 B C R</u>		Texture*: <u>SL + Sap</u> Ribbon*: <u>1</u> % Clay: <u>< 27</u> 27-40 > 40	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Fragments %: <15 15-35 36-60 <u>NO</u>		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine(2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-60) V.Crs (11+) Coarse(21+) Course		Distribution/Types of Pores: Imped Expd Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very		Cementation: Non C Ex.W.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Frable Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Mottles: <u>NO</u> YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)	
Mottles: <u>NO</u> YES Color		Mottle Contrast: Faint Distinct Prominent		Topo: Smooth Wavy Irregular Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many		Soil Water: Dry Moist Wet	
Redoximorphic: YES NO		Nodules Concretions Masses		Comments: Sap < 1%	
Redox Conc: _____		Depletions: Iron Clay water		Comments: Sap < 1%	

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd.</u>		Mantle No: <u>4NW</u>	
APN: _____		Date: <u>9-1-09</u>		Weather/Lighting/Temp: _____	
Depth: <u>0 to 40</u> Color: <u>2.5YR 4/4 Reddish Brown</u> Horizon: <u>O A B C R</u>		Texture*: <u>L</u>		Ribbon*: <u>1/2 - 1 3/4</u> % Clay: <u>27.40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-6) Coarse (>6) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-6) Coarse (>6) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Structure Grade: Weak Moderate Strong	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-6) V. Fine (2-10) Medium(3+) V. Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	
Stickiness: Not Slightly Sticky Very		Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Plasticity: Not Slightly Plastic Very		Mottles: NO YES Color		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Boundary (in cm): Abrupt (<2) Clear (2-6) Smooth Wavy - Soil Water: Gradual (5-15) Diffuse (>15) Irregular /U Broken -- Dry Moist Wet	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottle Quantity: Few Common Many		Comments:	
Redoximorphic: YES NO		Redox Conc: _____ Nodules _____ Concretions _____ Masses _____ Diplolepis: Iron Clay Dph to obs/ind water		Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Depth: <u>40 to 54</u> Color: <u>5YR 3/4 DK. Red Brown</u> Horizon: <u>O A B C R</u>		Texture*: <u>CL</u>		Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 (27.40) > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-6) Coarse (>6) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-6) Coarse (>6) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Structure Grade: Weak Moderate Strong	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-6) V. Fine (2-10) Medium(3+) V. Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	
Stickiness: Not Slightly Sticky Very		Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Plasticity: Not Slightly Plastic Very		Mottles: NO YES Color		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Boundary (in cm): Abrupt (<2) Clear (2-6) Smooth Wavy - Soil Water: Gradual (5-15) Diffuse (>15) Irregular /U Broken -- Dry Moist Wet	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottle Quantity: Few Common Many		Comments:	
Redoximorphic: YES NO		Redox Conc: _____ Nodules _____ Concretions _____ Masses _____ Diplolepis: Iron Clay Dph to obs/ind water		Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Depth: <u>54 to 96</u> Color: <u>5YR 4/6 Yellowish Red</u> Horizon: <u>O A B C R</u>		Texture*: <u>CL</u>		Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 (27.40) > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-6) Coarse (>6) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10		Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med (2-6) Coarse (>6) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Structure Grade: Weak Moderate Strong	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-6) V. Fine (2-10) Medium(3+) V. Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	
Stickiness: Not Slightly Sticky Very		Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Plasticity: Not Slightly Plastic Very		Mottles: NO YES Color		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Boundary (in cm): Abrupt (<2) Clear (2-6) Smooth Wavy - Soil Water: Gradual (5-15) Diffuse (>15) Irregular /U Broken -- Dry Moist Wet	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottle Quantity: Few Common Many		Comments:	
Redoximorphic: YES NO		Redox Conc: _____ Nodules _____ Concretions _____ Masses _____ Diplolepis: Iron Clay Dph to obs/ind water		Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	

SIZING CALCULATIONS

Contractor: Bill Martin Const.

Location: Pentz Rd., AP# 050-082-023

Paradise, CA 95969

1. Maximum Loading Per Acre With PRETREATMENT: 2,000 gallons
2. Parcel Size: 1.66 acres
3. Maximum Loading for this Parcel: 2,000 gallons/acre x 1.66 acres = 3,320 gal/day;
4. Number of gallons of sewage produced by care facility with 18 total employees: (6 employees per shift X 3 shifts/day X 20 gal/employee/day = 360 gal/day).
5. The number of residents allowed in the care facility with using pretreatment would be 23, based on the UPC sewage production figure of 125 gal/day/resident = 2,960 gal/day (3,320 gal/day - 360 gal/18 emps./day = 2,960 gal per day/125 gal per res/day).
6. The leach field sizing would be as follows: 3,320 gal/day :- 0.68 gal/square foot/day (48 inch test #4) = 4,882 square feet of absorption field required / 4 square feet/lineal foot (24 inches total rock) = 1,221 lineal feet of leach field required. It is the opinion of this consultant that the dispersal field/leach line would be of adequate size to service the proposed development.
7. The septic tank size should be 10,000 gallon (3 day holding capacity); followed by a 7,500 gallon dose/pump tank which will provide at least 1/2 day emergency storage.

TABLE K-3 (Continued)

Type of Occupancy	Gallons (liters) Per Day
10. Institutions (Resident)	75 (283.9) per person
Nursing home	125 (473.1) per person
Rest home	125 (473.1) per person
11. Laundries, self-service	
(minimum 10 hours per day)	50 (189.3) per wash cycle
Commercial	Per manufacturer's specifications
12. Motel	50 (189.3) per bed space
with kitchen	60 (227.1) per bed space
13. Offices	20 (75.7) per employee
14. Parks, mobile homes	250 (946.3) per space
picnic parks (toilets only)	20 (75.7) per parking space
recreational vehicles –	
without water hook-up	75 (283.9) per space
with water and sewer hook-up	100 (378.5) per space
15. Restaurants – cafeterias	20 (75.7) per employee
toilet	7 (26.5) per customer
kitchen waste	6 (22.7) per meal
add for garbage disposal	1 (3.8) per meal
add for cocktail lounge	2 (7.6) per customer
kitchen waste – Disposable service	2 (7.6) per meal
16. Schools – Staff and office	20 (75.7) per person
Elementary students	15 (56.8) per person
Intermediate and high	20 (75.7) per student
with gym and showers, add	5 (18.9) per student
with cafeteria, add	3 (11.4) per student
Boarding, total waste	100 (378.5) per person
17. Service station, toilets	1000 (3785) for 1st bay
	500 (1892.5) for each additional bay
18. Stores	20 (75.7) per employee
public restrooms, add	1 per 10 sq. ft. (4.1/m ²) of floor space
19. Swimming pools, public	10 (37.9) per person
20. Theaters, auditoriums	5 (18.9) per seat
drive-in	10 (37.9) per space

(a) **Recommended Design Criteria.** Sewage disposal systems sized using the estimated waste/sewage flow rates should be calculated as follows:

- (1) Waste/sewage flow, up to 1,500 gallons/day (5,677.5 L/day)
Flow x 1.5 = septic tank size
- (2) Waste/sewage flow, over 1,500 gallons/day (5,677.5 L/day)
Flow x 0.75 + 1,125 = septic tank size
- (3) Secondary system shall be sized for total flow per 24 hours.

(b) Also see Section K 2 of this appendix.



L&L SURVEYING

1007 Bille Road - P.O. Box 671 - Paradise, CA 95967-0167
Telephone: (530) 877-4300 - FAX: (530) 877-2251

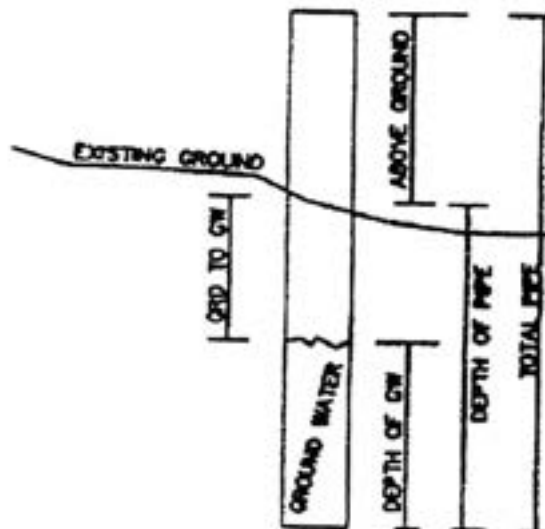
Martin - Pentz Road

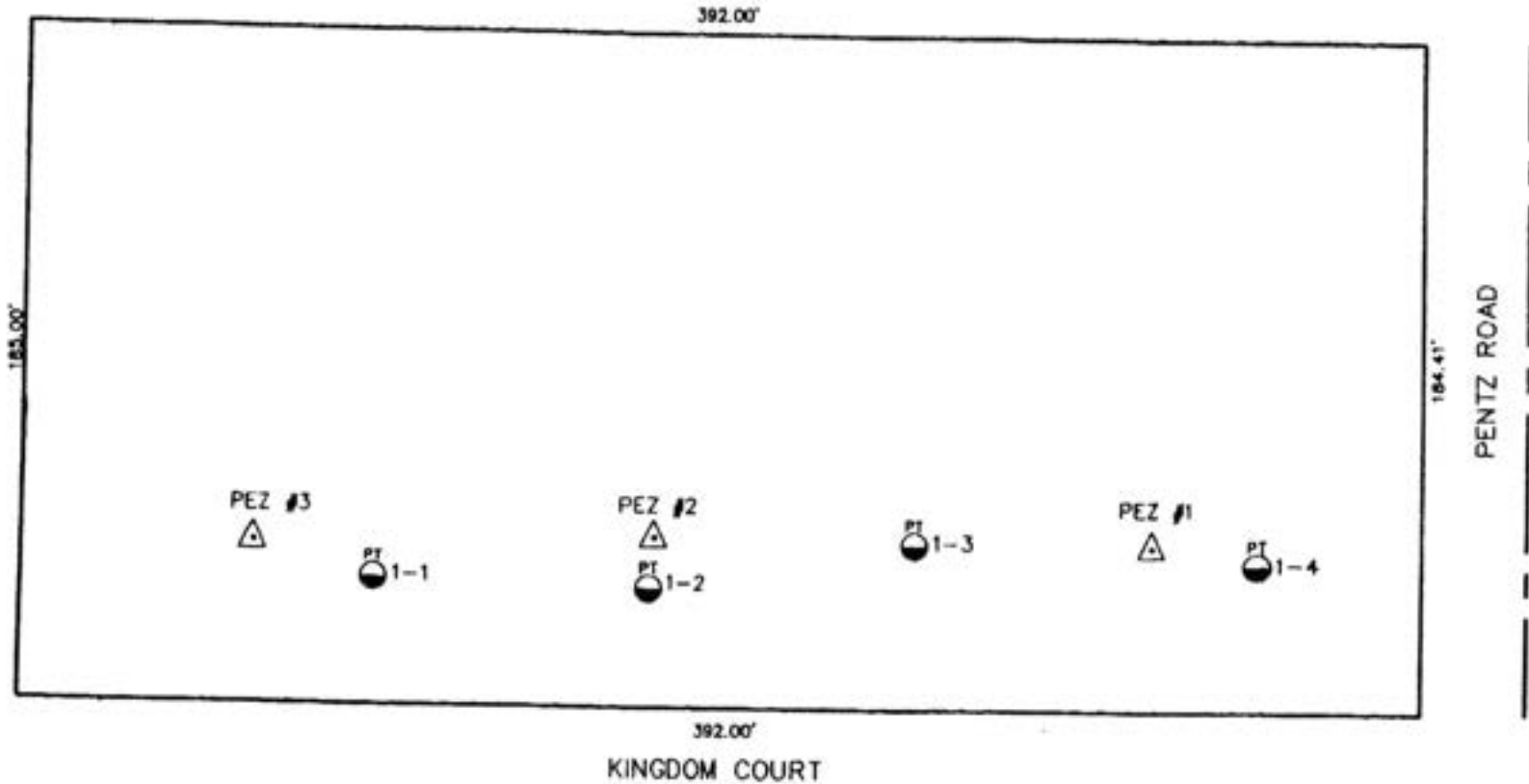
APN: 050-082-023

2007 - 2008

Installation

Pez	Total Pipe	Above Ground	Depth of Pipe	Installed
1	9.69	1.48	8.21	
2	9.78	1.76	8.02	
3	9.66	1.68	7.98	





SCALE 1" = 50'

- PEZ #1 = LOCATION OF PIEZOMETER
- PT 1-1 = LOCATION OF PERK TEST

PLOT OF PIEZOMETERS
AND PERK TESTS
FOR
MARTIN
AP # 050-080-023

JOB # 05-11-121

NOVEMBER 2006



L & L SURVEYING

107 BILLE ROAD PO BOX 871 FARMING, CA 95027 (530)777-4208

Martin - Pentz Road

APN: 050-082-023

2007 - 2008

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/21/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/5/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/19/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/15/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/25/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
3/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/17/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/23/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
5/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon



Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/11/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/16/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/22/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/30/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/7/09	8.21	1.20	7.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/14/09	8.21	0.60	7.61	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/21/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/27/09	8.21	0.70	7.51	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/4/09	8.21	0.30	7.91	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/26/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/3/09	8.21	0.10	8.11	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/25/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/1/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy



Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
4/8/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/15/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/22/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/29/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
5/8/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy

PERCOLATION TEST LOG

NAME: Martin, W.L. JOB#: 05-11-121 DATE: 11/10/2005
 LOCATION: 6983 Pentz Road APN: 050-082-023
 SOIL DESCRIPTION: Dark loam, rocks

The following test data was obtained in conformance with the approved Town of Paradise Onsite Wastewater Manual.

HOLES WERE PRESOAKED ON : 11/9/2005
 TEST PERFORMED BY: Chris Damron L. & L. Surveying

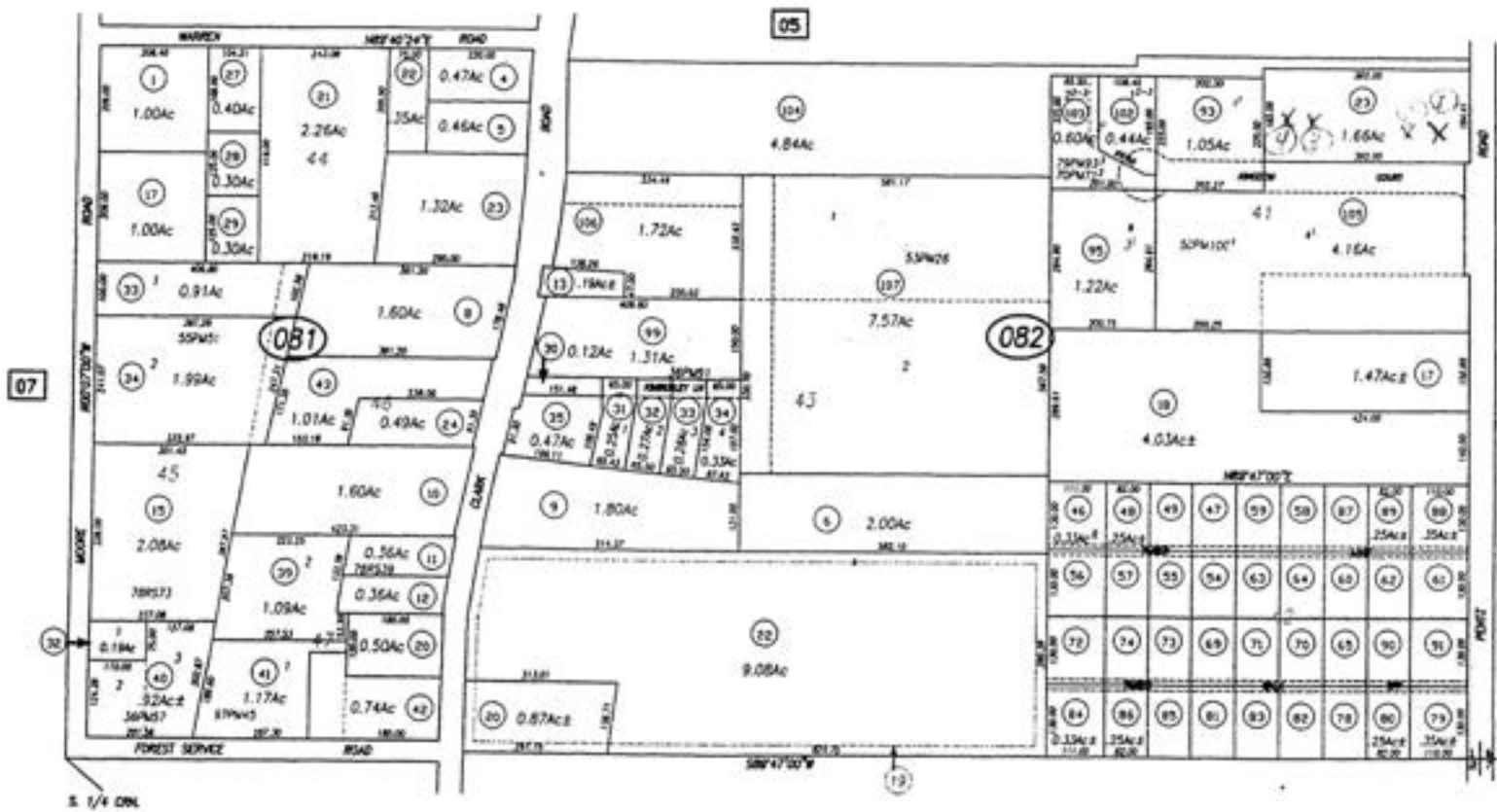
HOLE #	1		2		3		4	
	DEPTH	DIA.	DEPTH	DIA.	DEPTH	DIA.	DEPTH	DIA.
	32"	6"	32"	6"	32"	6"	32"	6"
	DROP TIME		DROP TIME		DROP TIME		DROP TIME	
	Begin	9:08	Begin	9:07	Begin	7:45	Begin	9:10
1	4"	9:28	4"	9:25	4"	8:08	4"	9:29
2	4"	9:51	4"	9:46	4"	8:35	4"	9:52
3	4"	10:16	4"	10:08	4"	9:06	4"	10:19
4	4"	10:47	4"	10:34	4"	9:38	4"	10:48
5	4"	11:18	4"	11:01	4"	10:14	4"	11:22
Rate	1"	7.75 min	1"	6.75 min	1"	9 min	1"	8.5 min

Average percolation rate = 8.0 min/inch x 1.6 T.O.P. ADJ Factor = 12.8 min/inch



EXP 6/30/07

1"=200'



SUB. SEC. 1, "X" M.O.R. 12/13

Butte County Assessor's Map
Book 50, Page 08

NOTE: These parcels are for assessment purposes only and may not constitute legal parcels.

CREATED BY	DE	CREATED ON	12-1-1999
REVISED BY	DE	REVISED ON	12-1-1999
		EFFECTIVE	00-01 AXL

Compiled by The Butte County Assessor's Office

TOWN OF PARADISE PROJECT CONTROL SHEET

PROJECT # PL12-00074 AP# 050-082-023 RECEIPT NO. 8149 \$ 173.60

PROJECT/APPLICANT NAME: BILL+ANN MARTIN (GRAND SIERRA LODGE)

CONTACT PERSON: BILL MARTIN

PHONE: 520-5170 FAX: _____ EMAIL: _____

APPLICANT ADDRESS: 5806 ACORN RIDGE, ^{DR.} PARADISE, CA 95969

OWNER NAME: JAY AND JOYCE POWELL PHONE: _____

OWNER ADDRESS: 1624 S. COURT ST., VISALIA, CA 93277

ENGINEER NAME: RANCHO ENGINEERING PHONE: 877-3700

ENGINEER ADDRESS: 5550 SKYWAY, PARADISE, CA 95969

DATE APP. REC'D 3/21/12 DATE DEEMED COMPLETE: 5/18/12 INCOMPLETE: _____

DRR'S	SENT	RECD	SENT	RECD	DRR'S	SENT	RECD	SENT	RECD
Eng	<u>3/22</u>	_____	_____	_____	SBC	_____	_____	_____	_____
Onsite	<u>3/22</u>	_____	_____	_____	PUSD	_____	_____	_____	_____
CSS	<u>3/22</u>	_____	_____	_____	Fish & Game	_____	_____	_____	_____
Fire	_____	_____	_____	_____	Cal Trans	_____	_____	_____	_____
Police	<u>3/22</u>	_____	_____	_____	CDD/PW Coord	_____	_____	_____	_____
PID	<u>3/22</u>	_____	_____	_____	Recreation	_____	_____	_____	_____
CSUC	_____	_____	_____	_____	Bus./Housing	<u>3/22</u>	_____	_____	_____
PG&E	<u>3/22</u>	_____	_____	_____	BCAG	_____	_____	_____	_____
NRWS	<u>3/22</u>	_____	_____	_____	_____	_____	_____	_____	_____
BCAQMD	_____	_____	_____	_____	_____	_____	_____	_____	_____

DATE NOTICE PUBLISHED: _____ DATE PROPERTY OWNERS NOTIFIED: _____ HEARING BODY: _____ PC _____ PD _____ TC

DATE AGENDA PACKETS SENT: _____

ENVIRONMENTAL DETERMINATION: EXEMPT _____ NEGATIVE DEC. _____ NEG. DEC. MAILED: _____ MITIGATED NEGATIVE _____ SECTION _____ CLASS _____

DECISION PUBLIC HEARING/ACTION: DATE: _____ ACTION: _____ DATE: _____ ACTION: _____

TO TOWN COUNCIL: DATE: _____ ACTION: _____ DATE: _____ ACTION: _____

COMMENTS: _____

EXPIRATION DATE: _____ STAFF PERSON: C. BAKER

THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY

RESEARCH REPORT
NO. 1234
BY J. D. SMITH
AND
M. A. JONES
1955

11

UNIVERSITY OF CHICAGO
LIBRARY

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPARTMENT (PLANNING DIVISION)
5555 SKYWAY, PARADISE - (530)872-6291
TREE FELLING APPLICATION/PERMIT

AP NO. <u>050-082-023</u>	PERMIT NO. <u>PL2-00074</u>	DATE: <u>3-21-12</u>
PROPERTY ADDRESS: <u>6983 Pentz Rd.</u>		
PROJECT DESCRIPTION (attach additional sheet(s) if necessary) NUMBER OF TREES: <u>12</u> TYPE OF TREES: <u>Douglas Fir, CA Black Oaks Ponderosa Pine</u> CIRCUMFERENCE OF TREES (at 54" above grade): <u>31" to 150"</u>		
DATE FELLING SHALL START: <u>dnk</u>		
CONSTRUCTION PERMIT NO: _____		DATE ISSUED _____
PURPOSE OF REMOVAL: <u>site development</u>		
TREE FELLING PERMIT HISTORY FOR PROPERTY: <u>dnk</u>		
OWNER INFORMATION:		
NAME: <u>Jay and Joyce Powell Family Trust</u>		TELEPHONE NUMBER: <u>(559)625-4343</u>
ADDRESS: STREET NUMBER/NAME: <u>1624 S. Court St.</u>		
CITY/STATE/ZIP: <u>Visalia CA 93277</u>		
CONTRACTOR INFORMATION:		
NAME: <u>Wm Construction Inc.</u>		TELEPHONE NUMBER: <u>(530)520-5170</u>
ADDRESS: STREET NUMBER/NAME: <u>Po Box 2035</u>		
CITY/STATE/ZIP: <u>Paradise CA 95967</u>		
PERMIT FEE \$ _____	REPLACEMENT FEE \$ _____	RECEIPT NO. _____

PLOT PLAN (Show Street, Structure and Tree(s) in space provided below.)

If this permit application is for five (5) or more qualifying trees, submit a separate plot map drawn to scale.

SEE ATTACHED PLAN

↑
N

(SEE BACK PAGE FOR ADDITIONAL INFORMATION)

CONTRACTOR LICENSE LAW

I declare under penalty of perjury (check one):

- I am licensed under provisions of the Business and Professions Code and my license is in full force and effect.
License No. _____ Classification _____
- The contracted service price is \$500.00 valuation or less and owner provided written disclosure as per Business & Professions Code Section 7048.
- I, as the owner, or my employees with wages as their sole compensation will do the work.
- I, as the owner, am exclusively contracting with licensed contractors.
- I am licensed under provisions of Public Resources Code 4570 et seq. and my license is in full force and effect.
License No. _____
- I, as the owner, am exclusively contracting with a licensed timber operator.

WORKER'S COMPENSATION INSURANCE:

I declare under penalty of perjury (check one):

- I have placed on file with the Town of Paradise Community Development Department a certificate of worker's compensation or a certificate of consent to self insure.
- I shall not employ any person in any manner so as to become subject to the workers compensation laws of California.
- The contracted service price is \$500.00 valuation or less.

NOTICE TO APPLICANT:

If after making this statement, should you become subject to the workers compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CERTIFICATION:

I certify that I have read this application and state that the above information is correct. I agree to comply to all town ordinances and state laws relating to tree cutting, and hereby authorize representatives of the Town of Paradise to enter upon the above-mentioned property for inspection purposes. I also agree to save, indemnify and keep harmless the town and its agents against all liabilities, judgments, costs and expenses that may in any way accrue against said agency in consequence of the granting of this permit.

I understand that for each tree felled, one tree (fifteen gallon minimum size) shall be planted within twelve months thereafter or within one year of occupancy of new construction, whichever occurs first.

x *Mary White* _____ Date: 3-21-12
 Signature of Applicant - Owner _____ Contractor _____ Agent LTO _____

APPROVAL:

- Approved
- Disapproved

By _____ (Town Manager or Designee) Date: _____

It is recommended that you contact the California Department of Forestry, Redding Office, (530) 225-2418 for regulations that may apply to tree felling. This permit expires 90 days beyond date of issue.

POST THIS PERMIT AT A POINT PROVIDING PRIMARY ACCESS TO THE SITE OF THE TREE FELLING PRIOR TO FELLING ANY QUALIFYING TREES.

NO QUALIFYING TREE SHALL BE REMOVED WITHOUT POSSESSION OF AN APPROVED PERMIT.

RECEIPT

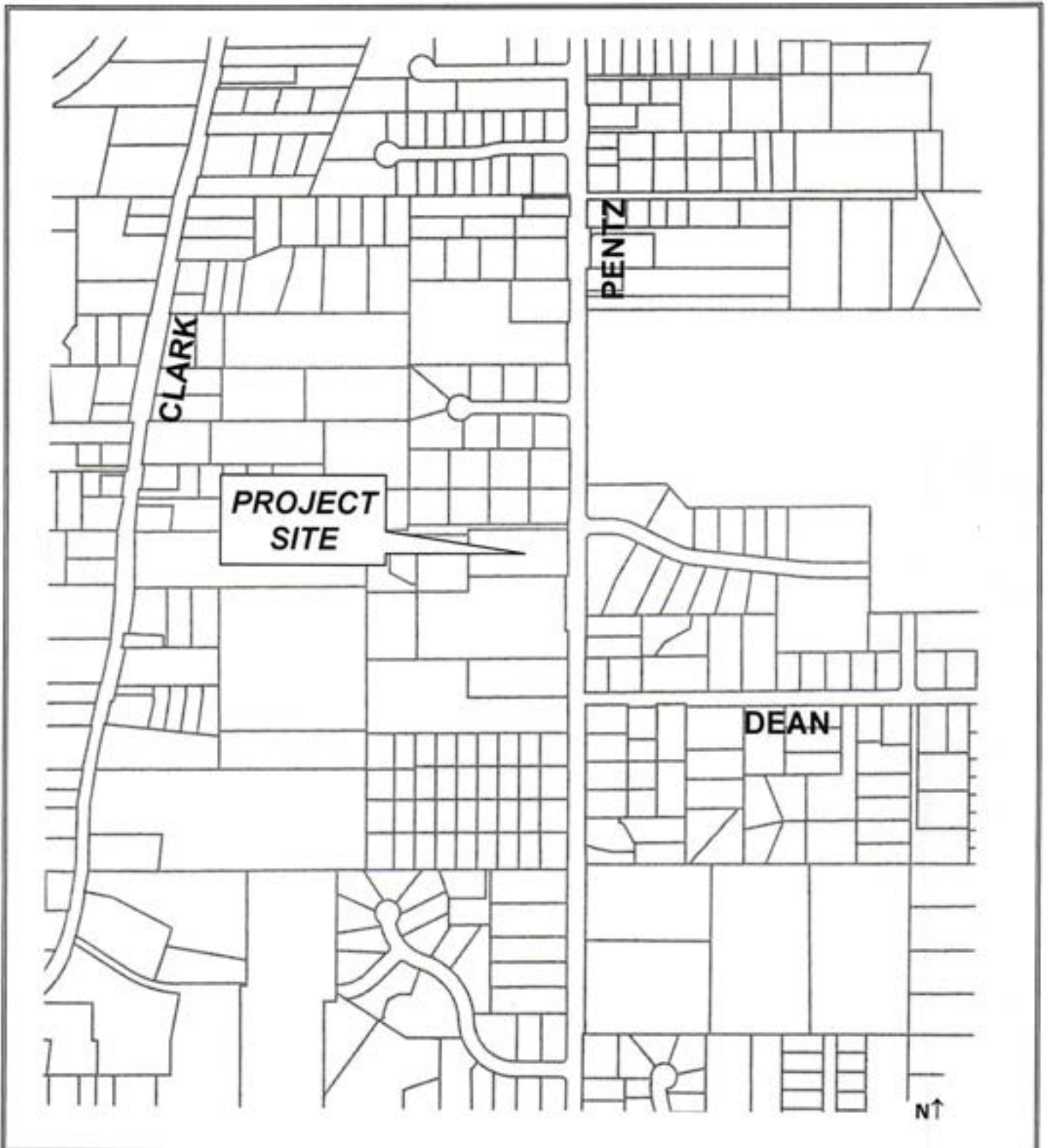
PARADISE
 PARADISE
 5555 SKYWAY
 PARADISE

Application: PL12-00074
Application Type: Planning/Entitlement/NA/NA
Address: 6983 PENTZ RD , PARADISE, CA 95969

Receipt No.	8149					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Check	2076	\$173.60	03/21/2012	SHARTMAN		050-082-023. PAID BY WLM CNST

Owner Info.: POWELL JAY & JOYCE FAMILY TRUST
 C/O POWELL JAY & JOYCE TRUSTEES
 VISALIA, CA 93277

Work Description: TREE HEARING - 12 TREES



APPLICANT: BILL AND ANN MARTIN		
OWNER: JAY AND JOYCE POWELL		6983 Pentz Road
REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.		
Zoning: RR-2/3	GENERAL PLAN: RR	FILE NOS. PL12-00073, PL12-00074, PL12-00075
ASSESSOR PAREL: 050-082-023		COMMENTS DUE: 4-5-12

Randolph Vasquez Forest Management

1600 Feather River Blvd Suite B
Oroville, California 95965
(530)534-6229



July 5, 2012

Town of Paradise
555 Skyway County Center Drive
Paradise CA 95969
(530)872-6291
Attn: Craig Baker

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

JUL 05 2012

RECEIVED

Re: Tree report for Proposed Residential Care Facility, 6983 Pentz Rd. Paradise CA

Purpose for tree removal;

Clear area for construction of Residential Care Facility, septic system, parking area and road access. The site contains 16 trees ranging in circumference from 31" to 150", of which 13 trees are proposed for removal and 4 trees have been planned for retention. Of the trees to be removed 4 trees are Douglas Fir, 7 trees are California black oaks, and 2 ponderosa pines. Of the trees greater than 31" circumference to be retained, 2 California black oaks, and 1 ponderosa pine. Reasons for the tree removals include the following:

foundation foot print 1 tree, site grading and excavation 2 trees, road and parking area development and overhead power line clearance 7 trees, septic system development 2 trees, and one tree for hazard reduction and safety concerns.

Included with this report is a table listing all removal trees by species circumference and reason for removal, and a map showing tree locations and identification numbers. Trees indicated for removal have been numbered in the field with the id number painted on them to aid in the evaluation process.

Trees to be retained will be trimmed to remove dead limbs down to 1" diameter and remove all parasites. All work to be done to ISA standards.

At least 12 required mitigation replacement trees utilizing native species approved by the Town of Paradise shall be planted in the landscape areas.

Sincerely,


Randolph Vasquez
Registered Professional Forester #1884

Proposed Residential Care Facility

ID #	Tree Specie	DBH	Circumference	Reason for Removal
1	BO	24	75	Rd&pl
2	DF	14	44	Rd&pl
3	PP	20	63	Rd&pl
4	DF	14	44	Rd&pl
5	DF	20	63	Rd&pl
6	PP	18	57	Rd&pl
7	BO	30	94	Foundation
8	BO	14	44	Grading
9	BO	30	94	Grading
10	BO	58	182	hazard
11	BO	12	38	septic
12	BO	14	44	septic
13	DF	36	113	Rd & Pl

BO= California Black Oak

DF= Douglas Fir

PP= Ponderosa Pine

Rd&pl= Parking area and existing power line. These trees are located along Pentz road and below the PG&E power line they have been severely trimmed to prevent contact with the high voltage line.

Foundation= this tree is within the foot print of the proposed structure.

Grading = these trees are within the area to be graded for the construction site. They are in close proximity to the proposed foundation.

hazard= this tree is a large California black oak in a very unstable condition. Sever heart rot is evident around the root collar of the tree. This would be a significant safety hazard for any residents occupying the site.

revised 7/5/12



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

May 18, 2012

TO: Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

FROM: Craig Baker, Assistant Community Development Director

SUBJECT: Grand Sierra Lodge Use Permit Application (PL12-00073), General Plan Amendment/Rezone Application (PL12-00075) and Tree Felling Permit Application (PL12-00074); APN 050-082-023

Section 65943 of the California Government Code requires that no later than 30 calendar days after receipt of the above-noted application, the Town of Paradise shall determine in writing whether such application is complete or incomplete and transmit such determination to the applicant. In the event that your application is determined not to be complete, the Town of Paradise shall specify those parts of your application which are incomplete and specify the manner in which they can be made completed.

Please note that the following determination(s) have been made:

Your application is complete.

Your application is incomplete and the following information is requested.

NOTE: COMPLETE APPLICATIONS WILL BE SCHEDULED FOR PUBLIC DECISION PENDING COMPLETION OF ENVIRONMENTAL REVIEW AND STAFF RECOMMENDATIONS. YOU WILL RECEIVE FURTHER NOTICE AT THAT TIME.

cc: Jay and Joyce Powell, 1624 S. Court Street, Visalia, CA 93277
Rancho Engineering, 5550 Skyway, Paradise, CA 95969

**TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPARTMENT**

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *[Signature]*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

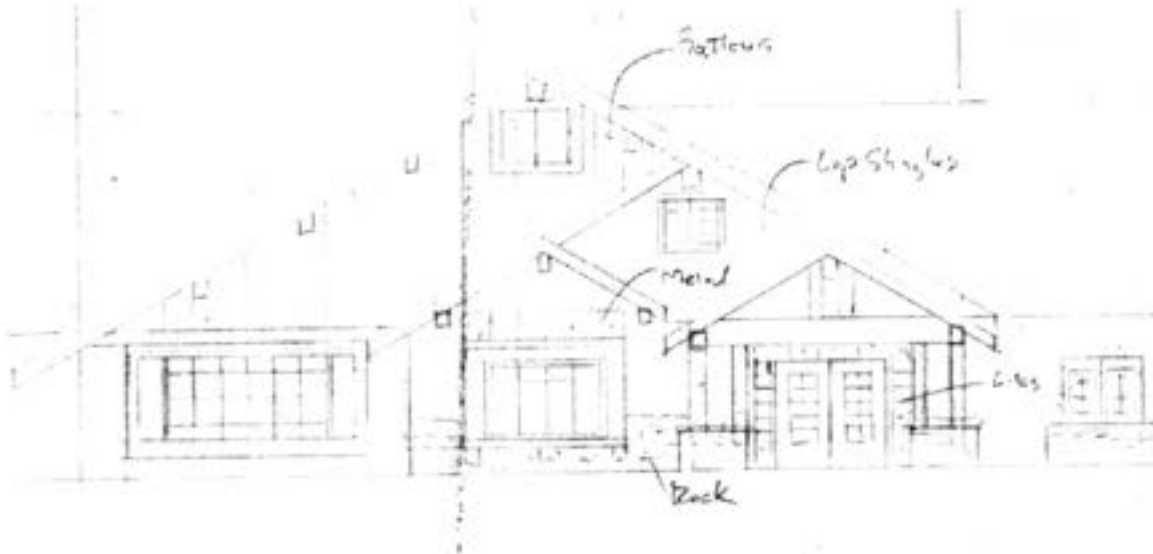
NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.

GRAND SIERRA LODGE

RESIDENTIAL RETIREMENT COMMUNITY

PARADISE, CA



Prepared by

WLM CONSTRUCTION, INC.

WILLIAM & ANN MARTIN

FOR

JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Letter of Authorization	.....	p 3
Project Summary	.....	p 4
Site Analysis	.....	p 5
Zoning and Land Use	.....	p 6
Neighborhood Support	.....	p 7
Wastewater	.....	p 8
Site Drainage	.....	p 8
Utilities	.....	p 8
Traffic	.....	p 8
Parking	.....	p 8
Fire Department	.....	p 9
Commitment to the Community	.....	p 9
Hospital	.....	p 10
Trees	.....	p 10
Development Design	.....	p 11
Development Team Bios	.....	p 11
Development Team Contact Information	.....	p 12

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

8624 SOUTH COURSE
VINALIA, CALIFORNIA 91277

TELEPHONE: (559) 625-4143

FAX: (559) 625-4346

May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, A.P.N. NUMBER 090-082-023-000.

WILLIAM L. MARTIN AND/OR ANN MARTIN ARE AGENTS FOR THE TRUST IN ALL MATERS CONCERNING THE SAID REAL PROPERTY, INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE, CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Grand Sierra Lodge of Paradise is to create, in a residential retirement community, the atmosphere of an elegant and comfortable mountain lodge. The proposed development is for a moderately sized, thirty-bedroom senior housing community; the average size in the U.S. is 58 units. The philosophy of Grand Sierra Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. The Grand Sierra Lodge retirement living philosophy embraces community, quality of life as well as quality of care, and supports the resident's decision to live with companionship and increasing levels of supportive services in the place they call home.

The terms used to describe senior communities differs across the country; in California senior communities are identified as independent living, assisted living and skilled nursing. Independent living is for seniors in good health, who desire the convenience and safety of a retirement living community. Assisted living provides seniors with assistance with one or more 'activities of daily living' (ADL). Skilled nursing is for individuals who require total care. The mission of the Grand Sierra Lodge is to offer a continuum of care from independent to assisted living, so as residents need more assistance, it can be provided.

The Grand Sierra Lodge will be prepared to undergo a licensure process to become a licensed assisted living facility. In California, the State Department of Social Services (DSS) conducts the licensure process. Also described as Residential Care Facility for the Elderly (RCFE) in the California Codes, assisted living communities are required to provide a number of services to residents, including 24-hour supervision, three meals per day plus snacks in a group dining room, as well as a range of services that promote resident quality of life and independence. Staff job descriptions and training requirements are defined by the DSS, and reflect the responsibilities of each position according to professional standards, with emphasis on observation, communication and care. Unlike nursing facilities where skilled medical care is provided on site, assisted living offers transportation to medical professionals. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Grand Sierra Lodge.

Regulations specific to construction of senior living facilities are detailed in the California Health and Safety Code. Senior communities range in size from a small residential house, with 6 or fewer residents, up to very large facilities providing services to hundreds of residents. Current best practices in senior community design include large studios for private living, and comfortable spaces for socialization, such as conversation areas, patios and hearth rooms. This enables residents to maintain a private lifestyle, while enjoying socialization at their leisure. Facilities are designed for the mobility impaired.

Site Analysis

The proposed development site is a unique infill location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road												
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	21242

Traffix System Version 6.4 (c) 1991 DA Licensed to Dowling Associates

Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses. It is recommended the applicant apply for a zone change to TR 1/3 due to the size of the proposed facility.



Kingdom Court (left) and Pentz Road

The development site and proposed retirement living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexander family and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developers met with Mr. and Mrs. McAlexander at their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because senior living communities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

L &L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments. The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

The proposed septic system and leach field is shown on page CS of the Site Plan. Based on data collected, and from water records of like facilities, Rancho Engineering has designed a fully engineered system. An Advantex AX 100 Pod and Recirculation tank system with redundant pressurized distribution lines is proposed for this project. This will provide on site wastewater treatment for a thirty-bedroom facility.

The wastewater leach field location is designed to follow perpendicular to the natural slope of the property, as shown on page CS of the Site Plan. The proposed on-site septic system would be located in the westerly 140 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. The developer will explore cost effective solar energy applications for the residential facility.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

Parking

At this time, twenty (20) parking stalls are shown, including two ADA parking stalls and a commercial loading/unloading zone. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The

developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site. Fire flow tests have been conducted.



Southwest corner of property with fire hydrant on left

Commitment to the Community

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square feet home built in approximately 1940, and a large storage shed.

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightning Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborists for the development are Tom Gomez of Tom's Tree Service and consulting arborist Randolph Vasquez. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'. A full tree report, prepared by Vasquez is submitted with this application.



View from Pentz Road looking west

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and the California Department of Social Services, Community Care Licensing Division Residential Care Facilities for the Elderly (RCFE) and values expressed by the American Assisted Living Association (ALFA). Rancho Engineering has been retained for all design and engineering associated with the project.

The vision for Grand Sierra Lodge of Paradise is to create the atmosphere of an elegant, but comfortable mountain lodge. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards. Specific design features will adhere to State of California RCFE regulations, specifically those under Article 5 Physical Environment and Accommodations. The Grand Sierra Lodge will follow current best practices in senior community design include large private spaces and comfortable rooms for socialization, such as conversation areas, patios and hearth rooms. Facilities will be designed to house the mobility impaired; the majority of private rooms will accommodate the non-ambulatory.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified as a RCFE Administrator Certificate Holder, by the California Department of Social Services, Community Care Licensing Division. Ann has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
Bill Martin CEO, Builder
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
wlmconstructioninc@gmail.com
(530) 520-5170 Bill

RCFE Consultant: Ann Martin, Ed.D. RCFE Administrator
Certificate Holder License #6009259740
CA Dept. of Social Services, Community Care Licensing
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
(530) 520-5178 Ann

Building Engineer: Jarrod Holliday License # 66034
Frank Sands, Rancho Engineering
5550 Skyway
Paradise, CA 95969

Civil Engineer: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Wastewater: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Surveyor: L & L Surveying
1007 Bille Road
Paradise, CA 95969
(530) 877-4300

Arborists: Tom Gomez, Certified Arborist License #1248
Tom's Tree Service
6791 Pentz Road
Paradise, CA 95969
(530) 877-6055

 Randolph Vasquez, Registered Professional Forester #1884
Randolph Vasquez Forest Management
1600 Feather River Blvd, Suite B
Oroville, California 95965
(530) 534-5229

Randolph Vasquez Forest Management

1600 Feather River Blvd Suite B
Oroville, California 95965
(530)534-5229



February 14, 2012

Town of Paradise
555 Skyway County Center Drive
Paradise CA 95969
(530)872-6291
Attn: Craig Baker

Re: Tree report for Proposed Residential Care Facility, 6983 Pentz Rd. Paradise CA

Purpose for tree removal;

Clear area for construction of Residential Care Facility, septic system, parking area and road access. The site contains 16 trees ranging in circumference from 31" to 150", of which 12 trees are proposed for removal and 4 trees have been planned for retention. Of the trees to be removed 3 trees are Douglas Fir, 7 trees are California black oaks, and 2 ponderosa pines. Of the trees greater than 31" circumference to be retained, 1 Douglas Fir, 2 California black oaks, and 1 ponderosa pine. Reasons for the tree removals include the following;

foundation foot print 1 tree, site grading and excavation 2 trees, road and parking area development and overhead power line clearance 6 trees, septic system development 2 trees, and one tree for hazard reduction and safety concerns.

Included with this report is a table listing all removal trees by species circumference and reason for removal, and a map showing tree locations and identification numbers. Trees indicated for removal have been numbered in the field with the id number painted on them to aid in the evaluation process.

Trees to be retained will be trimmed to remove dead limbs down to 1" diameter and remove all parasites. All work to be done to ISA standards.

At least 12 required mitigation replacement trees utilizing native species approved by the Town of Paradise shall be planted in the landscape areas.

Sincerely,



Randolph Vasquez
Registered Professional Forester #1884

Proposed Residential Care Facility

ID #	Tree Specie	DBH	Circumference	Reason for Removal
1	BO	24	75	Rd&pl
2	DF	14	44	Rd&pl
3	PP	20	63	Rd&pl
4	DF	14	44	Rd&pl
5	DF	20	63	Rd&pl
6	PP	18	57	Rd&pl
7	BO	30	94	Foundation
8	BO	14	44	Grading
9	BO	30	94	Grading
10	BO	58	182	hazard
11	BO	12	38	septic
12	BO	14	44	septic

BO= California Black Oak

DF= Douglas Fir

PP= Ponderosa Pine

Rd&pl= Parking area and existing power line. These trees are located along Pentz road and below the PG&E power line they have been severely trimmed to prevent contact with the high voltage line.

Foundation= this tree is within the foot print of the proposed structure.

Grading = these trees are within the area to be graded for the construction site. They are in close proximity to the proposed foundation.

hazard= this tree is a large California black oak in a very unstable condition. Sever heart rot is evident around the root collar of the tree. This would be a significant safety hazard for any residents occupying the site.



W.C. 1248

Tom's Tree Service

P. O. Box 2495
Paradise, CA 95967-2495
Tel: (530) 877-6055
Fax: (530) 877-7773
Cell: (530) 520-TREE



Contractor's License
Number 652813

TREE PROTECTION & SPECIFIC TREATMENTS

TREE PROTECTION REPORT FOR: Bill Martin, Lot on 6983 Pentz Rd.
REPORT PREPARED BY Tom Gomez, Certified Arborist

Species

- GP = Grey Pine
- SP = Sugar Pine
- PP = Ponderosa Pine
- IC = Incense Cedar
- CL = Canyon Liveoak
- BO = California Black Oak
- DF = Douglas Fir
- BLM = Big Leaf Maple

Treatments

- 1 = Root Pruning
- 2 = Clean dead limbs out to 1"
- 3 = Remove Gall Rust
- 4 = Cable crown for stability

#	Species	Circumference	Treatment	#	Species	Circumference	Treatment
A				J			
B				K			
C				L			
D				M			
E				N			
F				O			
G				P			
H				Q			
I				R			
				S			
				T			

All remaining trees will be protected & treated under these conditions.
Tom Gomez
2-13-12

In addition to the specific treatments listed above, the following practices will be included.

- All work to be done under I.S.A. standards.
- Dead wood will be removed down to 1 inch.
- All parasites to be removed.
- All cabling to be done as directed by a Certified Arborist.
- Pine bark spraying to be done as directed by a Certified Arborist.
- Root zones of preserved trees will have 6 inches of wood chips.
- Protective fencing to be installed by contractor prior to any excavation.
- Fertilize with calcium nitrate after tree work is finished.
- Watering to be done by contractor as directed by the Certified Arborist.
- No grade changes and trenching in drip line of trees without direction of the Certified Arborist.



Tom's Tree Service

P. O. Box 2495
Paradise, CA 95967-2495
Tel: (530) 877-6055
Fax: (530) 877-7773
Cell: (530) 520-TREE



Contractor's License
Number 652813

Date: 2-13-12

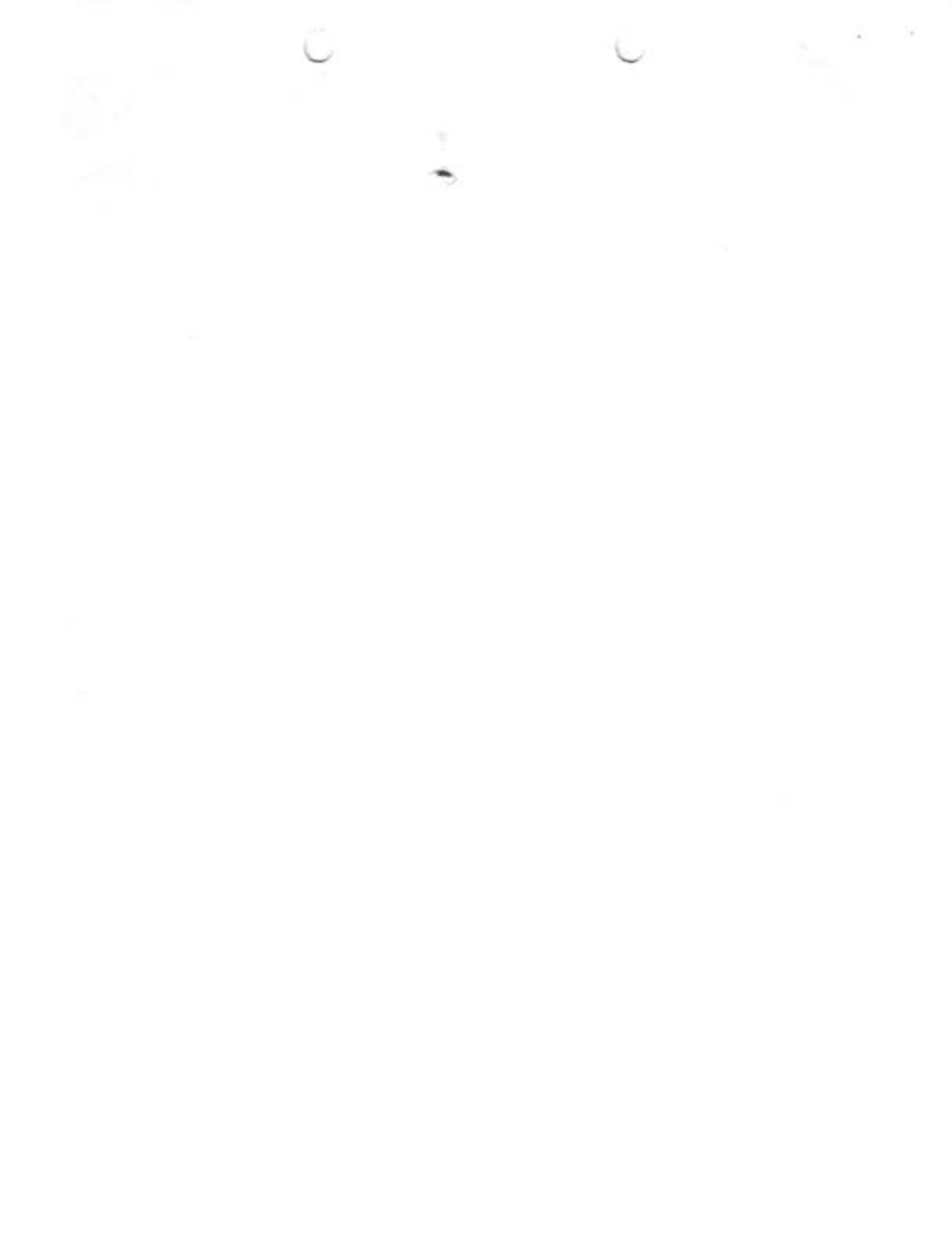
To: Town of Paradise

From: Tom Gomez, Certified Arborist

Number of Pages: _____

Message: I have been retained by William Martin for
6983 Pentz Rd project, A.P.# 050-082-023 AS
the onsite arborist.

Tom Gomez
2-13-12



Hagop Tatian

From: Town of Paradise Public Records <support@nextrequest.com>
Sent: Thursday, November 3, 2022 2:12 PM
To: Hagop Tatian
Subject: [Document Released to Requester] Town of Paradise public records request #22-109

-- Attach a non-image file and/or reply ABOVE THIS LINE with a message, and it will be sent to staff on this request. --

Town of Paradise Public Records

Documents have been released for record request #22-109 along with the following message:

please see additional documents. Due to copyright all engineers site plans have been redacted. These can be viewed at the Building Resiliency Center.

- [ONSITE INFO001.pdf](#)
- [Building info001.pdf](#)
- [PL12-00073 UP - COMMUNITY CARE FACILITY001.pdf-redacted.pdf](#)
- [TUP LAYDOWN YARD001.pdf](#)

[View Request 22-109](#)

<https://townofparadiseca.nextrequest.com/requests/22-109>

Document links are valid for one month. After December 3, you will need to sign in to view the document(s).



The All in One Records Requests Platform

Questions about your request? Reply to this email or sign in to contact staff at Town of Paradise.

Technical support: See our [help page](#)

Too many emails? [Change your email settings here](#)

050-082-023

050-082-023 96 0199
MODRELL GARY WAYNE
6983 PENTZ RD
TYPE: B ISSUED: 03/25/96
CNTR:
FINAL: 5/28/96

6983 PENTZ RD

050-082-023 PERMIT 2006 398 05/30/2006
POWELL JAY W & JOYCE L FAMILY TRUST
6983 PENTZ RD PARADISE
DEMO OF BUILDING
POWELL JAY W & JOYCE L FAMILY TRUST
FINAL 11/17/06

TOWN OF PARADISE

5555 SKYWAY - PARADISE, CA 95969 * (530) 872-6291

Applicant: POWELL JAY W & JOYCE L FAMILY TRUST
Address: 1624 S COURT ST
VISALIA CA 93277 Ph: _____

Owner: POWELL JAY W & JOYCE L FAMILY TRUST
Address: 1624 S COURT ST
VISALIA CA 93277 Ph: _____

Contractor: POWELL JAY W & JOYCE L FAMILY TRUST
Address: _____
Ph: _____

State Lic: _____

Architect or Engineer Lic. #: _____

Job Site: 6983 PENTZ RD

Parcel Number: 050-082-023

Lot: _____ **Block:** _____ **Zone:** _____ **Use:** RS

Job Value: 1
Total Sq Ft: 1

Application Desc.: DEMO OF BUILDING
Description of Work: FIRE DEPT BURN DOWN

*1232A PER BRENT @
ASSESSORS 10/26/12 SW*

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Sec. 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____
Date _____ Contractor POWELL JAY W & JOYCE L FAMILY TRUST

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason, (Sec. 7031.5, Business and Code:) Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Sec. 7000) of Division 3 of the Business and Professions Code or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Sec. 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

[Signature] I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044., Business and Professions code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).

I am exempt under Sec. _____, B. & P.C. for this reason _____

Date _____ Owner _____

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Pol. Number: _____

(This section need not be completed if the permit is for one hundred dollars \$100 or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the labor Code, I shall forth with comply with those provisions.

Date _____ Applicant _____

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in section 3706 of the labor code, interest, and attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm under perjury that there is a construction lending agency for the performance of the work for which the permit is issued (Sec. 3097, Civ. C.)

Lender's Name: _____
Lender's Address: _____

FEES		
DESCRIPTION	FEE	REC.#
BUILDING PERMIT		
PLAN CHECK		
ENERGY		
ELECTRICAL		
PLUMBING		
MECHANICAL		
DEMOLITIONS		
INVESTIGATIVE		
OTHER		
MICROFILM		
SEISMIC		
GENERAL PLAN		
NEW TECHNOLOGY		
TOTAL FEES		
AMOUNT PAID		
BALANCE DUE		.00
<input type="checkbox"/> Cash		
<input type="checkbox"/> Check#		

NOTE: This permit expires in 365 days unless the project is under construction with no delay to exceed 365 days.

I certify that I have read this application and state that the above information is correct. I agree to comply with all City and County ordinances and State law relating to building construction and hereby authorize representatives of the municipality referred to herein, to enter upon the above mentioned property for inspection purposes.

5-30-06 _____
Date Applicant

5/30/06 _____
Date Building Official or Agent

NOTE: ALL WORK DONE UNDER THIS PERMIT MUST HAVE A FINAL INSPECTION.

187

The following is a list of the names of the persons who have been
 named in the report of the committee on the subject of the
 proposed amendment to the constitution of the State of New York.
 The names are arranged in alphabetical order.

JAY AND JOYCE POWELL FAMILY TRUST

1624 SOUTH COURT
VISALIA, CALIFORNIA 93277

TELEPHONE: (559) 625-4343

FAX: (559) 625-4346

May 26, 2006

CHIEF JAMES A BRESHEARS
PARADISE FIRE DEPARTMENT
767 BIRCH ST
PARADISE CA 95969

Re: Fire Training at 6983 Pentz Road, Paradise
Authorization to apply for demolition permit

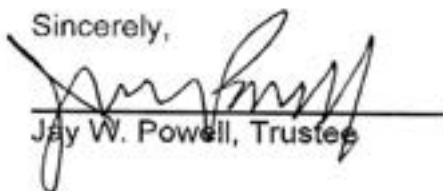
Dear Chief Breshears,

Our above-named family trust is the owner of the real property at 6983 Pentz Road, in Paradise. We have contracted with your department that will have a fire training exercise to remove the structures on the property.

You are hereby authorized to apply to the Town of Paradise or any other applicable government authorities for the necessary Demolition Permit so the structures can be removed.

If you or the Town of Paradise need anything further from us, please call me. Thank you.

Sincerely,



Jay W. Powell, Trustee

JWP mmb

050-090-023

111

111

111

GAS APPLIANCES		
Description	Date	Initials
Gas pipe size and support		
15 psi Gas Test - Gas Service Tag		
Gas Flex and Shutoff		
Combustion Air		
Appliance Venting		
Appliance Access and Working Space		
Attic/Underfloor Light		
Sesimic Bracing		
Electric Circuit		
Setback Thermostat		
Duct testing if equipment replaced / added		

SWIMMING POOLS		
Description	Date	Initials
Setbacks		
Service Drop Clearances		
Steel		
Bonding		
35# Pressure Test		
Underground Electrical		
Safety Glass Within 5'		
Light Niche		
Pool light(s) on GFI		
Barrier		
Backflow Device for Pool Filler		
Insulated Equipment Ground		
GFI 10' - 20' from pool - gen. purpose circuit		
Light/Receptacle Clearances		
Pool Heater		
Underground Gas		

COMMENTS

MOBILE HOMES		
Description	Date	Initials
Setbacks		
Clearance from (E) Buildings		
Footings		
Cripple wall framing		
Foundation System		
Main Beam Supports		
Marriage-line Supports		
Ducts off Ground		
Added Gas Pipe		
Added Drainage Pipe		
Continuity Test		
Manometer Test (10-15 in. w.c.)		
Underground Electrical		
Electrical Hookup		
Electric Service Tag		
Underground Gas		
Gas Hookup / no valve under home		
Gas Service Tag		
Underground Water		
Hose Bibb / Water Hookup		
Sewer Hookup		
Snow zone and climate zone verified		
HUD and VIN numbers		
Circuit Breakers Labeled		
Exits Completed		
Underfloor access and ventilation		
Address Numbers		

COMMENTS

TOWN OF PARADISE
 COMMUNITY DEVELOPMENT DEPARTMENT (BUILDING DIVISION)
 5555 SKYWAY, PARADISE - (916) 872-6286
 APPLICATION AND PERMIT

AP NO. 050-082-023	PERMIT NO. 96 0199	DATE APPLIED 03/25/96			
PROJECT LOCATION 6983 PENTZ RD					
PROJECT DESCRIPTION DEMO BARN					
JOB TYPE 649	CONSTR. TYPE	OCCUP. GROUP			
SQUARE FOOTAGE/VALUATION					
	SQUARE FEET	RATE	VALUATION		
CARPORT	0	_____	_____		
COVERED DECK	0	_____	_____		
UNCOVERED DECK	0	_____	_____		
RESIDENTIAL AREA	0	_____	_____		
NONRESIDENTIAL AREA	0	_____	_____		
GARAGE AREA	0	_____	_____		
TOTAL VALUATION			0.00		
OWNER INFORMATION:					
MODRELL GARY WAYNE 2141 CABRILLO AVE SANTA CLARA CA 95050		PHONE: 916/876-1142			
CONTRACTOR INFORMATION:					
STATE LICENSE NO. * OWNER *		PHONE:	EXP. DATE / /		
WORKER'S COMP. POLICY NO.			EXP. DATE / /		
WORKER'S COMP. COMPANY:					
FEES					
BUILDING	0.00	MECHANICAL	0.00	OTHER	0.00
PLANCHECK	0.00	SIGNS	0.00	MICROFILM	0.00
ENERGY	0.00	DEMOLITIONS	33.00	SEISMIC 1	0.00
ELECTRICAL	0.00	SWIMMING POOL	0.00	GENERAL PLAN	2.31
PLUMBING	0.00	PENALTY	0.00		
TOTAL					
CURRENT PMT:	35.31				
PAID TO DATE:	0.00				
BALANCE DUE:	35.31				
	0.00				

(SEE BACK PAGE FOR ADDITIONAL INFORMATION)

CONTRACTOR LICENSE LAW

I declare under penalty of perjury (check one):

- I am licensed under provisions of Chapter 9 Division 3 of the Business and Professions Code and my license is in full force and effect. License No. _____ Classification _____
- I, as the owner, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Sec. 7044)
- I, as the owner, am exclusively contracting with licensed contractors. (Sec. 7044)
- I am exempt under Sec. _____, Business and Professions Code for this reason: _____

WORKER'S COMPENSATION INSURANCE:

I declare under penalty of perjury (check one):

- The permit is for \$300.00 (valuation) or less.
- I have placed on file with the Town of Paradise Community Development Department a certificate of worker's compensation or a certificate of consent to self insure.
- I shall not employ any person in any manner so as to become subject to the workers compensation laws of California.

NOTICE TO APPLICANT: If after making this statement, should you become subject to the workers compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

SPECIAL NOTICE: Final inspection must be secured and certificate of occupancy issued before the building or structure is used/occupied. This permit becomes null and void if work has not commenced and the first inspection completed within 365 days from date of issuance; or if work is done in violation of any town or state laws relating thereto.

The owner/contractor has the sole responsibility in determining property line locations and the proper placement of all structures, septic tanks, leachlines, etc., on the lot. The owner/contractor will identify all pertinent lot lines prior to installing foundation forms, septic tanks, etc. All building inspection lot measurements will be made from surveyor's stake.

CERTIFICATION: I certify that I have read this application and state that the above information is correct. I agree to comply to all town ordinances and state laws relating to building construction, and hereby authorize representatives of the Town of Paradise to enter upon the above-mentioned property for inspection purposes.

I also agree to save, indemnify and keep harmless the town and its agents against all liabilities, judgments, costs and expenses which may in any way accrue against said agency in consequence of the granting of this permit.

X *Carroll Rodrell* Date: 3-25-96
Signature of Applicant - Owner _____ Contractor _____ Agent _____

ISSUANCE: This permit is hereby issued under the applicable provisions of the Paradise Municipal Code and/or resolutions to do the work for which fees have been paid.

By: *Lula Elrod* Date: 3-25-96
Expiration Date: 3-25-96

SPECIAL APPROVALS:

PLANNING DIVISION ENGINEERING DIVISION ENVIRONMENTAL HEALTH DEPARTMENT FIRE DEPARTMENT PUSD

Approved by:
Date:

REVISED: 7/92

STATEMENT RE ASBESTOS

This statement is required to be completed prior to permit issuance for any repair, replacement, alteration, remodeling, improvement, removal or demolition to any building, structure, service equipment or sign.

6983 PENTZ RD
Property Address

MODRELL, GARY
Property Owner

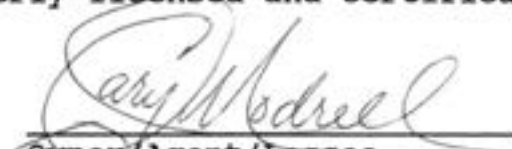
Plan No.

199.96
Permit No.

Tenant

O/B
Contractor

To the best of my knowledge, the work to be performed as authorized pursuant to the permit(s) for this project will not disturb 100* square feet or more of surface area of asbestos containing material. I understand that Section 7058.5 of the California Business and Professions Code requires that the removal of 100 square feet or more of surface area of asbestos containing materials must be done by parties properly licensed and certified to perform asbestos related work.



Owner/Agent/Lessee
3-25-96
Date

Contractor

Date

*EPA regulations apply to the removal of 80 square feet or more of asbestos containing materials. For further information, contact the Environmental Protection Agency at (415) 974-7551.



TOWN OF PARADISE

DATE 3-25-96AMOUNT 35³¹ FROM GARY MORDELL

OFFICIAL RECEIPT

71769

RECEIVED BY JLFOR BIP 199.96

CASH

CHECK # 4990

ACCOUNT	AMOUNT	ACCOUNT	AMOUNT
01-3400-002	33 ⁰⁰		
15-3400-031	2 ³¹		

AP 050-082-023

NOTICE TO PAYER: Check this receipt carefully. It is your proof of payment to the Town of Paradise. If the receipt is incorrect, notify the finance office immediately.

TOWN OF PARADISE

NOV 20 1978

71769

CHIEF OF POLICE

RAY K. BELL

NOV 20 1978

PL

DATE	DESCRIPTION	AMOUNT	BALANCE
11/15/78	PL	100.00	100.00
11/16/78	PL	100.00	200.00
11/17/78	PL	100.00	300.00
11/18/78	PL	100.00	400.00
11/19/78	PL	100.00	500.00
11/20/78	PL	100.00	600.00
11/21/78	PL	100.00	700.00
11/22/78	PL	100.00	800.00
11/23/78	PL	100.00	900.00
11/24/78	PL	100.00	1000.00
11/25/78	PL	100.00	1100.00
11/26/78	PL	100.00	1200.00
11/27/78	PL	100.00	1300.00
11/28/78	PL	100.00	1400.00
11/29/78	PL	100.00	1500.00
11/30/78	PL	100.00	1600.00

NOV 20 1978

PLEASE TO KEEP ONLY ONE COPY OF THIS CHECK. IF YOU HAVE MORE THAN ONE COPY, YOU MUST DESTROY ALL OTHER COPIES.

STATEMENT RE ASBESTOS

This statement is required to be completed prior to permit issuance for any repair, replacement, alteration, remodeling, improvement, removal or demolition to any building, structure, service equipment or sign.

6983 PENTZ RD
Property Address

MODRELL, GARY
Property Owner

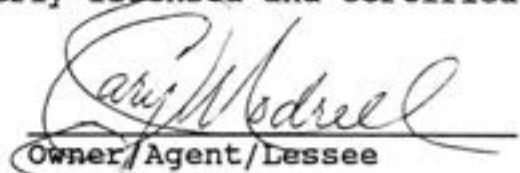
Plan No.

199.96
Permit No.

Tenant

O/B
Contractor

To the best of my knowledge, the work to be performed as authorized pursuant to the permit(s) for this project will not disturb 100* square feet or more of surface area of asbestos containing material. I understand that Section 7058.5 of the California Business and Professions Code requires that the removal of 100 square feet or more of surface area of asbestos containing materials must be done by parties properly licensed and certified to perform asbestos related work.


Owner/Agent/Lessee

3-25-96
Date

Contractor

Date

*EPA regulations apply to the removal of 80 square feet or more of asbestos containing materials. For further information, contact the Environmental Protection Agency at (415) 974-7551.

MISCELLANEOUS STRUCTURES

DECKS, COVERS, CARPORTS & GARAGES	POOLS
1. Zoning Requirements-Setbacks-Easements	1. Setbacks-Easements
2. Footings; Soils-Size-Dpth-Spcg-Steel-Conn.	2. Soils; Compaction-Structure-Stability
3. Decks; Grdrs-Jsts-Dckg-Stairs-Rails-Brcq.	3. Pool Structure; Steel-Connections-Thickness -Dead Men-Lining
4. Wood Awn.; Posts-Beams-Rafters-Connec. Sheathing-Roofing-Bracing	4. Elec.; Receptacles & Lighting, Distances-GFI
5. Alum. Awnings; Columns-Connections- Splice-Decals-Enclosures	5. Elec.; Pool Lighting; 15 Volts-GFI
6. Carports; Windows-Doors	6. Elec; Enclosures; Conduit Entries-Terminals
7. Electric; GFI-Weatherproof	7. Elec.; Bonding; Metal w/5' Circ. Equip-Heater
8. Frmg; Sills-Anchors-Studs-Rfters-Trusses-Ties	8. Elec.; Grndg; Equip. w/5'-Circ. Equip.-Pool Ltg
9. Siding; Nailing-Veneer-Stucco-Mesh	9. Plumb.; Cir. Test-Water Supply Test
10. Roof; Sheathing-Roofing-Certificate	10. Fencing-Gate Requirements
11. Exterior; Steps-Doors-Stairs-Rails-Landings	

MOBILE HOMES

MOBILE HOME UTILITIES	MOBILE HOME INSPECTION
1. Zoning Requirements-Setbacks-Easements	1. Zoning Requirements-Set-backs Easemnt
2. Soils; Special MH Support-Sketch	2. Footings; Size-Spacing-Marriage Line
3. Sewer; Location-Test Fall-C/O-Concrete	3. Gas; MH Test-Demand-Valve-Connector
4. Water; Location-Test	4. Elect.; MH Test-Xover-Bkrs-Clearances
5. Elec; Location-Cirnc-Grnd.-Concrete	5. Drain; MH Test-Fall-Flex Connector
6. Gas; Location-Test-Wrap-Size/	6. Water; MH Test-Regulator-Connector
7. Utility Clearance	7. Water & Sewer Connected-C/O to Grade
	8. Exits; Stairs; Rise-Run-Landings
	9. Gas & Electricity Tagged-Cert./Occ.

199.96

050-082-023 96 0199

MODRELL GARY WAYNE

6983 PENTZ RD

TYPE: B ISSUED: 03/25/96

CNTR:

FINAL: 5/28/96

NOTES:

POSTED — UNLAWFUL TO OCCUPY DATE:

Temp. Power Pole _____

Temp. Elec. Service _____

Temp. Gas Service _____

JOB FINALED (Date) 5-28-96

Signature *[Handwritten Signature]*

NOTED AREA WHERE A BARN
MAY HAVE BEEN - PRESENTLY
BRAKED. STILL ONE BARN-
LIKE STRUCTURE ON PROP.
NO PLANS

	INSP/DATE		INSP/DATE
FOUNDATION		FRAMING	
1. Zoning-Setbacks-Easements-Slope		43. Sills; Materials-Anchors	
2. Anchor Bolts-Hold Downs		44. Walls Studs; Nailing-Spacing-Bracing-Plates	
3. Ftg., Main-Soils-Steel-Ufer-Ftg. Depth		45. Bearing Walls Over Girders-Floor Nailing	
4. Ftg., Garage-Soils-Steel-Ftg. Depth		46. Draft Stops; Walls-Ceilings	
5. Ftg., Porches & Decks-Soils-Steel-Ftg. Depth		47. Fire Stops; Furred Ceilings-Stairs-Chases-Tub	
6. Stemwalls, Main-Steel-Blockouts-Wrapped		48. Headers & Beams; Size-Bearing	
7. Stemwalls, Garage-Steel-Blockouts-Wrapped		49. Hangers-Post Caps-Anchors-Connectors	
8. Slab, Steel-Wrapped		50. Cig. Joist-Rftr. Ties-Purlin-Roof/Bracing	
9. Piers-Fireplace, Ftg.-Steel		51. Trusses; Girder-Bearing-Brcg.-Connections	
		52. Roof; Shthg.-Flashing-Roofing-Fire Retard.	
UNDERFLOOR		53. Fireplace; Ties-Throat-Clearances-Type A Flue	
10. D.W.V., Fall-Fittings-Test-C/O-Sewer Test		54. Attic Access; Size-NM Cable Protect-Drft. Stop	
11. Gas Pipe, Size-Anchors		55. Bdrm Egress; Window-Door-Sill Ht.-Dimensions	
12. Water Pipe, Test-Anchors-Regulator		56. Garage Fire Protection-Self Clsg Door	
13. Electric Underground		57. Ext. Doors-One 3'-Garage-3rd Story; 2 Exits	
14. Plenums & Ducts, Clearance-Material-Support		58. Stairs; Width-Hdrm-Rise-Run-Landing-Fire Prot.	
15. Girders-Sills-Anch Bolts-Joists-Vents-Cripples		59. Ventilation; Attic-Underfloor-UF Access	
16. Ties-Splices-Special Connectors		60. Siding; Nailing-Veneer-Bracing	
17. Wood/Earth Clearance		61. Stucco; Mesh-Screed-Foam Prot.	
18. OK to: Pour Cover		62. Glazing Area-Glass Prot.-Skylights-Plastic	
		63. Shear Walls; Nailing-Bolting-Spec. Connectors	
		64. Infiltration-Walls-Windows	
PLUMBING		FINAL	
19. Water Ht., Vent-Access-Comb. Air-Baffle		65. Smoke Detector-Bedroom Exiting	
20. Water Pipe, Test-Anchors-Nail Protection		66. Furnace; Vents-Clearance Comb Rating-Air Connector In Garage; Above Floor Ducts-Mech. Protect.	
21. D.M.V.; Test-Fittings-Anchors-Nail Protection		67. GFI-Bath Fixtures-Tub Access-Spa	
22. Shower Pan; Test-First Floor-Tub Access		68. Elec. Trim-Subpanel-Brkr Sizes-Label	
23. Test Tub & Shr., 2nd Floor-Tub Access		69. Ext. Steps-Doors-Stairs-Rails-Openings	
24. Gas Pipe; Size & Anchors		70. Landings-Guard Rails-Deck-Const.-Post Caps	
25. Metal Plumbing thru Firewall		71. Stairs & Rails-Openings	
		72. Kit-Fixt.-Appl-Grnd-Air Gap-Cook Clnce.	
ELECTRICAL		73. Kit.; Recept.-Outlets-GFI	
26. Light Fixture Clearances/Protection		74. AC Duct in Garage; Damper	
27. Receptacle Spcg.-Lights & Switches & Doors		75. Garage Fire Door; Swing-Landing-Closer	
28. Boxes; Size / Conductors-Firewall-Stapled		76. Elec. Recept. in Garage; GFI-NM Protection	
29. NM Conductors; Edge Protection @ Studs-Joists		77. Wtr. Htr; Vents-Clnce-Comb. Air-Connector-PRV In Garage; Above Fir.-Mech. Protc.-Strapped	
30. Equip. Grnd.; Mech. Fasteners-Bond Gas & Water		78. Plumb.-Elect.-Mech. Equip. Listed for Loc.	
31. Kit.; 2 Appliance Circuits-GFI		79. Fireplace or Stove; Clearances-Hearth	
32. Service; Riser & Ground-Main Disconnect		80. Attic; Insulation-Foam-Ventilation	
33. Clothes Closet Light-Shower Light-Spa Light		81. Fnd. Vents-U/Floor Access-Wood/Earth Sep.	
34. Smoke Detector		82. Grading-Drainage-House Numbers Installed	
		83. A.C. Unit; Disconnect-Electrical-Plumbing	
MECHANICAL		84. Vent Terminals; Plumb.-Appliance-Fireplace	
35. A.C. Ducts; Insulation & Support		85. Exterior Elect.; Trim-GFI-Service Labels	
36. Vent Fan; Exhaust to Outside		86. Ext. Plumb.; Water-Sewer-C/O-B/Flow Prev.	
37. Furnace; Vent-Access-Air; Return-Comb.-115 Out.		87. Glass & Sidelight Protect./Tub Enclosure	
38. Furnace in Attic; Access-Light-Platform		88. Corrections From Previous Inspections	
39. Condensate; Drain-Overflow-Size-Grade-Outside		89. Gas Test-Meters Tagged; Gas-Electric	
		90. Certificates; Energy-Insulation-Roofing	
INSULATION		91. Dept. Clearances; Plng.-Engr.-Hlth.-Fire	
40. OK to Insulate: Underfloor-Walls-Ceiling		92. Low Flow Water Closet	
41. OK to Cover: Underfloor-Walls-Ceilings		93. Septic Tie-In; Water Pressure Regulator	
42. Installed: UFir/ /Walls/ /Cig/ /Baffles			

NOTE TO FILE:

On November 27, 2006 I spoke with Pam at the Butte County Assessor's Office. Their records show the following:

Residence	1232 sq. ft. (demo permit finalized 11/17/2006)
Barn	Not valued, no sq. ft. (demo permit finalized 5/28/1996)

Kari Eurotas
CDD/PW Projects Coordinator

ESTIMATE OF BUILDING PERMIT & OTHER
ASSOCIATED FEES FOR
GRAND SIERRA LODGE, AP# 050-082-023

FILE COPY
10/26/12

FEES DUE AT TIME OF PLAN SUBMITTAL:

Onsite Wastewater Division Fee	\$1421.78 (engineered system)
Building Plan Check Fee	\$10,003.32
Design Review	\$0 (free with Use Permit)

PERMIT ISSUANCE FEES:

Building Permit	\$14,997.25
Fire Sprinkler Plan Review	\$1464.00
Development Impact Fees	\$14,437.60 (includes demo credit)
School Assessment Fee	\$8388.24 (\$0.42 per sq ft)
Paradise Rec & Park District Fee	\$0
Driveway Encroachment Permit Fee	\$50.40 filing fee + 5% of engineer's estimate (Exhibit D – attached)
Grading Fee	\$465.62 (Geo-technical report required)
On/Offsite Improvement Plan	4% of engineer's estimate of improvements
Drainage Plan & Calculation Review	PAID
Engineered Site Plan Review	\$322.56
Erosion Control Plan Review	\$322.56
Landscaping Plan Review	\$241.92
Tree Felling Permit	\$270.44 (12 trees)
Tree Preservation/Protection Plan	\$106.40

TOTAL PROJECTED FEES **\$52,492.09 (+ additional for engineer's estimates)**

FILE COPY

EXHIBIT "D"
TOWN OF PARADISE
ENGINEERS ESTIMATE OF UNIT COSTS
Revised 1/16/06

A. ROADWAY

Clearing and grubbing	\$7,000.00/Acre
Roadway Excavation	40.00/CY
Import Fill	40.00/CY
Class 2 Aggregate Base	55.00/CY
Asphalt Concrete Type B	95.00/T(includes fog seal, prime coat, sand cover)
Place A.C. Dike	25.00/LF
Curb and Gutter	35.00/LF
Sidewalk	8.00/SF
Concrete Driveway	15.00/SF
S-5 Pedestrian Ramp	1,500.00/EA
Asphalt Driveway	750.00/EA
2"A.C. Trench Restoration	14.00/SF (road structural section only)
2"A.C. Overlay	1.25/SF
Single Chip Seal	0.45/SF
Double Chip Seal	0.75/SF
3"A.C. Trench Restoration	16.00/SF (road structural section only)
Sawcut	1.25/per inch depth per foot

B. DRAINAGE

		<u>Flared End Section</u>
12" Pipe	\$ 63.00/LF	\$217.00/EA
15" Pipe	70.00/LF	289.00/EA
18" Pipe	86.00/LF	362.00/EA
21" Pipe	101.00/LF	433.00/EA
24" Pipe	159.00/LF	506.00/EA
27" Pipe	159.00/LF	506.00/EA
30" Pipe	173.00/LF	506.00/EA
36" Pipe	173.00/LF	722.00/EA
42" Pipe	190.00/LF	722.00/EA
48" Pipe	223.00/LF	867.00/EA
54" Pipe	317.00/LF	867.00/EA
60" Pipe	477.00/LF	1011.00/EA
72" Pipe	722.00/LF	1300.00/EA
Type GO DI	2456.00/EA	
Type GO DI S-8A	2889.00/EA	
Type C Inlet	2022.00/EA	
Manhole	3467.00/EA	
Grouted Cobble Ditch	15.00/SF	
Catch Basin Onsite	1229.00/EA	

C. SIGNS AND STRIPING

S-30 Barricades 6 X 49	\$940.00/EA
Handicapped w/sign	289.00/EA
Paint Regular Parking	18.00/EA
Street Sign	289.00/EA
Stop Sign w/bar & legend	867.00/EA

NOTE: The above are for "Average Conditions", and are based upon historical Town of Paradise Public Works bid tabulations. In the event of unusual site conditions such as rock excavation, etc., the unit prices should be adjusted accordingly.

Building Permit ID: BPH08477

Menu +S Add Delete Void Invoice ReCalc ? Help

Go To Fee (17)

Fee Calc. Factor: Job Value(Calculator)\$2,935,884.00 Fee Total \$26,464.57

Invoice #	Fee Item	Quantity	Unit	Fees	Date Assessed	Status	Subororp	Adjusted	Fee Code
	General Plan		Each	\$1,557.29	10/25/2012	NEW	GP		GEN_PLAN
	Building Permit	1	Each	\$12,667.40	10/25/2012	NEW	TF,GP		BLDG
	Building Permit Valuation...	1	Each	\$118.00	10/22/2012	NEW			BLDGV
	Building Permit Issuance	1	Each	\$38.00	10/25/2012	NEW	TF,GP		BLDGI
	Plan Check	1	Each	\$8,227.95	10/24/2012	NEW	GPH...		POIK
	Plan Check - Energy	1	Each	\$38.00	10/24/2012	NEW	GP,TF		POKE
	General Plan - Plan Check		Each	\$987.36	10/25/2012	NEW	GPH		GEN_PLANH
	Technology Fee - Plan Check		Each	\$750.00	10/24/2012	NEW	TFH		TECHN
	Strong Motion Instruments...	1	Each	\$616.56	10/24/2012	NEW			SMSPNR
	Building Permit and Const...	1	Each	\$234.00	10/24/2012	NEW	FTF,GP		FDBPCR02
	Building Permit and Const...	1	Each	\$195.00	10/24/2012	NEW	FTF		FDBPCR10
	Building Permit & Const S...	1	Each	\$156.00	10/24/2012	NEW	FTF		FDBPCR33
	Building Permit & Const S...	1	Each	\$99.00	10/24/2012	NEW	FTF		FDBPCR40
	Fire Inspection (Res at P...	1	Each	\$234.00	10/24/2012	NEW	FTFI		FDINSPECT02
	Fire Inspection (Res at P...	1	Each	\$234.00	10/24/2012	NEW	FTFI		FDINSPECT10
	Fire Insp (Res at Permit...	1	Each	\$234.00	10/24/2012	NEW	FTFI		FDINSPECT33
	Fire Insp (Res at Permit...	1	Each	\$78.00	10/24/2012	NEW	FTFI		FDINSPECT40

14,999.25
BLDG PMT

10,003.32
PLAN CHECK

1464.00
FIRE

NO:
 • TECH FEE FOR BLDG PMT
 • FIRE TECH FEE
 • FIRE Insp. TECH FEE

My Tasks

Workflow Task and Inspection Searching
 Menu Assign ? Help Data Filter: Building My QuickQueries --Select--

PARADISE

Susan Hartman Alerts (0) Sign Out

- HOME
- NAVIGATION ▾
- MAPS ▶

HELP ▶

[Home](#) |
 [My Tasks](#) |
 [Inspection](#) |
 [Reports](#) |
 [Misc](#) |
 [Addresses](#) |
 [Parcels](#) |
 [Professionals](#) |
 [Contacts](#) |
 [Owners](#) |
 [Batch Pay](#)

Record

Menu
 Search
 New
 Reports
 Help
 My QuickQueries --Select--
 Module Building

1

Permit #	Parcel #	Number	Street Name	Description	Opened	Status	Status Date
BPH08-477		5555	SKYWAY	TEST APPLICATION	07/31/2008		

Building Permit ID: BPH08-477

Submit
 Add
 Delete
 Cancel
 Help

+ Go To **Valuation Calc (1)**

Multiplier	1.0000	Extra Amount	0.00	Total Job Value:	\$2,935,884.00
------------	--------	--------------	------	------------------	----------------

Occupancy	Unit Type	Unit Amount	Unit	Unit Cost	Job Value
Homes for the Elderly	Type V - 1 Hour	19972	Sq Ft	\$147.00	\$2,935,884.00
				Total Job Value:	\$2,935,884.00

**TOWN OF PARADISE
DEVELOPMENT IMPACT FEE CALCULATION SHEET**

Category		Community Service	
Owner		AP No.	050-082-023
Location	6983 PENTZ RD	Application No.	
Developed Area		Apply +308 CREDIT TO EACH ACCT	
Building Area			
Parking Area	Refer to attached parking facility		
Total Bldg Area	19972	\$.80 / s.f.	15,977.60
	1232# @ 1.25/d HOUSE	Less Credits	1,540.00
		DIF Fee	\$ 14,437.60
51-3434	Road Improvements		
	\$.32 / s.f. + +308 CREDIT		6083.04
52-3434	Signal Improvements		
	\$.02 / s.f. + +308 CREDIT		91.44
-3434	Drainage Improvements PENTZ 1 / PENTZ 5		
	\$.38 / s.f. + +308 CREDIT		7281.36
54-3434	Police Facilities		
	\$.04 / s.f. + +308 CREDIT		490.88
55-3434	Fire Facilities		
	\$.04 / s.f. + +308 CREDIT		490.88
Application No.			
AP No.		Receipt No.	
Road Improvements [\$19,200 maximum cap]		51-3434	
Signal Improvements [\$ 1,200 maximum cap]		52-3434	
Drainage Improvements		-3434	
Police Facilities		54-3434	
Fire Facilities		55-3434	

Home for THE ELDERLY
TYPE V-1 HR

MAILED TO APPLICANT
ON SEPT. 20/2012
CS

TOWN OF PARADISE USE PERMIT

DATE: July 25, 2012

USE PERMIT NO. PL12-00073

ASSESSOR'S PARCEL NO. 050-082-023

Pursuant to the provisions of the Zoning Ordinance regulations of the Paradise Municipal Code and the conditions set forth below:

Bill and Ann Martin are hereby granted a conditional use permit in accordance with a written request filed on March 21, 2012, authorizing the establishment of a 19,972 square foot community care (assisted living) facility consisting of one single story building containing thirty bedrooms, along with related site improvements on a vacant +/-1.66 acre property located at 6983 Pentz Road in Paradise and further identified as Assessor Parcel No. 050-082-023.

GENERAL CONDITIONS OF USE PERMIT APPROVAL

1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
2. Unless otherwise noted, it shall be the sole responsibility of the project developer to implement, monitor and fulfill the requirements of all conditions assigned to this use permit.
3. All work within the Pentz Road public right of way is subject to Town issuance of an encroachment permit, which will require that the contractor be properly licensed and bonded with the Town of Paradise.
4. Establish and maintain on-site parking facilities and pavement markings in accordance with all town parking ordinance regulations and the requirements of the Town Engineer.
5. Outside light fixtures associated with the project shall be designed to not exceed a height of sixteen feet above finished grade and shall be shielded to prevent the direct projection of light onto adjoining and nearby properties.
6. If any archaeological resources are uncovered during project construction activities, all work shall stop in the area of the find until a qualified archaeologist provides an appropriate evaluation of the discovery.

7. Minor changes to the interior and/or exterior design of the project may be approved administratively by the Town Planning Director upon submittal of a written request for such changes, if the requested changes are consistent with the overall intent of the project and its approval action. Any requested changes deemed by the Planning Director to be major or significant shall require a formal use permit modification review and the payment of the appropriate processing fees.
8. Pay development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.

CONDITIONS TO BE MET PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

ROADS AND ACCESS

9. Submit and secure Town Engineer approval of six (6) copies of design plans for the construction of public street improvements along the Pentz Road frontage of the site in accordance with the requirements of the Town Engineer. Pay appropriate fees, provide the appropriate bonds and insurance certificates, obtain town issued encroachment permit and construct all design-approved work in the right of way (including driveway approach and utility connections). All design features shall meet ADA requirements, Town ordinances, accepted engineering standards and the requirements of the Town Engineer. Street frontage and driveway improvement plans must be approved **PRIOR** to the construction or installation of the required facilities.
10. If deemed necessary by the Town Engineer, deed sufficient right-of-way along project frontage of Pentz Road to the Town of Paradise to provide a minimum of 2.5 feet clear public right-of-way behind new or existing street improvements.

DRAINAGE

+ 387.52 \$/15/12

11. Provide a final design solution for drainage per requirements of the Town Engineer and the **INTERIM DRAINAGE DESIGN GUIDELINES prepared April 2, 1998**. Drainage facilities shall be designed in a manner that provides for the establishment of all necessary drainage improvements to accommodate existing and additional project induced drainage flows without generating any off-site adverse effects.

SANITATION

12. Complete the requirements of the Town Onsite Sanitary Official concerning application, final system design, and issuance of permit approvals for installation of a sewage treatment and disposal system improvements to serve all proposed facilities. Provide evidence thereof to the Town Development Services Department (building safety division).

SITE DEVELOPMENT

13. Submit three (3) copies of a detailed engineered site development and improvements plan showing all project improvements and facilities as proposed and required. Plans shall be prepared by a registered civil engineer (including final parking facility design and site drainage design) and submitted to the Public Works Department (engineering division) for review and approval. Pay required site plan checking fee. Construction and drainage improvement plans must be approved **PRIOR TO CONSTRUCTION** or installation of the required facilities.
14. Provide directional signs and pavement markings requiring one-way traffic flow for the on-site parking facility in a manner deemed satisfactory to the Town Engineer. Signs and markings shall designate the south driveway encroachment as an entry only and the north driveway as an exit only.
15. Show all easements of record on the site development and improvements plan as well as a fifty-foot building setback line measured from the centerline of Pentz Road. Show a minimum 25-foot setback between storm drainage facilities and leach fields (primary and replacement).
16. Apply for and secure Town issuance of a grading permit satisfying all Engineering Division requirements and the current town adopted edition of the Uniform Building Code. Pay applicable grading permit fees per current fee schedule.
17. Properly abandon or relocate any easements that conflict with the design of the project.
18. Submit a detailed storm water pollution prevention plan (**SWPPP**) to the State Regional Water Quality Control Board (along with the appropriate filing fee). Provide a copy of this approved plan to the Town of Paradise prior to initiation of grading activities.
19. Submit a detailed soil erosion prevention plan to the Town Public Works Department for approval by the Town Engineer **PRIOR** to the start of any earthwork. Show all erosion

control devices and sedimentation basins required by Paradise Municipal Code Section 15.04.280.

20. Submit a detailed dust emissions control plan to the Town Public Works Department for approval **PRIOR** to the start of any earthwork.
21. Meet the requirements of the Town Building Official/Fire Marshal regarding submittal of construction plans, interior automatic fire sprinkler plans, building permit applications, and all applicable Town adopted construction and fire code requirements.

FIRE PROTECTION

22. Meet the project requirements of the building safety services division development review comments/conditions dated May 30, 2012 that are required to be fulfilled prior to the issuance of a building permit and any revisions thereto on file with the Town Development Services Department.

WATER

23. Meet all requirements of the Paradise Irrigation District () in accordance with written project review comments received from staff dated March 22, 2012 and any revisions thereto on file with the Town Development Services Department. Provide material evidence of having fulfilled this condition to the Town Development Services Department (building safety division).

CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATES OF OCCUPANCY

ROADS AND ACCESS

24. Construct and install required project site frontage improvements in accordance with approved frontage improvement plans
25. Submit reproducible "as-built" improvement plans for Pentz Road street improvements.

SITE DEVELOPMENT

26. Construct all necessary site, drainage, access, wastewater treatment/disposal and other facilities improvements as required by the Town Engineer and the Town Onsite Sanitary Official. All construction shall be in conformance with generally acceptable engineering and construction practices.

27. **Submit landscaping plans and application fee** to the Development Services Department (planning division) in accordance with Paradise Municipal Code requirements. **IMPORTANT NOTE:** No final building inspection or occupancy shall be permitted until the landscape plans for the project have been formally approved by the Town of Paradise and landscape materials have been installed (or bonded to guarantee installation).
28. Meet the requirements of all other utility providers regarding the extension or relocation of utility service lines and the establishment of any necessary on site utility easements.
29. Meet the requirements of Northern Recycling and Waste Systems (NRWS) regarding the design and function of the solid waste/recycling enclosure and provide evidence thereof to Town Development Services Department (building safety services division) staff.

FIRE PROTECTION

30. Meet all other project requirements of the building safety services division development review comments/conditions dated May 30, 2012 and any revisions thereto on file with the Town Development Services Department.

SANITATION

31. Meet the requirements of Town onsite sanitation staff regarding inspection and approval for the construction and final design of the onsite sewage disposal system.

CONDITIONS TO BE MET PRIOR TO ISSUANCE OF TREE FELLING PERMIT

32. Secure the issuance of a Town approved **tree-felling permit** prior to felling any qualifying trees.
33. Secure official Town Public Works Director approval for detailed and engineered project improvement plans (including drainage plans), a Town onsite septic system construction permit and submit building plans for the Grand Sierra Lodge development project.
34. Submit and secure Town Planning Director review and approval of a professionally produced **"Tree Protection Plan"** for the proposed project that provides for existing tree protection measures (fencing, etc.); prior to the commencement of ground disturbance site work (grading, etc.) for the project.

35. All qualifying trees proposed to be retained and any native saplings proposed to be retained on the site as replacement trees shall be protected during construction activities in a manner consistent with the Town of Paradise Suggested Practices for Protection of Trees on Commercial, Quasi-Public and Multi-Family Residential Construction Sites.
36. A certified arborist shall be engaged by the applicant to oversee the employment of tree protection measures during all related project site improvements construction that has the potential to effect trees to be retained.
37. The required landscape plan for the proposed Grand Sierra Lodge development project shall include provisions for the planting of all required replacement trees on-site and within each landscape area, particularly in areas adjacent to residential land uses and in areas plainly visible from Pentz Road. A minimum of fifty percent of required replacement trees shall be conifer species. Tree plantings shall be selected and ultimately approved by the Town for inclusion within the landscape plan primarily based upon their ability to provide summer shade for the project site. Smaller ornamental tree species (i.e. dogwood, crepe myrtle) shall not be considered suitable for purposes of replacing native trees on the site.
38. The approval action of this tree felling permit application shall only be valid and in effect for three years (36 months) past its conditional approval date.

DATE APPROVED BY THE PLANNING COMMISSION: July 17, 2012

NOTE: Issuance of this use permit does not waive requirements of obtaining building and sanitation division permits before starting construction or operation, nor does it waive any other Paradise Municipal Code requirements.



Craig Baker
Planning Director

USE PERMIT EFFECTIVE DATE: July 25, 2012

OCT 22 2012

RECEIVED



Town of Paradise

5555 Skyway Paradise, CA 95969

Bus: (530) 872-6291, Fax: (530) 877-5059 www.townofparadise.com

**REQUEST FOR
PERMIT FEE ESTIMATE**

FAX TO: (530) 877-5059

Date of request 10-22-12

Person requesting information William Martin Phone # 530 520 5170

The estimated fee will be based on the following information. Accuracy is very important.

Assessor's Parcel Number:	<u>050-082-023</u>
Address if APN is not available or good description of location:	
Type of construction: (commercial only)	<u>Wood frame; Slab on Grade</u>
Total square footage of building:	<u>19,972</u>
Total number of living units: (residential only)	<u>30 bd.</u>
Manufactured Home:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Please break down the uses that will occur within the structure:

COMMERCIAL – office, warehouse, industrial plant, etc.

RESIDENTIAL – dwelling, garage, shop, decks, etc.

Uses within building:	<u>Bedrooms</u>	<u>Admin.</u>	<u>Common</u>	<u>Kitchen</u>
Square footage of each use:	<u>10,080</u>	<u>950</u>	<u>8,342</u>	<u>600</u>

To Community Development Department:

Please **e-mail** the estimate to: grandsierralodge@gmail.com (e-mail address)

Please **fax** the estimate to: Name: _____ Fax: _____

Please **mail** the estimate to: Name: William Martin
Address: PO Box 2035
City Paradise Zip Code: 95967

Date estimate given _____ By _____



TOWN OF PARADISE

5555 Skyway
Paradise, CA 95969
(530) 872-6291

Receipt Number: 9695
Permit Number: BP12-00535
Permit Type: Building\Commercial\New Building\NA
Permit Description: BUILD FEE ESTIMATE
Parcel Number: 050-082-023-000
Address: 6963 PENTZ RD, PARADISE, CA 95969

Receipt Date/Time: 10/22/2012 1:18:19 PM

Payment Amount: \$85.12
Payment Status: **Paid**
Payment Method: Check 2386 \$85.12
Paid By: WILLIAM MARTIN
Received By: DCOOK
Comments:

Contacts: Applicant WILLIAM MARTIN
PO BOX 2035
PARADISE, CA 95967

Contacts: Primary Contact WILLIAM MARTIN
PO BOX 2035
PARADISE, CA 95967

TOWN OF PARADISE COMMUNITY DEVELOPMENT DEPARTMENT
5555 SKYWAY, PARADISE - (530)872-6291
TREE FELLING APPLICATION/PERMIT

AP NO. 050-082-023	PERMIT NO. P16-00127	DATE: 4-20-16
PROPERTY ADDRESS: 6983 Pentz		
PROJECT DESCRIPTION (attach additional sheet(s) if necessary)		
NUMBER OF TREES: 2 TYPE OF TREES: Black Oaks		
DIAMETER OR CIRCUMFERENCE OF TREES (at 54" above grade):		
DATE FELLING SHALL START:		
CONSTRUCTION PERMIT NO(S):		DATE ISSUED:
PURPOSE OF REMOVAL: In decline		
TREE FELLING PERMIT HISTORY FOR PROPERTY:		
OWNER INFORMATION:		
NAME: Bill Martin		TELEPHONE NUMBER:
ADDRESS: STREET NUMBER/NAME: 6983 Pentz		
CITY/STATE/ZIP: PAR		
CONTRACTOR INFORMATION:		
NAME: Tom's Tree Service		TELEPHONE NUMBER: 877-6055
ADDRESS: STREET NUMBER/NAME: P.O. Box 2495		
CITY/STATE/ZIP: Paradise, CA		
PERMIT FEE \$ 69.73		TREE REPLACEMENT FEE \$ 0
RECEIPT NO. 22145		

PLOT PLAN (Show Streets, Structures and Tree(s) in space provided below.)

If this permit application is for five (5) or more qualifying trees, submit a separate plot map drawn to scale.



(SEE BACK PAGE FOR ADDITIONAL INFORMATION)

CONTRACTOR LICENSE LAW: I declare under penalty of perjury (check one):

- I am licensed under provisions of the Business and Professions Code and my license is in full force and effect. License No. 652813 Classification D-49
- The contracted service price is \$500.00 or less and the owner has provided written disclosure as per Business & Professions Code Section 7048.
- I, as the owner, or my employees with wages as their sole compensation will do the work.
- I, as the owner, am exclusively contracting with licensed contractors.
- I am licensed under provisions of Public Resources Code 4570 et seq. and my license is in full force and effect. License No. _____
- I, as the owner, am exclusively contracting with a licensed timber operator.

WORKER'S COMPENSATION INSURANCE: I declare under penalty of perjury (check one):

- I have placed on file with the Town of Paradise Community Development Department a certificate of worker's compensation or a certificate of consent to self insure.
- I shall not employ any person in any manner so as to become subject to the workers compensation laws of California.
- The contracted service price is \$500.00 valuation or less.

NOTICE TO APPLICANT: if after making this statement, should you become subject to the workers compensation provisions of the Labor Code, you must comply with such provisions or this permit shall be deemed revoked.

CERTIFICATION: I certify that I have read this application and state that the above information is correct. I agree to comply with all town ordinances and state laws relating to tree cutting, and hereby authorize representatives of the Town of Paradise to enter upon the above-mentioned property for inspection purposes. I also agree to save, indemnify and keep harmless the town and its agents against all liabilities, judgments, costs and expenses that may in any way accrue against said agency in consequence of the granting of this permit.

I understand that for each tree felled, one tree (fifteen gallon minimum size) shall be planted within twelve months thereafter or within one year of occupancy of new construction, whichever occurs first. Replacement trees must be of a species listed within PMC Section 8.12.120.

x Charles J. Boney Date: 4-20-16
Signature of Applicant - Owner _____ Contractor Agent _____ LTO _____

PERMIT DECISION:

Approved
 Denied Reason denied: _____
By [Signature] (Town Manager or Designee) Date: 4/20/16

It is recommended that you contact the California Department of Forestry, Redding Office, (530) 225-2418 for regulations that may apply to tree felling. This permit expires 90 days beyond date of issue.

POST THIS PERMIT AT A POINT PROVIDING PRIMARY ACCESS TO THE SITE OF THE TREE FELLING PRIOR TO FELLING ANY QUALIFYING TREES.

NO QUALIFYING TREE SHALL BE FELLED WITHOUT POSSESSION OF AN APPROVED PERMIT.



TOWN OF PARADISE

5555 Skyway
Paradise, CA 95969
(530) 872-6291

Receipt Number: 22145
Permit Number: PL16-00127
Permit Type: Planning\Tree Felling\NA\NA
Permit Description: REMOVE - TWO (2) BLACK OAKS
Parcel Number: 050-082-023-000
Address: 6983 PENTZ RD, PARADISE, CA 95969

Receipt Date/Time: 4/20/2016 12:34:34 PM

Payment Amount: \$69.73
Payment Status: **Paid**
Payment Method: Check 11939 \$69.73
Paid By: TOM GOMEZ
Received By: DCOOK
Comments:

Professionals: Contractor TOM'S TREE SERVICE (TOM GOMEZ)
652813 PO BOX 2495
PARADISE, CA 95967

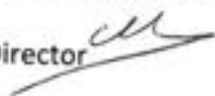
530-877-6055

TOWN OF PARADISE DEVELOPMENT SERVICES DEPARTMENT
5555 SKYWAY
PARADISE, CA 95969
TELEPHONE (530) 872-6291

FILE COPY

PRELIMINARY DEVELOPMENT REVIEW REQUEST

TO: BUSINESS & HOUSING, ENGINEERING, BUILDING, **ONSITE,**
PID, PG&E, PLANNING, POLICE, CDD/PW COORDINATOR

FROM: Craig Baker, Community Development Director 

REQUEST: REVIEW, ATTEND PRELIMINARY DEVELOPMENT REVIEW
MEETING AND COMMENT

DESCRIPTION OF PROJECT: Preliminary development review for a +/-10,000 assisted
living facility on a 1.66 acre property zoned RR-2/3.

LOCATION: 6983 Pentz Road (corner of Pentz Road and Kingdom Court)

AP NO.: 050-082-023

APPLICANT: William and Ann Martin

CONTACT PHONE: 520-5170

DATE DISTRIBUTED: May 31, 2011

MEETING DATE AND TIME: **June 16, 2011**

.....

A preliminary development review meeting has been scheduled for June 16, 2011 at 10:00 a.m. to formally discuss the above-noted conceptual project design. The meeting will be attended by the development review applicant and representatives from the agencies and departments listed above.

A representative from your agency should attend this preliminary development review meeting. Staff members who are to attend the meeting should study the enclosed materials, identify any significant issues or impacts which the project may pose relative to your agency's scope of responsibility, be prepared to discuss these issues and application processing procedures with the preliminary development review applicant and provide written comments accordingly.

June 16, 2011

To: Craig Baker, Community Development Director

From: Doug Danz, Onsite Sanitary Official 

Re: 6983 Pentz Rd development for an Assisted Living Facility on 1.66 acre property. 050-082-023

Information on file and provided for this referenced development demonstrates acceptable soil and groundwater conditions that would allow a large onsite sewage disposal system.

The gross hydraulic loading of the parcel allows up to 3320 gpd of secondary treated wastewater dispersal to occur. This is not including the extra gross acreage sizing allowed from including one half of the abutting roadway (Pentz).

Calculations provided by Contractor Bill Martin are unclear as to the use of advanced treatment into the design of the wastewater system. The proposed 1221 feet of primary leachfield trenching is not adequate in size to accommodate the design flow of 3320 gpd without advanced treatment provided. It is large enough to accommodate the design flow of 2442 gpd, which is not large enough for the 23 beds proposed. In order to accommodate the entire size of the proposed facility in the leachfield sizing provided advanced treatment must be provided to the onsite wastewater system as per the Town of Paradise Manual for the Onsite Treatment of Wastewater.

The project proponent must submit a Land Use Review report to the Onsite Sanitation Division. This review report must be completed by a Registered Civil Engineer or Registered Environmental Health Specialist experienced in onsite sewage design. In it trench sizing must show advanced treatment components or must demonstrate a greater amount of leachfield as per the submitted 1221 feet of primary.

PROJECT NAME: Martin Use Permit, General Plan Amendment, Rezone and Tree Felling Permit

**TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPARTMENT**

FILE COPY

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *[Signature]*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

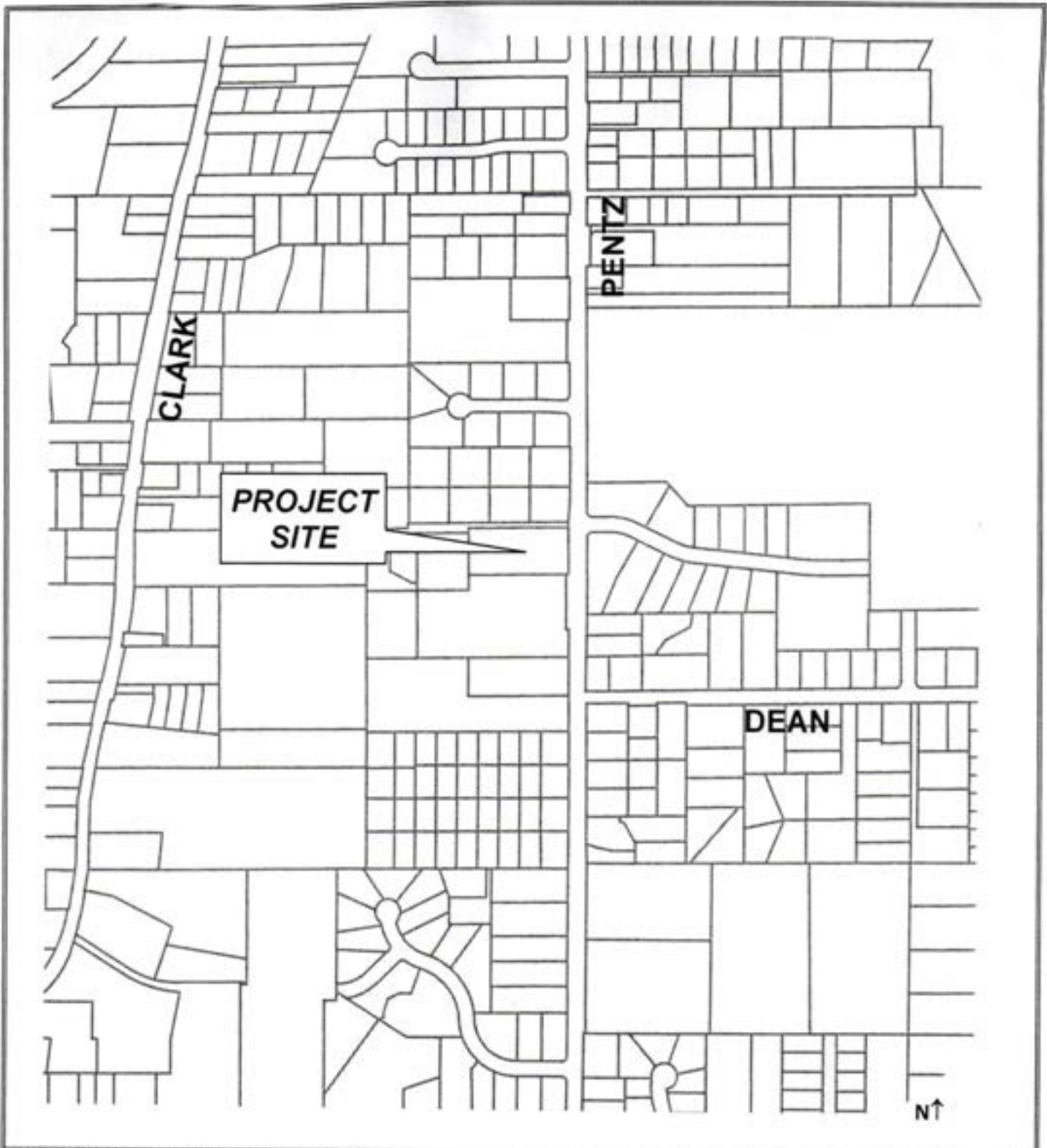
COMMENTS AND/OR RECOMMENDED CONDITIONS:

See 3/19/12 LUR Approval letter to Bill Martin, WHM Construction
Approved 30 Beds maximum. *[Signature]* 3/24/12

NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.





APPLICANT: BILL AND ANN MARTIN		6983 Pentz Road
OWNER: JAY AND JOYCE POWELL		
REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.		
Zoning: RR-2/3	GENERAL PLAN: RR	FILE NOS. PL12-00073, PL12-00074, PL12-00075
ASSESSOR PAREL: 050-082-023		COMMENTS DUE: 4-5-12



ONSITE DIVISION STATUS ACTION TRACKING FORM

APN: 050-082-023

SANITECH #: 0512-00562

OWNER: POWELL (MARTIN)

ADDRESS: 6983 PENTZ RD

Residential Commercial

Conditional Escrow: yes no

C.A.N. # _____

CORR. INFRACTION # _____

CODE ENF. # _____

Date _____

Date _____

Date _____

PLAN CHECK TRACKING

Date Rec'd 2/16/12

Pre Check 2/22/12

OSO Review 2/22/12

Out for Rev 2/28/12

Ret 2nd Check 3/13/12

Out for Rev 2nd _____

Ret 3rd Check _____

Plan Apprvd 3/19/12

App. Notified _____

Prmt Issued _____

Job Final _____

Notes GRAND SIERRA LODGE ASSISTED LIVING

TYPE OF PERMIT

Abandonment

Alt/Upgrade

Building Clr (Minor Major)

Land Use Rev (Minor Major)

New Cnst

Prmt Renewal

Repair

Misc Repair

Water Well

Land Div 3 or less lots

Land Div 4 or greater lots

BUILDING CLEARANCE

To: Building Division

From: Onsite Wastewater Management Zone

Subject: Building Clearance

Owner _____ Property Address _____ AP# _____

Final clearance approved:

Clearance for _____ bedroom home. Other _____

Hold building final: Yes _____ No _____

Note: _____

Onsite Zone Representative _____

Date _____



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

March 19, 2012

FILE COPY

Bill Martin WLM Construction
Jay and Joyce Powell Family Trust
PO Box 2035
Paradise CA 95967

Re: Land Use Approval for 6983 Pentz Rd. Paradise, Onsite Wastewater System for an Assisted Care Facility, APN 050-082-023

Dear Mr. Martin,

Soil and groundwater data have been provided as well as calculations from Rancho Engineering that demonstrates that this parcel is suitable for the construction of a facility that produces volumetric flows of 3281 gallons per day of wastewater that has undergone secondary treatment as per standards found in Town of Paradise Manual for the Onsite Treatment of Wastewater. The dispersal area for the onsite wastewater system must be in the western half of the parcel as indicated on soil permeability, profiling and groundwater monitoring well maps provided. This approval allows no dispersal fields on the eastern half of this parcel.

Therefore, land use review approval is given for this parcel to receive up to 3280 gallons per day of secondary treated wastewater meeting standards in the Town of Paradise. A proposed assisted care facility that will have up to 30 beds has been shown to be an acceptable development for this parcel. Information provided demonstrates that the care facility will produce a wastewater flow estimated of 2400 gpd and this estimation is approved.

Furthermore, some of the design components for the intended onsite sewage treatment system have been provided and are also approved. Those components are; a septic tank total retention volume of 7500 gallons, a grease interceptor sized at 1500 gallons, an Orenco AX100 filter media pod that will provide all necessary treatment to the anticipated wastewater flows and a dispersal field layout of original and replacement trenches as per submitted site map. Further engineered design plans are required for the construction application and approval portion of this project.

Please call us with any questions you may have.

Doug Danz
Onsite Sanitary Official
Town of Paradise
530-872-6239

Cc: Jarrod Holliday, P.E., Rancho Engineering
Craig Baker, Town of Paradise Community Development Director

RANCHO Engineering

WORK COPY:
with Markings

Septic System Design

Rancho Job #11-110

FILE COPY

for

Grand Sierra Lodge
6983 Pentz Rd.
Paradise, CA
APN: 050-082-023

<u>Calculation Index:</u>	<u>Page #</u>
• Site Septic Plan	A
• Site Evaluation	1-7
• System Loading	8-10
• Percolation Test	11-16
• Tank Sizing Chart	17

Revision Summary:

Rev. 0	08/02/11	Initial Issue
Rev. 1	03/13/12	On Site Review



This calculation package is valid for the project location as listed above only and may not be used or modified for another site without the authorization of Rancho Engineering. Rancho Engineering disclaims responsibility for any design not specifically addressed in this calculation package. Calculations and plans are not valid until reviewed and approved by appropriate governmental agencies.

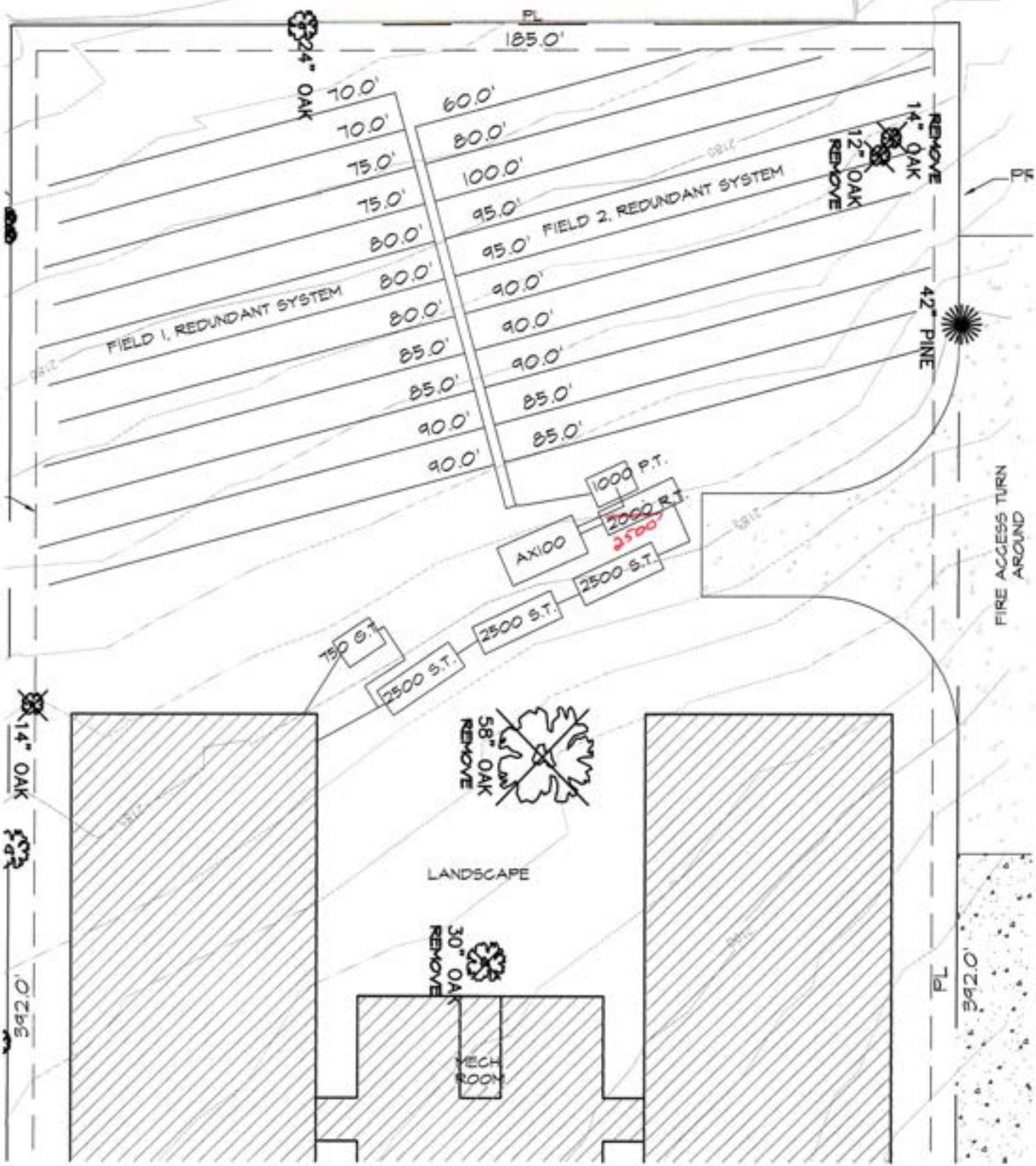
RECEIVED
MAR 13 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

Jarrold Holliday, P.E.
Civil, Structural, Surveying

5550 Skyway Suite C
Paradise CA 95969
(530) 877-3700 Phone/Fax

050-082-023
0512-00542



RANCHO
Engineering

5550 Skyway, Ste. C
Paradise, CA 95969
Phone/Fax:
(530) 877-3700

GRAND SIERRA LODGE JOB # 11-192
6983 PENTZ RD.
PARADISE, CA
PROPOSED SEPTIC LAYOUT

A



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

SITE EVALUATION REPORT

Date: 9-5-09 Client Name: BILL MARTIN OS# _____

Assessor's Parcel Number: 050-082-023 Parcel Size: 1.66 Ac.

Slope: 0-6% Existing or Proposed Wells: NONE

Surface Water:

- a. Stream: NONE
- b. Drainage Swale: NONE

Groundwater:

- a. Perched: NONE
- b. Seasonal: NONE

Landslides or Unstable Soils: NONE

Easements: 1 ON NORTHSIDE OF PARCEL 20' WIDE X 392' LONG

Roads, Driveways: PENTZ RD.; 2 DRIVEWAYS

Existing Structures: NONE

Vegetation: OAKS, PINES, NATIVE GRASSES

Rock Outcrops: NONE

Escarments and Large Cuts: ROADSIDE CUT ALONG PENTZ (3 TO 6')

Proposed Development: MAXIMUM USAGE - SEE ATTACHED

Utilities (Water, Gas, Power, etc): PRESENT IN P.U.E.

Soil Type Description (Attach Report): SEE ATTACHED

Perc Test Results (Attach Report): SEE ATTACHED

Comments: SEE ATTACHED CALC SHEETS

Evaluator/Engineer:

Owner: Bill Martin
 Location: Pentz Rd.

Date: 9/5/09
 Weather: Clear/overcast

File No.	Number of Fillings	Time of Measurement	Water Level From Surface	Drop in Water Level
1 Front	1	2:30		
Depth 30±	2	3:10	240	4
Diameter or diam 7-8	3	5:40	250	4
Soaked overnight YES	4	7:30	110	3 1/4
Location SEE MAP	5			
Remarks IN HOLE AFTER PRESOAK	6			
Results 110 - 33.85	7			
x 1.6 = 24	8			
132.4	9			
2 Front	1	2:30		
Depth 30±	2	7:30	300	3 3/8
Diameter or diam 7-8	3			
Soaked overnight YES	4			
Location SEE MAP	5			
Remarks WATER IN HOLE AFTER PRESOAK	6			
Results 300 - 3.625	7			
x 1.6 = 132.4	8			
132.4	9			
3 Front	1	2:30		
Depth 30±	2	3:15	245	4
Diameter or diam 7-8	3	4:06	251	4
Soaked overnight YES	4	5:14	268	4
Location SEE MAP	5	6:19	265	4
Remarks WATER IN HOLE AFTER PRESOAK	6	7:30	271	4
Results 271 - 17.75	7			
x 1.6 = 28.40	8			
28.40	9			



I hereby certify under penalty of perjury that these data are true and correct.

Owner: Bill Martin
 Location: Pentz Rd,

Date: 9/5/09
 Weather: clear/overcast

Hole No	Number of Filings	Time of Measurement	Water Level From Surface	Drop in Water Level	Hole No	Number of Filings	Time of Measurement	Water Level From Surface	Drop in Water Level
<u>7 Back</u>	1	3:37		0					
Depth <u>30 ± 1</u>	2	4:04	4		Depth <u>± 1</u>	2			
Diameter or size <u>7-8</u>	3	5:09	4		Diameter or size <u>7-8</u>	3			
Soaked overnight? <u>YES</u>	4	4:00	10	4	Soaked overnight? <u>YES</u>	4			
Location <u>SEE MAP</u>	5	12:12	4		Location <u>SEE MAP</u>	5			
Remarks <u>NO WATER IN HOLE AFTER PRESOAK</u>	6	26:14	4		Remarks <u>WATER IN HOLE AFTER PRESOAK</u>	6			
Results $\frac{14}{4} = 3.5$	7				Results	7			
$\times 1.6 = 5.6$ minutes/foot	8					8			
	9					9			
<u>8 Back</u>	1	3:38		0	<u>2</u>	1			0
Depth <u>48 ± 1</u>	2	5:24	4		Depth <u>± 1</u>	2			
Diameter or size <u>7-8</u>	3	4:02	10	4	Diameter or size <u>7-8</u>	3			
Soaked overnight? <u>YES</u>	4	27:25	4		Soaked overnight? <u>YES</u>	4			
Location <u>SEE MAP</u>	5	52:25	4		Location <u>SEE MAP</u>	5			
Remarks <u>NO WATER IN HOLE AFTER PRESOAK</u>	6	5:20	28	4	Remarks <u>WATER IN HOLE AFTER PRESOAK</u>	6			
Results $\frac{28}{4} = 7$	7				Results	7			
$\times 1.6 = 11.2$ minutes/foot	8					8			
	9					9			
<u>9 Back</u>	1	3:39		0	<u>3</u>	1			0
Depth <u>30 ± 1</u>	2	4:34	4		Depth <u>± 1</u>	2			
Diameter or size <u>7-8</u>	3	5:29	4		Diameter or size <u>7-8</u>	3			
Soaked overnight? <u>YES</u>	4	4:03	11	4	Soaked overnight? <u>YES</u>	4			
Location <u>SEE MAP</u>	5	15:12	4		Location <u>SEE MAP</u>	5			
Remarks <u>NO WATER IN HOLE AFTER PRESOAK</u>	6	29:14	4		Remarks <u>WATER IN HOLE AFTER PRESOAK</u>	6			
Results $\frac{14}{4} = 3.5$	7				Results	7			
$\times 1.6 = 5.6$ minutes/foot	8					8			
	9					9			

$Q1F \frac{3}{\sqrt{54}} = \frac{3}{7.35} = 0.4g/ft/d$
 $Q2F \frac{3}{\sqrt{32.4}} = \frac{3}{11.51} = 0.27g/ft/d$
 $Q3F \frac{3}{\sqrt{28.4}} = \frac{3}{5.33} = 0.56g/ft/d$
 $Q4B \frac{3}{\sqrt{19.20}} = \frac{3}{4.38} = 0.68g/ft/d$
 $Q5B \frac{3}{\sqrt{6.75}} = \frac{3}{2.6} = 1.15g/ft/d$
 $Q6B \frac{3}{\sqrt{7.2}} = \frac{3}{4.15} = 0.72g/ft/d$
 $Q7B \frac{3}{\sqrt{5.6}} = \frac{3}{2.37} = 1.27g/ft/d$
 $Q8B \frac{3}{\sqrt{11.2}} = \frac{3}{3.35} = 0.89g/ft/d$
 $Q9B \frac{3}{\sqrt{5.6}} = \frac{3}{2.37} = 1.27g/ft/d$

REGISTERED ENVIRONMENTAL
 California
 Fall
 #3626
 12/31/09

I hereby certify under penalty of perjury that these data are true and correct.

Janice Pentz #3626

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd</u>		Mantle No: <u>1 NE SA Property</u>	
APN: _____		Date: <u>9-01-04</u>		Weather/Lighting/Temp: <u>Clear/Bright/Hot</u>	
Depth: <u>0 to 20"</u> Color: <u>2.5R4/6 Red</u>		Horizon: <u>O A E B C R</u>		Texture*: <u>CL</u> Ribbon*: <u>2-2 1/4"</u> % Clay: <u><27 27-40 >40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>60</u>		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular <u>Irregular</u>		Rock Size (in mm): <75 76-250 251-600 >600		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Condition: Un-weathered Weathered		Structure Grade: Weak Moderate Strong <u>Weak</u>		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: Not Slightly Sticky Very		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-60) V.Cse (11+) Coarse(21+) Course		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard <u>Mod Hard</u> Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Cementation: Non C Ex/W.C. VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-5) <u>Smooth</u> Wavy - <u>Soil Water: Dry</u> Gradual (5-15) Diffuse (>15) Irregular <u>NI</u> Broken --	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent <u>Faint</u>		Comments: _____	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many <u>Few</u>		Redoximorphic: YES NO Redox Conc: _____ Nodules _____ Discretions: Iron Clay water	
Depth: <u>20 to 58"</u> Color: <u>5.0R4/6 Yellowish Red</u>		Horizon: <u>O A E B C R</u>		Texture*: <u>SIL+SAP</u> Ribbon*: <u>1-1 1/2"</u> % Clay: <u><27 27-40 >40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>60</u>		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular <u>Irregular</u>		Rock Size (in mm): <75 76-250 251-600 >600		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Condition: Un-weathered Weathered		Structure Grade: Weak Moderate Strong <u>Weak</u>		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: Not Slightly Sticky Very		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-60) V.Cse (11+) Coarse(21+) Course		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard <u>Mod Hard</u> Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Cementation: Non C Ex/W.C. VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-5) <u>Smooth</u> Wavy - <u>Soil Water: Dry</u> Gradual (5-15) Diffuse (>15) Irregular <u>NI</u> Broken --	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent <u>Faint</u>		Comments: <u>Saprolite < 20"</u>	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many <u>Few</u>		Redoximorphic: YES NO Redox Conc: _____ Nodules _____ Discretions: Iron Clay water	
Depth: <u>58 to 84"</u> Color: <u>5.0R4/6 Yellowish Red</u>		Horizon: <u>O A E B C R</u>		Texture*: <u>SIL+SAP</u> Ribbon*: <u>1-1 1/4"</u> % Clay: <u><27 27-40 >40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 <u>0.10-0.05</u>		Rock Fragments %: <15 15-35 36-60 <u>60</u>		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular <u>Irregular</u>		Rock Size (in mm): <75 76-250 251-600 >600		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Condition: Un-weathered Weathered		Structure Grade: Weak Moderate Strong <u>Weak</u>		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones <u>Throughout</u>	
Stickiness: Not Slightly Sticky Very		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-60) V.Cse (11+) Coarse(21+) Course		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard <u>Mod Hard</u> Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Cementation: Non C Ex/W.C. VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-5) <u>Smooth</u> Wavy - <u>Soil Water: Dry</u> Gradual (5-15) Diffuse (>15) Irregular <u>NI</u> Broken --	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent <u>Faint</u>		Comments: <u>Saprolite < 20"</u>	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many <u>Few</u>		Redoximorphic: YES NO Redox Conc: _____ Nodules _____ Discretions: Iron Clay water	

SOIL MANTLE OBSERVATION

Property Owner: <u>Bill Martin</u>		Location: <u>Panther Rd</u>		Mantle No: <u>2 SE</u>	
APN:		Date: <u>9-21-09</u>	Weather/Lighting/Temp: <u>21 BC H</u>		Total Depth: <u>84</u>
Depth: <u>0 to 24</u>	Color: <u>5YR 4/6 Yellowish Red</u>	Horizon: <u>O A B C R</u>	Texture: <u>SL</u>	Ribbon*: <u>1-1/2"</u>	% Clay: <u>< 27</u> 27-40 > 40
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SiCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10		Pores Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Fragments %: <15 15-35 36-60	Rock Size (in mm): 2-5 76-250 251-600 >600	Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered	
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine(2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Cone (11+) Coarse(21+) Course		MASSIVE SINGLE GRAIN	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Stickiness: Not Slightly Sticky Very	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Fragile Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid			Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Plasticity: Not Slightly Plastic Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. Stg. VeryStg. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)		Soil Water: Dry Moist Wet
Mottles: NO	Mottle Contrast: Faint Distinct Prominent		Comments:		
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many				
Redoximorphic: YES NO	Redox Conc: _____	Nodules _____	Depletions: Iron _____ Clay _____		
Depth: <u>24 to 60</u>	Color: <u>7.5YR 4/6 Stg Brown</u>	Horizon: <u>A B C R</u>	Texture: <u>Silt+ Sap</u>	Ribbon*: <u>1"</u>	% Clay: <u>< 27</u> 27-40 > 40
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SiCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10		Pores Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Fragments %: <15 15-35 36-60	Rock Size (in mm): 2-5 76-250 251-600 >600	Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered	
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine(2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Cone (11+) Coarse(21+) Course		MASSIVE SINGLE GRAIN	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Stickiness: Not Slightly Sticky Very	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Fragile Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid			Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Plasticity: Not Slightly Plastic Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. Stg. VeryStg. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)		Soil Water: Dry Moist Wet
Mottles: NO	Mottle Contrast: Faint Distinct Prominent		Comments: <u>Saprolite < 1%</u>		
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many				
Redoximorphic: YES NO	Redox Conc: _____	Nodules _____	Depletions: Iron _____ Clay _____		
Depth: <u>60 to 84</u>	Color: <u>7.5YR 4/6 Stg Brown</u>	Horizon: <u>A B C R</u>	Texture: <u>Silt+ Sap</u>	Ribbon*: <u>1-1/4"</u>	% Clay: <u>< 27</u> 27-40 > 40
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SiCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10		Pores Size/Number (in mm): V.Fine Fine Med Coarse (< 1) (1-2) (2-5) (>5) Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Fragments %: <15 15-35 36-60	Rock Size (in mm): 2-5 76-250 251-600 >600	Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered	
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine(2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Cone (11+) Coarse(21+) Course		MASSIVE SINGLE GRAIN	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Stickiness: Not Slightly Sticky Very	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Fragile Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid			Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Plasticity: Not Slightly Plastic Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. Stg. VeryStg. Idurated		Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)		Soil Water: Dry Moist Wet
Mottles: NO	Mottle Contrast: Faint Distinct Prominent		Comments: <u>Sap < 1%</u>		
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many				
Redoximorphic: YES NO	Redox Conc: _____	Nodules _____	Depletions: Iron _____ Clay _____		

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

6

Property Owner: Bill Martin Location: Pentz Rd Mantle No: 350
 APN: _____ Date: 9-01-09 Weather/Lighting/Temp: 11 Br H Total Depth: 96
 Depth: 35 Color: 2.5YR 3/6 DK. Red Horizon: A B C R Texture*: L Ribbon*: 2 % Clay: < 27 27-40 > 40
 * Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %
 a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt
 Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05
 Rock Fragments %: <15 15-35 35-60 60 Rock Size (in mm): >75 76-250 251-600 >600
 Rock Shape: Rounded Sub-rounded Angular Irregular Bedrock Condition: Un-weathered Weathered
 Structure Grade: Weak Moderate Strong Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR
 Weak Moderate Strong Granular Sub/Angular Prismatic
 Fine (2) V. Fine (2-5) V. Fine (2-10)
 Medium(3+) Fine (6-10) Fine (11-20)
 Coarse(6+) Med (11-20) Med (21-60)
 V.Crs (11+) Coarse(21+) Course
 Stickiness: Not Slightly Sticky Very
 Not Slightly Sticky Very
 Plasticity: Not Slightly Plastic Very
 Not Slightly Plastic Very
 Cementation: Non C Ex.W.C. VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated
 W.C. Mod C. St.C. VerySt.C. Idurated
 Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Topo: Smooth Wavy Irregular Soil Water: Dry Moist Wet
 Abrupt (<2) Clear (2-5) Gradual (5-15) Smooth Wavy Irregular Dry Moist Wet
 Mottles: NO YES Color Mottle Contrast: Faint Distinct Prominent
 Mottle Size (mm): Fine (<5) Med (5-15) Large (>15) Quantity: Few Common Many
 Redoximorphic: YES NO Redox Conc. Nodules Depletions: Iron Clay
 YES NO Concretions Masses Depth to obs./nd water

Depth: 35 to 70 Color: 2.5YR 4/6 Red Horizon: A B C R Texture*: L+Sap Ribbon*: 14 % Clay: < 27 27-40 > 40
 * Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %
 a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt
 Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05
 Rock Fragments %: <15 15-35 36-60 60 Rock Size (in mm): >75 76-250 251-600 >600
 Rock Shape: Rounded Sub-rounded Angular Irregular Bedrock Condition: Un-weathered Weathered
 Structure Grade: Weak Moderate Strong Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR
 Weak Moderate Strong Granular Sub/Angular Prismatic
 Fine (2) V. Fine (2-5) V. Fine (2-10)
 Medium(3+) Fine (6-10) Fine (11-20)
 Coarse(6+) Med (11-20) Med (21-60)
 V.Crs (11+) Coarse(21+) Course
 Stickiness: Not Slightly Sticky Very
 Not Slightly Sticky Very
 Plasticity: Not Slightly Plastic Very
 Not Slightly Plastic Very
 Cementation: Non C Ex.W.C. VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated
 W.C. Mod C. St.C. VerySt.C. Idurated
 Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Topo: Smooth Wavy Irregular Soil Water: Dry Moist Wet
 Abrupt (<2) Clear (2-5) Gradual (5-15) Smooth Wavy Irregular Dry Moist Wet
 Mottles: NO YES Color Mottle Contrast: Faint Distinct Prominent
 Mottle Size (mm): Fine (<5) Med (5-15) Large (>15) Quantity: Few Common Many
 Redoximorphic: YES NO Redox Conc. Nodules Depletions: Iron Clay
 YES NO Concretions Masses Depth to obs./nd water
 Comments: Sap < 2%

Depth: 70 to 96 Color: 2.5YR 4/6 Sta. Brown Horizon: A B C R Texture*: SL+Sap Ribbon*: 14 % Clay: < 27 27-40 > 40
 * Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %
 a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt
 Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05
 Rock Fragments %: <15 15-35 36-60 60 Rock Size (in mm): >75 76-250 251-600 >600
 Rock Shape: Rounded Sub-rounded Angular Irregular Bedrock Condition: Un-weathered Weathered
 Structure Grade: Weak Moderate Strong Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR
 Weak Moderate Strong Granular Sub/Angular Prismatic
 Fine (2) V. Fine (2-5) V. Fine (2-10)
 Medium(3+) Fine (6-10) Fine (11-20)
 Coarse(6+) Med (11-20) Med (21-60)
 V.Crs (11+) Coarse(21+) Course
 Stickiness: Not Slightly Sticky Very
 Not Slightly Sticky Very
 Plasticity: Not Slightly Plastic Very
 Not Slightly Plastic Very
 Cementation: Non C Ex.W.C. VeryW.C. W.C. Mod C. St.C. VerySt.C. Idurated
 W.C. Mod C. St.C. VerySt.C. Idurated
 Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Topo: Smooth Wavy Irregular Soil Water: Dry Moist Wet
 Abrupt (<2) Clear (2-5) Gradual (5-15) Smooth Wavy Irregular Dry Moist Wet
 Mottles: NO YES Color Mottle Contrast: Faint Distinct Prominent
 Mottle Size (mm): Fine (<5) Med (5-15) Large (>15) Quantity: Few Common Many
 Redoximorphic: YES NO Redox Conc. Nodules Depletions: Iron Clay
 YES NO Concretions Masses Depth to obs./nd water
 Comments: Sap < 1%

Sand

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd.</u>		Mantle No: <u>4NW</u>	
APN: _____		Date: <u>9-1-09</u>		Weather/Lighting/Temp: <u>CL Br</u>	
Total Depth: <u>96</u>		Texture*: <u>L</u>		Ribbon*: <u>1/2-1 3/4</u>	
Depth: <u>0 to 40</u>	Color: <u>2.5YR 4/4 Reddish Brown</u>	Horizon: <u>O A B C R</u>	% Clay: <u>27-40 > 40</u>		
Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, o-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Distribution of Roots: Between Peds	
Stickiness: Not Slightly Sticky Very		Cementation: Non C Ex/W.C. VeryW.C.		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard	
Plasticity: Not Slightly Plastic Very		Mottles: NO YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Soil Water: Dry Moist Wet	
Mottles: NO YES Color		Mottles: NO YES Color		Comments: _____	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Contrast: Faint Distinct Prominent		Mottles Contrast: Faint Distinct Prominent	
Redoximorphic: YES NO		Redox Conc: _____		Redox Conc: _____	
Depth: <u>40 to 54</u>		Color: <u>5YR 3/4 DK. Red Brown</u>		Horizon: <u>O A B C R</u>	
Texture*: <u>CL</u>		Ribbon*: <u>2-2 1/2</u>		% Clay: <u>< 27 27-40 > 40</u>	
Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, o-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Distribution of Roots: Between Peds	
Stickiness: Not Slightly Sticky Very		Cementation: Non C Ex/W.C. VeryW.C.		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard	
Plasticity: Not Slightly Plastic Very		Mottles: NO YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Soil Water: Dry Moist Wet	
Mottles: NO YES Color		Mottles: NO YES Color		Comments: _____	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Contrast: Faint Distinct Prominent		Mottles Contrast: Faint Distinct Prominent	
Redoximorphic: YES NO		Redox Conc: _____		Redox Conc: _____	
Depth: <u>54 to 96</u>		Color: <u>5YR 4/6 Yellowish Red</u>		Horizon: <u>O A B C R</u>	
Texture*: <u>CL</u>		Ribbon*: <u>2-2 1/2</u>		% Clay: <u>< 27 27-40 > 40</u>	
Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, o-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine Fine Med Coarse	
Rock Shape: Rounded Sub-rounded Angular Irregular		Rock Condition: Un-weathered Weathered		Pores Size/Number (in mm): V.Fine Fine Med Coarse	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR		Distribution of Roots: Between Peds	
Stickiness: Not Slightly Sticky Very		Cementation: Non C Ex/W.C. VeryW.C.		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard	
Plasticity: Not Slightly Plastic Very		Mottles: NO YES Color		Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Soil Water: Dry Moist Wet	
Mottles: NO YES Color		Mottles: NO YES Color		Comments: _____	
Mottles Size (mm): Fine (<5) Med (5-15) Large (>15)		Mottles Contrast: Faint Distinct Prominent		Mottles Contrast: Faint Distinct Prominent	
Redoximorphic: YES NO		Redox Conc: _____		Redox Conc: _____	

* Clay as per Ribbon length

*

Similar Facility Usage Comparison

Client: Bill Martin, WLM Construction Inc. Date: 12-Mar-12
 Address: 6983 Pentz RD Tech: J. Holliday
 City, State, Zip: Paradise, CA 95969
 APN: 050-082-023
 Project: Grand Sierra Lodge

PID Unit 748 gal/unit
 PID Period Varies per month

Sunshine Cottage

Type of Facility: Assisted Living No. of Beds (BD): 15 Avg Occupied Average Usage (AU): 0.97 units Daily Usage(DU): 728 gpd DU=748*AU/60 Usage per Bed (UPB): 49 gpd/bed UPD=DU/BD ✓	Water Records		
	Usage		
	Date	PID	Units per Day
	8-Feb-12	26	0.86
	9-Jan-12	34	1.06
	7-Dec-11	29	1.00
Average (AU)			0.97

Mountain Meadow Lodge

Type of Facility: Assisted Living No. of Beds (BD): 14 Avg Occupied Average Usage (AU): 1.06 units Daily Usage(DU): 795 gpd DU=748*AU/60 Usage per Bed (UPB): 57 gpd/bed ✓ UPD=DU/BD	Water Records		
	Usage		
	Date	PID	Units per Day
	1-Feb-12	30	1.03
	3-Jan-12	43	1.30
	1-Dec-11	26	0.86
Average (AU)			1.06

Results

Average UPB:	53.0 gpd/bed	
Septic Load per Bed:	80.00 gpd/bed	(AvgUPB * 1.50) Design Peak Load
Facility Septic Load:	2400 gpd ✓	(Load per Bed * 30 Beds)



Leach Trench Design

Client:	Bill Martin, WLM Construction Inc.	Date: 12-Mar-12
Address:	6983 Pentz RD	Tech: J. Holliday
City, State, Zip:	Paradise, CA 95969	
APN	050-082-023	
Project:	Martin Assisted Living	Weather: 65°F +/-, Heavy Clouds/ Rain

Total Daily Load:	1590 gpd	<i>= 53 gpd x 30 but NO PEAKING is included</i>
Daily Sewage Flow:	2400 gpd	(TDL*1.50) <i>$\frac{2400 \text{ gpd}}{1 \text{ gpd/ft}^2} = 2400 \text{ ft}^2 \text{ req'd}$</i>
Max Application rate:	1 gal/day/sq.ft	(Pre treated, Pressure Distribution)
Leach Trench Size		
<i>Rock</i> Depth	1 ft	<i>> 3.5 ft²/lin-ft</i>
Width	1.5 ft	
Length	690 ft	<i>$\frac{2400}{3.5} = 686 \text{ 'req'd}$</i>
Area	2415 sqft	(Redundant System, Install <u>870'</u> for Primary and <u>880'</u> for Secondary Fields)
		A=(D+W+D)*L (Neglecting Trench Ends)

Gross Hydraulic loading:		Loading:	
Parcel size:	1.665 AC	Load per Bed Space:	80 gpd/bed
Adjacent Rd. Frontage:	0.158 AC	Bed Spaces:	30
Total Area:	1.823 AC		
Max Application Rate:	1800 Gal/AC/day (Advanced Treatment)		
Max Site Loading	3281 Gal/day <i>= 1.823 x 1800</i>		
Total Daily Loading(TDL)	2400 Gal/day (Site OK for proposed loading) ✓		
	<i>2400 < 3281</i>		

COMERCIAL TANK DESIGN

Town of Paradise Onsite WW Mangement Zone: Manual for the Onsite Treatment of WW

Client:	Bill Martin	Date:	12-Mar-12
Address:	6983 Pentz RD	Tech:	J. Holliday
City, State, Zip:	Paradise, CA 95969		
APN	050-082-023		
Project:	Martin Assisted Living		

Septic Tank Sizing

Average Usage (AU)	53 gpd/bed	$DWWF = AU * BD$ $TDL = DWWF * 1.5$ $TC = TDL * 3$
No. Beds (BD)	30	
Secondary System	Y	
Design Waste Water Flow (DWWF)	1590 gpd	
Total Daily Loading (TDL)	2385 gpd ✓	
Requried Tank Capacity (TC)**	7155 gpd	

Backward - (pointing to AU)
x 1.5 for peaking factor off of water records (pointing to TDL)
Real Design Flow (pointing to TDL)

Install Tank Size 7500 gal

Grease Inceptor Sizing

Kitchen Fixtures			
Fixture	Qty	D.F.U. per Fixture	D.F.U
Floor Drains	2	2	4
Mop Sinks	1	3	3
Food Prep Sinks	1	3	3
Lav	1	1	1
Prep Sink	1	1	1
Dishwasher	1	2	2

Load 14 D.F.U
 25 gal/ D.F.U.

Install Grease Interceptor 1500 gal*

map shows 750 (pointing to the 1500 gal box)

Advantex AX100 Pod and Recirculation Tank Sizing

Total Daily Loading (TDL)	2385 gpd	$TDL = 1.50 * DWWF$
Filter Capacity (CAP)	25 gpd/sqft	
AX100 Size Filter size (Af100)	100 sqft	$PC100 = CAP * Af100$
AX100 Pod Capacity (PC100)	2500 gpd	

Number of AX100 Pods	1 pod	$No. Ax100 = TDL / PC100$
Total Pod System Capacity	2500 gpd	
Recirculation Tank Sizing	2500 gal	1.0*TDL
Pump Tank Sizing	2500 gal	1.0*TDL

Plus show a 2000 g and 1000 g tank. (pointing to the 2500 gal boxes)

CPC Table 10-3, Tank size 4.3 D.F.U. sizing.
 ** See Orenco Systems Primary Tank Sizing Chart for Preferred Tank Sizing.



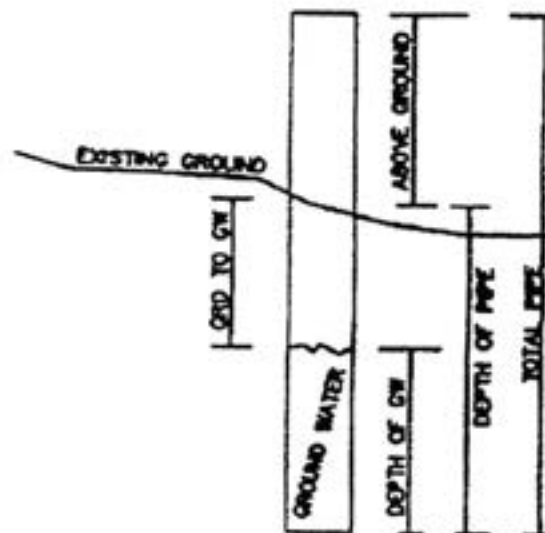
L&L SURVEYING

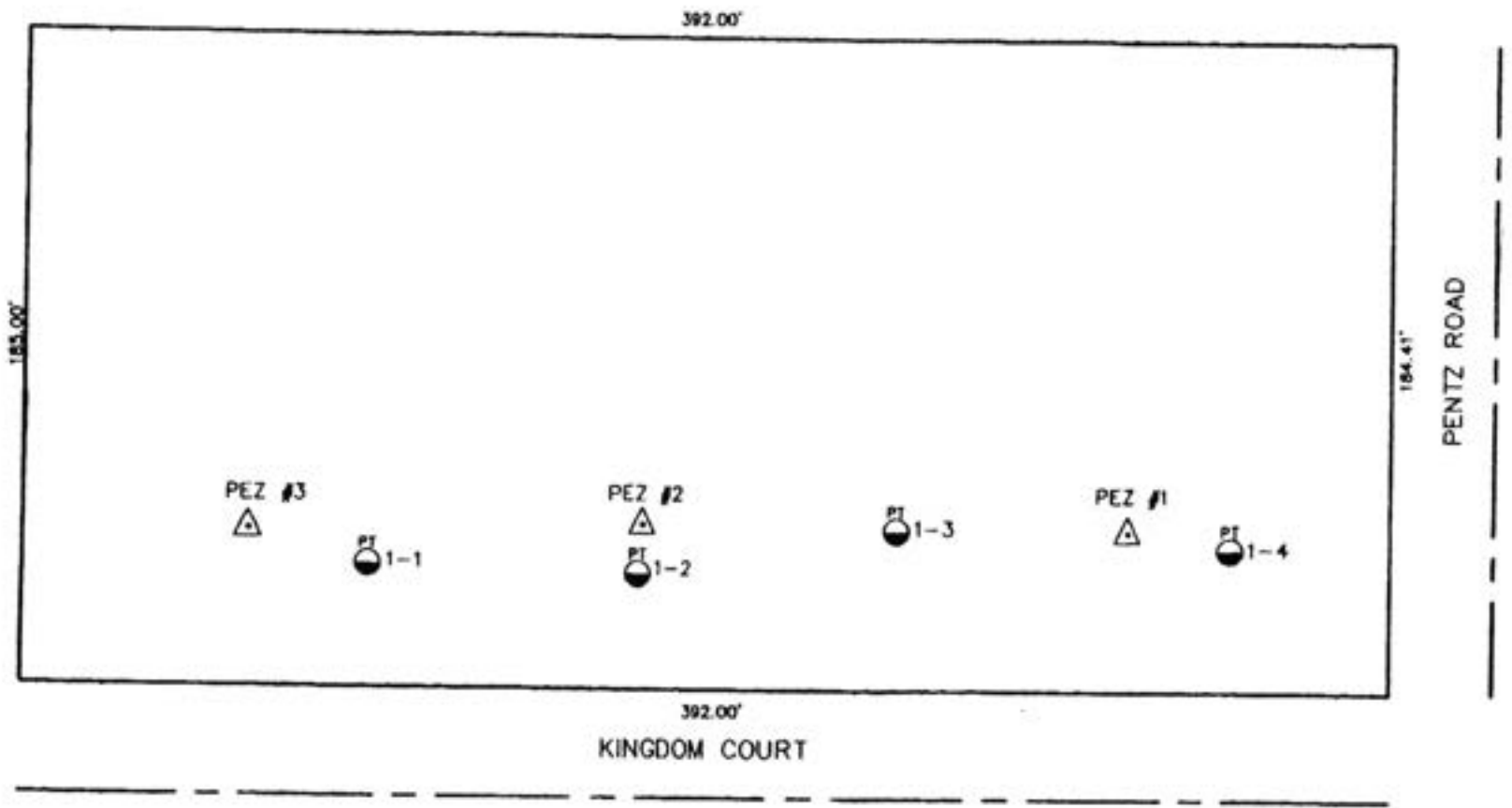
1007 Bille Road - P.O. Box 671 - Paradise, CA 95967-0167
Telephone: (530) 877-4300 - FAX: (530) 877-2251

Martin - Pentz Road
APN: 050-082-023
2007 - 2008

Installation

Pez	Total Pipe	Above Ground	Depth of Pipe	Installed
1	9.69	1.48	8.21	
2	9.78	1.76	8.02	
3	9.66	1.68	7.98	






SCALE 1" = 50'

- PEZ #1
△ = LOCATION OF PIEZOMETER
- PT 1-1
● = LOCATION OF PERK TEST

PLOT OF PIEZOMETERS
AND PERK TESTS
FOR
MARTIN
AP # 050-080-023

JOB # 05-11-121 NOVEMBER 2006

 **L & L SURVEYING**
1081 BILLE ROAD PO BOX 871 PARKSIDE, CA 95067 (925) 773-4200

Martin - Pentz Road

APN: 050-082-023

2007 - 2008

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/21/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/5/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/19/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/15/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/25/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
3/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/17/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/23/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
5/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon



Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/11/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/16/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/22/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/30/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/7/09	8.21	1.20	7.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/14/09	8.21	0.60	7.61	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/21/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/27/09	8.21	0.70	7.51	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/4/09	8.21	0.30	7.91	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/26/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/3/09	8.21	0.10	8.11	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/25/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/1/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy



14

Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
4/8/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/15/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/22/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/29/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
5/8/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy

PERCOLATION TEST LOG

NAME: Martin, W.L.

JOB#: 05-11-121

DATE: 11/10/2005

LOCATION: 6983 Pentz Road

APN: 050-082-023

SOIL DESCRIPTION: Dark loam, rocks

The following test data was obtained in conformance with the approved Town of Paradise Onsite Wastewater Manual.

HOLES WERE PRESOAKED ON : 11/9/2005

TEST PERFORMED BY: Chris Damron

L & L Surveying

HOLE #	DROP TIME		DROP TIME		DROP TIME		DROP TIME	
	Begin	Time	Begin	Time	Begin	Time	Begin	Time
1	4"	9:28	4"	9:25	4"	8:08	4"	9:29
2	4"	9:51	4"	9:46	4"	8:35	4"	9:52
3	4"	10:16	4"	10:08	4"	9:06	4"	10:19
4	4"	10:47	4"	10:34	4"	9:38	4"	10:48
5	4"	11:18	4"	11:01	4"	10:14	4"	11:22
Rate	1"	7.75 min	1"	6.75 min	1"	9 min	1"	8.5 min

Average percolation rate = 8.0 min/inch x 1.6 T.O.P. ADJ Factor = 12.8 min/inch



EXP 6/30/07



Primary Tank Sizing Chart

Facility	Minimum		Preferred	
	Grease Tankage ¹ HRT (days)	Primary Tankage ² HRT (days)	Grease Tankage ¹ HRT (days)	Primary Tankage ² HRT (days)
Office/Manufacturing/Light Industrial				
a) restrooms only	n/a	3	n/a	4
Restaurant/Deli				
a) restrooms and kitchen	3	4	5	5
Convenience Store/Gas Station				
a) restrooms only	n/a	3	n/a	4
b) restrooms and kitchen/deli	2	3 ³	4	4 ³
Hotel/Motel/Multiple Dwelling Units				
a) restrooms only	n/a	3	n/a	4
b) restrooms and restaurant/kitchen	3	3 ³	5	4 ³
Church				
a) restrooms only	n/a	2.5 + Surge ⁴	n/a	4 + Surge ⁴
b) restrooms and kitchen	2	2.5 + Surge ⁴	4	4 + Surge ^{3,4}
School				
a) restrooms only	n/a	3 + Surge ⁴	n/a	4 + Surge ⁴
b) restrooms and kitchen	3	3 + Surge ^{3,4}	5	4 + Surge ^{3,4}
Dog Kennel/Veterinary Clinic				
a) restrooms only	n/a	3	n/a	4
b) restrooms and floor drains	n/a	3 + Surge ^{3,4,5}	n/a	4 + Surge ^{3,4,5}
RV Park				
a) RV spaces	n/a	3	n/a	4
b) dump station	n/a	8	n/a	10
Casino				
a) gaming floor	n/a	3	n/a	4
b) hotel/motel	n/a	3	n/a	4
c) restaurant/deli	3	4	5	5
Resort/Camp				
a) bunk houses	n/a	3	n/a	4
b) main houses	n/a	3	n/a	4
c) kitchen	2	3	4	4

1. Grease tankage HRT is based on a separate **kitchen peak flow**, which is integrated into the main flow prior to introduction to the primary septic tanks.
2. Primary tankage HRT is based on **total peak flow**.
3. For facilities with restrooms and kitchen, primary tankage volume is determined by multiplying the **total** flow of the restrooms and kitchen combined by the factor in the *Primary Tankage* cell.
4. To determine surge volume for flow equalization purposes, please call Oreco Systems at (800) 348-9843 for assistance.
5. To reduce septage pumping in these and other specialized applications, we recommend using multiple tanks. The first should be small (0.5 to 0.75 HRT); subsequent tanks should provide the remaining HRT requirements.

NOTE: Tankages are based on long-term performance satisfaction (with respect to septage removal) and nominal (minimum) to high-quality (preferred) effluent. If effluent strength is higher than the expected level or if a higher level of treatment is required, greater tankage will be necessary. To enhance total nitrogen reduction, primary tankage should be increased for Advan Tec[™] Mode 3 systems. Consult Oreco Systems for specifics.

NORTHWEST ASSISTED LIVING

PARADISE LODGE

PARADISE, CA



concept elevation, Gig Harbor WA

Prepared by
WLM CONSTRUCTION, INC.
WILLIAM & ANN MARTIN
FOR
JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Application for Preliminary Review (PDR) p 3

Letter of Authorization p 4

Project Summary p 5

Site Analysis p 6

Zoning and Land Use p 7

Neighborhood Support p 8

Wastewater p 9

Site Drainage p 9

Utilities p 9

Traffic p 10

Parking p 10

Fire Department p 10

Commitment to the Community p 11

Hospital p 11

Trees p 11

Development Design p 12

Concept Elevations p 13

Development Team Bios p 14

Development Team Contact Information p 15

Application for Preliminary Development Review (PDR)

DEPARTMENTAL USE ONLY

Receipt No. _____ Fee _____
Project No. _____

TOWN OF PARADISE

APPLICATION FOR PRELIMINARY DEVELOPMENT REVIEW (PDR)

Applicant William & Ann Martin, WLM Construction, Inc. Phone 530.520.5170

Applicant's Mailing Address PO Box 2035 Paradise CA 95967

Applicant's Interest in Property (Owner, Lessee, Other) other - agents

Owner's Name Jay and Joyce Powell Family Trust Phone 559.625.4343

Owner's Mailing Address c/o Jay W. Powell 1625 S Court St. Visalia CA 93277

Property Address 6983 Pentz Road Paradise, CA Parcel Size 1.66 ac

Engineer (Name, Address) Jarrod Holliday, PE Rancho Engineering 5550 Skyway C Paradise

AP Number(s) 050-082-023 Zone RR 2/3 Existing Use vacant

Detailed project description: (attach additional sheets if necessary)

23 bedroom assisted living home of approx. 10,000 sq ft.

Quality northwest style lodge, with gardens, and optimal landscaping along scenic corridor.

Please see project summary

Purpose of project: Comfortable quality residence for people who need help with daily living activities. Please see project summary

Sq. ft. of proposed structure project: _____ Approx. no. yards of cut/fill 2000 yds cut/fill

Percentage increase in area of structures on site:
(For example: A 250 sq ft. addition to a 1,000 sq ft. building = 25%)

Distance to nearest fire hydrant: _____ Distance from centerline 2 at property 90 ft.

Days/hours of operation: Days all Hour all Proposed no. of employees as required

Density 13.8 Max. occupancy 23 Max. height of proposed structure/project 1 level, 20 ft.

Describe exterior design and exterior finish Northwest lodge craftsman gardens

Light, bright interior rooms with quality features. Please see project summary
(Attach additional sheets if necessary.)

Method of sewage disposal? onsite Please see project summary

*NOTE: If applicant is NOT the property owner, the owner's signature or attached letter of authorization signed by owner MUST accompany this application.

I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant's Signature [Signature] Date May 26, 2011

Property Owner Signature [Signature] Date May 9, 2011 see letter

1-944ptarmg01wmsunm (Rev. 01)

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1624 SOUTH COURT
VISALIA, CALIFORNIA 93277

TELEPHONE: (559) 625-4343

FAX: (559) 625-4346

May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL
PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, A.P.N.
NUMBER 056-0R2-023-000

WILLIAM L. MARTIN AND/OR ANN MARTIN ARE AGENTS FOR THE
TRUST IN ALL MATERS CONCERNING THE SAID REAL PROPERTY,
INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR
PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE,
CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Northwest Assisted Living Paradise Lodge is to create, in an assisted living facility, the atmosphere of an elegant, but comfortable mountain lodge. Assisted living is designed specifically for individuals who require assistance with everyday activities such as meals, medication management or assistance, bathing, dressing and transportation. The level of care required by residents varies with the individual. Residents are assessed upon move in, or any time there is a change in condition, in order to develop an Individualized Service Plan (ISP).

Even so, assisted living is more than a service or location. The philosophy of Paradise Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. In contrast to other long-term care options, assisted living philosophy embraces quality of life as well as quality of care, and supports the resident's decision to live with supportive services and companionship in the place they call home.

In California assisted living facilities are licensed by the Department of Social Services as a Residential Care Facility for the Elderly (RCFE), or an Adult Residential Facility (ARF) or a Group Home (GH). Regulations specific to construction of assisted living facilities are detailed in the California Health and Safety Code.

Assisted living facilities can range in size from a small residential house for a few residents up to very large facilities providing services to hundreds of residents. Newer assisted living homes have large private studios for private living, and community rooms for socialization, such as dining rooms and activity rooms. This enables residents to maintain a private lifestyle, while enjoying group activities at their leisure. Facilities are designed for the mobility impaired, and are fully compliant with the Americans with Disabilities act of 1990 (ADA).

Assisted living staff are available 24 hours per day, seven days per week. Staff are specifically trained to assist residents with 'activities of daily living' and provide residents with cooking, cleaning, transportation and entertainment, with the highest level of professionalism and courtesy. Training requirements reflect the responsibilities of each particular position, and include specialized CPR and First Aid. Unlike nursing homes, staff are generally not medical professionals, however training in dementia may be provided for staff caring for residents with these needs. Instead, transportation is provided upon request to dental, vision, doctor, and other personal appointments. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Lodge.

The next sections detail specifics for the site and concept elevations of Paradise Lodge.

Site Analysis

The proposed development site is a unique infill residential location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road													
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	140	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	140	21242

Traffix System Version 6.4 (c) 1991 DA Licensed to Dowling Associates

Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses.



Kingdom Court (left) and Pentz Road

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square feet home built in approximately 1940, and a large storage shed.

The development site and proposed assisted living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexanders and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developer and owners met with the McAlexanders in their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because assisted living facilities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

The Town of Paradise does not have a public sewer system and any development site must percolate its own wastewater. L & L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments.

The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

Wastewater leach field location is shown to follow perpendicular to the natural slope of the property, as shown on page 1 of the Site Plan. The proposed on-site septic system would be located in the westerly 209 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

The leach field, as shown on page 1 of the Site Plan, is a liberal preliminary design. A fully engineered system design, based on the data, will show a reduction in the tank sizing and a reduction in the absorption field area. The system will easily provide on site wastewater treatment for a 23-bedroom facility.

Jan Hill conducted Soil Mantle observation (deep hole tests) in 2009. The Town of Paradise Onsite Sanitation Division official Doug Danz, viewed the excavation holes used for excavation and observation. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. At this time, it is believed the water pressure at Pentz Road is sufficient for development. A PID meter is currently on the property; and other services, such as electrical service, also available on site. The developer will explore cost effective solar energy applications for the home.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

Parking

At this time, nine (9) parking stalls are shown, including one ADA parking stall. Sufficient space is available for additional parking, and must be carefully planned to accommodate Scenic Corridor design standards. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site.



Southwest corner of property with fire hydrant on left

Commitment to the Community

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, one house and one large shed, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightening Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborist for the development is Tom Gomez of Tom's Tree Service. The property contains one large oak, and a smaller oak, and various evergreens along the northern boundary and frontage on Pentz. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'.

A heritage oak tree, a primary feature of the property, is centered in the western half of the property. The preliminary design of wastewater leech field provides for margin of 40 to 50 feet around the perimeter of the heritage oak, allocated for root protection.



View from Pentz Road looking west at Heritage Oak

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and values expressed by the American Assisted Living Association (ALFA). Architect Gregory Peitz has designed several facilities in the region, including Townsend House, Roses and Ivy in Chico. In addition, the development team intends to follow sustainable practices and the design ideologies described in Leadership in Energy and Environmental Design (LEED) to the project.

The vision for the Northwest Assisted Living Paradise Lodge is to create the atmosphere of an elegant, but comfortable mountain lodge. Architectural details found in resorts, such as Timberline, Oregon, will be used to enhance the ambiance of the living facility. Landscaping will follow philosophy of the Town of Paradise's Regional Scenic Corridor. Three concept elevations are provided below.

Paradise Lodge Concept Elevations



Concept Elevation One

Façade of an assisted living facility in Gig Harbor WA. The northwest design is captured by the alpine style of this Swiss Chalet. Decorative porch and rock chimney convey ideas of home, hearth and comfort.

Concept Elevation Two

Forest green color and shingled façade of this large residence captures the northwest design ideology. Lawn, shrubbery and trees follow Town of Paradise preservation of Pentz Road's regional scenic corridor.



Concept Elevation Three

Photo of an assisted living facility found in La Grande, Oregon. Natural light feature in center of facility would apply LEED design philosophy by allowing natural light into the common living space.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified Geospatial Technician (GIS). She has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
Bill Martin CEO, Builder
Ann Martin CFO, Planner
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
wlmconstructioninc@gmail.com
(530) 520-5170 Bill
(530) 520-5178 Ann

Architect: Gregory A. Peitz, Architect
383 Rio Lindo Ave.
Chico, CA 95926
gregpeitz@sbcglobal.net
(530) 894-5719
(530) 894-1523 fax

Civil Engineer: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Wastewater: Jan Hill, R.E.H.S.
Registered Environmental Health Specialist
6671 Evergreen Lane
Paradise, CA 95969
(530) 872-4027 phone
(530) 872-2284 fax
(530) 519-3160 cell

Surveyor: L & L Surveying
1007 Bille Road
Paradise, CA 95969
(530) 877-4300

Arborist: Tom Gomez, Certified Arborist
Tom's Tree Service
6791 Pentz Road
Paradise, CA 95969
(530) 877-6055

Danz, Doug

From: Danz, Doug
Sent: Tuesday, February 28, 2012 11:26 AM
To: 'Jarrod Holliday'
Subject: Martin Assisted Living on Pentz

Jarrold, thanks for the data on the LUR. Just some random thoughts on Martin Assisted Living to shoot your way and maybe we can have a conversation afterwards.

We need an Engineer to review soils data and determine where the leachfields are going, show a map of the lay-out and that the original and replacement will "fit" - given the buildings, driveways, improvements being made, state that the soils are acceptable for their intended use. Thanks for the Gross Loading Calcs.

Is there a way to get closer on the numbers generated by the 2 care facilities being reviewed? Monthly water records are acceptable and have a smaller peaking factor multiplier. If I had the addresses of these facilities we could get PID records, sometimes they have daily readings (new telemetric meter reading capacities are on some). They should have monthly readings. My concern is, in times past the State wanted review on systems with design flows over 2500 gpd, so at 3000 gpd this could be subject to their review.

I also have concerns on designing septic tank volume off of the daily average rather than the design flow. I believe it's always been the design flow we have designed them off of and I think that is appropriate. I don't think treatment should necessarily be designed off of the daily average either- unless there is some sort of metering involved where treatment will never be over-dosed on those peak days.

This all begs the need for more accurate meter readings from the 2 facilities to perhaps get the design flow lower. I believe it will be lower.

We can talk later. - Doug

Customer Number: 101126 000

Service Address: 1468 SUN MANOR

AP# 54182084

Tran Date	Tran Type	Amount	Description	PID-Serv	PID-Cons	Town-PF	OSW	Util Tax	Serv Fee	Penalty
-----------	-----------	--------	-------------	----------	----------	---------	-----	----------	----------	---------

Read Date	Reading	Consumption	GPD
02/08/2012	1,021	26	- 648
01/09/2012	995	34	- 848
12/07/2011	961	29	- 723
11/08/2011	932	34	- 848
10/10/2011	897	50	
09/08/2011	847	80	
08/08/2011	767	53	
07/11/2011	713	62	
06/08/2011	652	59	- 735
04/18/2011	592	58	- 723
02/15/2011	534	71	- 885
12/15/2010	463	88	
10/15/2010	375	160	
08/16/2010	215	139	
06/15/2010	76	76	
05/27/2010	0	0	
Meter Update			
05/26/2010	6,191	12	
04/15/2010	6,179	68	
02/16/2010	6,111	64	
12/15/2009	6,047	54	
10/15/2009	5,993	119	
08/17/2009	5,874	174	
06/15/2009	5,700	129	
04/15/2009	5,571	65	
02/17/2009	5,506	63	
12/17/2008	5,443	89	
10/15/2008	5,354	170	
08/15/2008	5,184	130	
06/16/2008	5,054	96	
04/15/2008	4,958	65	
02/15/2008	4,893	69	
12/17/2007	4,824	71	

Aug = 773 gpd
 x 1.5 peaking factor

 1,159 gpd
 ÷ 22 beds

 52.68
 = 53 gpd/bed

Customer Number: 101126 000

Service Address: 1468 SUN MANOR

AP# 54182084

RT/SEQ/METER 30 - 000118 - 00008123

Read Date Reading Consumption

10/15/2007	4,753	108
08/15/2007	4,645	134
06/15/2007	4,511	112
04/16/2007	4,399	86
02/15/2007	4,313	60
12/15/2006	4,253	76
10/16/2006	4,177	184
08/15/2006	3,993	165
06/15/2006	3,828	90
04/17/2006	3,738	63
02/15/2006	3,675	60
12/15/2005	3,615	70
10/17/2005	3,545	200
08/15/2005	3,345	213
06/15/2005	3,132	116
04/15/2005	3,016	65
02/15/2005	2,951	71
12/15/2004	2,880	64
10/15/2004	2,816	201
08/16/2004	2,615	321
06/15/2004	2,294	182
04/15/2004	2,112	78
02/17/2004	2,034	56
12/15/2003	1,978	79
10/15/2003	1,899	174
08/15/2003	1,725	190
06/16/2003	1,535	129
04/15/2003	1,406	64
02/18/2003	1,342	63
12/16/2002	1,279	95
10/15/2002	1,184	174
08/15/2002	1,010	267
06/17/2002	743	149
04/15/2002	594	62
02/15/2002	532	45
12/17/2001	487	79
10/15/2001	408	204
08/15/2001	204	199
06/15/2001	5	0
Meter Change Out	05/24/2001	0

Customer Number: 003331 000

Service Address: 585 BILLE RD

Mtn Mdw

AP# 51071098

Tran Date	Tran Type	Amount	Description	PID-Serv	PID-Cons	Town-PF	OSW	Util Tax	Serv Fee	Penalty
-----------	-----------	--------	-------------	----------	----------	---------	-----	----------	----------	---------

Read Date	Reading	Consumption
-----------	---------	-------------

02/01/2012	887	30 - 748
01/03/2012	857	43 - 1072 <i>Daymeter 1072</i>
12/01/2011	814	26 - 648
11/01/2011	788	41 - 1022 <i>Daymeter 1022</i>
10/03/2011	747	61
09/01/2011	685	38 Includes last years
08/01/2011	648	37
07/05/2011	611	39

*Aug = 776
x 1.5
1164 gpd*

*1164 gpd ÷ 15 beds
= 77.6 gpd/bed*

Customer Number: 003331 000

Service Address: 585 BILLE RD

AP# 51071098

RT/SEQ/METER	10 - 000225 - 00002560	Read Date	Reading	Consumption
		06/01/2011	572	28
		05/02/2011	544	59 - 735
		03/01/2011	485	52 - 648
		01/04/2011	433	45 - 561
		11/15/2010	389	113
		09/15/2010	275	155
		07/15/2010	120	120
		06/16/2010	0	0
	Meter Update.	06/15/2010	26	21
		05/14/2010	5	104
		03/12/2010	9,901	84 -
		01/15/2010	9,817	92
		11/16/2009	9,725	226
		09/15/2009	9,499	277
		07/15/2009	9,222	120
		05/14/2009	9,102	146
		03/13/2009	8,956	149
		01/15/2009	8,807	96
		11/17/2008	8,711	88
		09/15/2008	8,623	84
		07/15/2008	8,539	112
		05/14/2008	8,427	174
		03/14/2008	8,253	176
		01/15/2008	8,077	150
		11/15/2007	7,927	345
		09/17/2007	7,582	329
		07/16/2007	7,253	145
		05/14/2007	7,108	156
		03/14/2007	6,952	133
		01/16/2007	6,819	132
		11/15/2006	6,687	165
		09/15/2006	6,522	190
		07/17/2006	6,332	210
		05/12/2006	6,122	151
		03/14/2006	5,971	116
		01/17/2006	5,855	193
		11/15/2005	5,662	185
		09/15/2005	5,477	166
		07/15/2005	5,311	162
		05/13/2005	5,149	122
		03/14/2005	5,027	117
		01/14/2005	4,910	199
		11/15/2004	4,711	232



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

SITE EVALUATION REPORT

Date: 9-5-09 Client Name: BILL MARTIN OS# _____

Assessor's Parcel Number: 050-082-023 Parcel Size: 1.66 Ac.

Slope: 0-6% Existing or Proposed Wells: NONE

Surface Water:

- a. Stream: NONE
- b. Drainage Swale: NONE

Groundwater:

- a. Perched: NONE
- b. Seasonal: NONE

Landslides or Unstable Soils: NONE

Easements: 1 ON NORTHSIDE OF PARCEL 20' WIDE X 392' LONG

Roads, Driveways: PENTZ RD.; 2 DRIVEWAYS

Existing Structures: NONE

Vegetation: OAKS, PINES, NATIVE GRASSES

Rock Outcrops: NONE

Escarments and Large Cuts: ROADSIDE CUT ALONG PENTZ (3 TO 6')

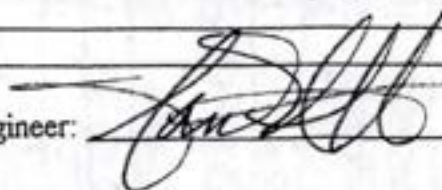
Proposed Development: MAXIMUM USAGE - SEE ATTACHED

Utilities (Water, Gas, Power, etc): PRESENT IN P.U.E.

Soil Type Description (Attach Report): SEE ATTACHED

Perc Test Results (Attach Report): SEE ATTACHED

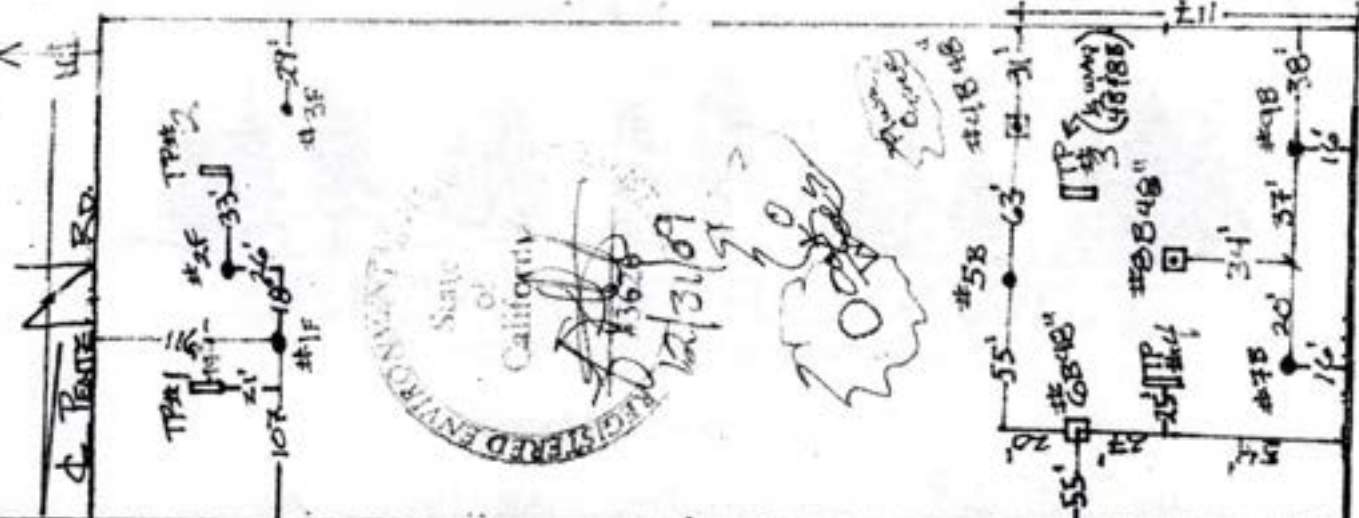
Comments: SEE ATTACHED CALC SHEETS

Evaluator/Engineer:  - Jan Hill

OWNER: YUM WAX TIX
 Location: Pentz Rd.

Date: 4/5/09
 Weather: Clear / overcast

Blade No.	Number of Fillings	Time of Measurement	Water Level From Surface	Drop in Water Level	Blade No.	Number of Fillings	Time of Measurement	Water Level From Surface	Drop in Water Level
Blade No. 1 FRONT	1	2:30		0	Blade No. 4 Back	1	3:05		0
Depth 30 ±	2	3:10	240	4	Depth 48 ±	2	3:13	211	4
Diameter or diam 7-8	3	5:40	250	4	Diameter or diam 7-8	3	4:17	237	4
Soak overnight YES	4	7:30	210	3 1/4	Soak overnight YES	4	5:57	240	4
Location SEE MAP	5				Location SEE MAP	5	5:45	248	4
Remarks IN HOLE AFTER PRESOAK	6				Remarks NO WATER IN HOLE AFTER PRESOAK	6			
Results $\frac{110}{3.25} = 33.85$	7				Results $\frac{48}{4} = 12$	7			
$\times 1.6 = 54$ <i>minimum</i>	8				$\times 1.6 = 19.20$ <i>minimum</i>	8			
Blade No. 2 FRONT	1	2:30		0	Blade No. 5 Back	1	3:05		0
Depth 30 ±	2	7:30	300	3 7/8	Depth 30 ±	2	3:13	218	4
Diameter or diam 7-8	3				Diameter or diam 7-8	3	23	210	4
Soak overnight YES	4				Soak overnight YES	4	34	211	4
Location SEE MAP	5				Location SEE MAP	5	47	213	4
Remarks IN HOLE AFTER PRESOAK	6				Remarks NO WATER IN HOLE AFTER PRESOAK	6	4:04	217	4
Results $\frac{300}{3.625} = 82.78$	7				Results $\frac{17}{4} = 4.25$	7			
$\times 1.6 = 132.4$ <i>minimum</i>	8				$\times 1.6 = 6.8$ <i>minimum</i>	8			
Blade No. 3 FRONT	1	2:30		0	Blade No. 6 Back	1	3:05		0
Depth 30 ±	2	3:15	245	4	Depth 48 ±	2	3:55	230	4
Diameter or diam 7-8	3	4:06	251	4	Diameter or diam 7-8	3	4:18	243	4
Soak overnight YES	4	5:14	268	4	Soak overnight YES	4	5:55	237	4
Location SEE MAP	5	6:19	265	4	Location SEE MAP	5	5:39	244	4
Remarks IN HOLE AFTER PRESOAK	6	7:30	271	4	Remarks NO WATER IN HOLE AFTER PRESOAK	6	6:22	243	4
Results $\frac{271}{4} = 17.75$	7				Results $\frac{43}{4} = 10.75$	7			
$\times 1.6 = 28.40$ <i>minimum</i>	8				$\times 1.6 = 17.2$ <i>minimum</i>	8			
Blade No. 9	9				Blade No. 9	9			



I hereby certify under penalty of perjury that these data are true and correct. John Pentz REHS #3626

CLIENT: WILL WILSON
 Location: Ponte Rio

Date: 9/5/09
 Weather: clear/overcast

Blade No	Depth	Diameter or dia	Soaked overnight	Location	Remarks	Number of Fillings	Time of Measurement	Water Level From Surface	Drop In Water Level
Q1F	3	7.35	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	1	3:37	4	0
Q2F	3	11.51	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	2	4:12	4	0
Q3F	3	5.33	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	3	5:02	4	0
Q4B	3	4.33	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	4	4:00	4	0
Q5B	3	2.6	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	5	12:12	4	0
Q6B	3	4.15	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	6	26:14	4	0
Q7B	3	2.37	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	7		4	0
Q8B	3	3.35	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	8		4	0
Q9B	3	2.37	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	9		4	0
Q10F	3	7.35	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	1	3:37	4	0
Q11F	3	11.51	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	2	4:12	4	0
Q12F	3	5.33	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	3	5:02	4	0
Q13B	3	4.33	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	4	4:00	4	0
Q14B	3	2.6	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	5	12:12	4	0
Q15B	3	4.15	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	6	26:14	4	0
Q16B	3	2.37	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	7		4	0
Q17B	3	3.35	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	8		4	0
Q18B	3	2.37	YES	SEE MAP	NO WATER IN HOLE AFTER PRESOAK	9		4	0



I hereby certify under penalty of perjury that these data are true and correct.
Jan 21 2010 B.E.H.S # 3626

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: Bill Martin Location: Pentz Rd Mantle No: 1 NE of Property

APN: _____ Date: 9-07-04 Weather/Lighting/Temp: Clear/Bright/Hot Total Depth: 84

Depth: 0 to 20" Color: 2.5YR4/6 Red Horizon: 0 A E B C R Texture*: CL Ribbon*: 2-2 1/4" % Clay: < 27 27-40 > 40

* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %

a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt

Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05

Rock Fragments %: <15 15-35 36-60 > 60 Rock Size (in mm): < 75 76-250 251-600 > 600

Rock Shape: Rounded Sub-rounded Angular Irregular N/A Bedrock Condition: Un-weathered Weathered

Structure Grade: Weak Moderate Strong Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Coarse (11+) Coarse(21+) Course

Stickiness: Not Slightly Sticky Very Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid

Plasticity: Not Slightly Plastic Very Cementation: Non C Ex/W.C VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Dry Moist Wet

Mottles: NO YES Color Mottle Contrast: Faint Distinct Prominent Quantity: Few Common Many

Mottle Size (mm): Fine (<5) Med (5-15) Large (>15) Redox Conc: N/A Nodules Depletions: Iron Clay

Redoximorphic: YES NO Concretions Masses N/A Depletions: Iron Clay

Depth: 20 to 58" Color: 5YR4/6 Yellowish Red Horizon: 0 A E B C R Texture*: S:LT+sap Ribbon*: 1-1 1/2" % Clay: < 27 27-40 > 40

* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %

a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt

Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05

Rock Fragments %: <15 15-35 36-60 NO Rock Size (in mm): < 75 76-250 251-600 > 600

Rock Shape: Rounded Sub-rounded Angular Irregular N/A Bedrock Condition: Un-weathered Weathered

Structure Grade: Weak Moderate Strong Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Coarse (11+) Coarse(21+) Course

Stickiness: Not Slightly Sticky Very Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid

Plasticity: Not Slightly Plastic Very Cementation: Non C Ex/W.C VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Dry Moist Wet

Mottles: NO YES Color Mottle Contrast: Faint Distinct Prominent Quantity: Few Common Many

Mottle Size (mm): Fine (<5) Med (5-15) Large (>15) Redox Conc: N/A Nodules Depletions: Iron Clay

Redoximorphic: YES NO Concretions Masses N/A Depletions: Iron Clay

Depth: 58 to 84" Color: 5YR4/6 Yellowish Red Horizon: 0 A E B C R Texture*: S:LT+sap Ribbon*: 1-1 1/4" % Clay: < 27 27-40 > 40

* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (SI), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %

a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt

Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05

Rock Fragments %: <15 15-35 36-60 NO Rock Size (in mm): < 75 76-250 251-600 > 600

Rock Shape: Rounded Sub-rounded Angular Irregular N/A Bedrock Condition: Un-weathered Weathered

Structure Grade: Weak Moderate Strong Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Coarse (11+) Coarse(21+) Course

Stickiness: Not Slightly Sticky Very Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid

Plasticity: Not Slightly Plastic Very Cementation: Non C Ex/W.C VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Dry Moist Wet

Mottles: NO YES Color Mottle Contrast: Faint Distinct Prominent Quantity: Few Common Many

Mottle Size (mm): Fine (<5) Med (5-15) Large (>15) Redox Conc: N/A Nodules Depletions: Iron Clay

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owners: <u>Bill Martin</u>		Location: <u>Pentec Rd</u>		Mantle No: <u>2 SE</u>
APN:	Date: <u>9-21-09</u>	Weather/Lighting/Temp: <u>CL BC H</u>	Total Depth: <u>84</u>	
Depth: <u>0 to 29</u>	Color: <u>5YR 4/6 Yellowish Red</u>	Horizon: <u>O A B C R</u>	Texture*: <u>SL</u>	Ribbon*: <u>1-1/4"</u> % Clay: <u>< 27</u> 27-40 > 40
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SiCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %				
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt				
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med Coarse (2-6) (>6)	Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med Coarse (2-6) (>6)
Rock Shape: Rounded Sub-rounded Angular Irregular	Rock Size (in mm): <15 15-35 36-60 76-250 251-600 >600	Rock Condition: Un-weathered Weathered	Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-6) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	MASSIVE GRAIN	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones	Distribution/Types of Pores: Vesicular Imped Exped Tubular Irregular
Stickiness: Not Slightly Sticky Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StG. VeryStG. Idurated	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Frable Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	Boundary (in cm): Abrupt (<2) Gradual (5-15)	Soil Water: Dry Moist Wet
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent	Comments:	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many	Redoximorphic: YES NO		
Redoximorphic: YES NO	Redox Conc: Concretions	Nodules Masses	Depletions: Iron Clay	
Depth: <u>29 to 60</u>	Color: <u>7.5YR 4/6 Stg Brown</u>	Horizon: <u>A B C R</u>	Texture*: <u>SiL+Sap</u>	Ribbon*: <u>1"</u> % Clay: <u>< 27</u> 27-40 > 40
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SiCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %				
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt				
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med Coarse (2-6) (>6)	Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med Coarse (2-6) (>6)
Rock Shape: Rounded Sub-rounded Angular Irregular	Rock Size (in mm): <15 15-35 36-60 76-250 251-600 >600	Rock Condition: Un-weathered Weathered	Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-6) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	MASSIVE GRAIN	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones	Distribution/Types of Pores: Vesicular Imped Exped Tubular Irregular
Stickiness: Not Slightly Sticky Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StG. VeryStG. Idurated	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Frable Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	Boundary (in cm): Abrupt (<2) Gradual (5-15)	Soil Water: Dry Moist Wet
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent	Comments: Saprolite < 1%	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many	Redoximorphic: YES NO		
Redoximorphic: YES NO	Redox Conc: Concretions	Nodules Masses	Depletions: Iron Clay	
Depth: <u>60 to 84</u>	Color: <u>7.5YR 4/6 Stg Brown</u>	Horizon: <u>A B C R</u>	Texture*: <u>SiL+Sap</u>	Ribbon*: <u>1-1/4"</u> % Clay: <u>< 27</u> 27-40 > 40
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SiCL), Sandy Clay (SC), Silty Clay (SiC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %				
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt				
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05	Rock Fragments %: <15 15-35 36-60		Root Size/Number (in mm): V.Fine (<1) Fine (1-2) Med Coarse (2-6) (>6)	Pores Size/Number (in mm): V.Fine (<1) Fine (1-2) Med Coarse (2-6) (>6)
Rock Shape: Rounded Sub-rounded Angular Irregular	Rock Size (in mm): <15 15-35 36-60 76-250 251-600 >600	Rock Condition: Un-weathered Weathered	Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	Average number per eq. decimeter: Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-6) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(6+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course	MASSIVE GRAIN	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones	Distribution/Types of Pores: Vesicular Imped Exped Tubular Irregular
Stickiness: Not Slightly Sticky Very	Cementation: Non C ExW.C. VeryW.C. W.C. Mod C. StG. VeryStG. Idurated	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Frable Frable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	Boundary (in cm): Abrupt (<2) Gradual (5-15)	Soil Water: Dry Moist Wet
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color	Mottle Contrast: Faint Distinct Prominent	Comments: Sap < 1%	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Quantity: Few Common Many	Redoximorphic: YES NO		
Redoximorphic: YES NO	Redox Conc: Concretions	Nodules Masses	Depletions: Iron Clay	

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd</u>		Mantle No: <u>35U</u>	
APN:		Date: <u>9-01-09</u>	Weather/Lighting/Temp: <u>Br</u>	Total Depth: <u>96</u>	
Depth: <u>35</u>	Color: <u>2.5YR3/6 DK. Red</u>	Horizon: <u>A B C R</u>	Texture*: <u>L</u>	Ribbon*: <u>2U</u>	% Clay: <u><27 27-40 >40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5)		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5)	
Rock Fragments %: <15 15-35 35-60	Rock Size (in mm): 2-75 76-250 251-600 >600	Average number per eq. decimeter		Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered	Few <10 <10 <1 <1		Few <10 <10 <1 <1	
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(8+) Med (11-20) Med (21-60) V.Coarse (11+) Coarse(21+) Course	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones		Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very	Cementation: Non C Ex/W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid		Soil Water: Dry Moist Wet	
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color	Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)		Topo: Smooth Wavy Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Mottle Contrast: Faint Distinct Prominent	Comments:			
Redoximorphic: YES NO	Redox Conc: Concretions	Mottles: NO YES Color		Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	
Depth: <u>35 to 70</u>	Color: <u>2.5YR4/6 Red</u>	Horizon: <u>A B C R</u>	Texture*: <u>L+Sap</u>	Ribbon*: <u>1U</u>	% Clay: <u><27 27-40 >40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5)		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5)	
Rock Fragments %: <15 15-35 35-60	Rock Size (in mm): 2-75 76-250 251-600 >600	Average number per eq. decimeter		Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered	Few <10 <10 <1 <1		Few <10 <10 <1 <1	
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(8+) Med (11-20) Med (21-60) V.Coarse (11+) Coarse(21+) Course	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones		Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very	Cementation: Non C Ex/W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid		Soil Water: Dry Moist Wet	
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color	Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)		Topo: Smooth Wavy Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Mottle Contrast: Faint Distinct Prominent	Comments: Sap < 2%			
Redoximorphic: YES NO	Redox Conc: Concretions	Mottles: NO YES Color		Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	
Depth: <u>70 to 96</u>	Color: <u>7.5YR4/6 Stg. Brown</u>	Horizon: <u>O A B C R</u>	Texture*: <u>SL+Sap</u>	Ribbon*: <u>1U</u>	% Clay: <u><27 27-40 >40</u>
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SICL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5)		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5)	
Rock Fragments %: <15 15-35 35-60	Rock Size (in mm): 2-75 76-250 251-600 >600	Average number per eq. decimeter		Average number per eq. decimeter	
Rock Shape: Rounded Sub-rounded Angular Irregular	Bedrock Condition: Un-weathered Weathered	Few <10 <10 <1 <1		Few <10 <10 <1 <1	
Structure Grade: Weak Moderate Strong	Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(8+) Med (11-20) Med (21-60) V.Coarse (11+) Coarse(21+) Course	Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones		Distribution/Types of Pores: Inped Exped Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very	Cementation: Non C Ex/W.C. VeryW.C. W.C. Mod C. Stg.C. VeryStg.C. Idurated	Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid		Soil Water: Dry Moist Wet	
Plasticity: Not Slightly Plastic Very	Mottles: NO YES Color	Boundary (in cm): Abrupt (<2) Clear (2-5) Gradual (5-15) Diffuse (>15)		Topo: Smooth Wavy Broken	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	Mottle Contrast: Faint Distinct Prominent	Comments: Sap < 1%			
Redoximorphic: YES NO	Redox Conc: Concretions	Mottles: NO YES Color		Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)	

SOIL MANTLE OBSERVATION

J. HILL CONSULTING 530-519-3160

Property Owner: <u>Bill Martin</u>		Location: <u>Pentz Rd.</u>		Mantle No: <u>4NW</u>	
APN: _____		Date: <u>9-1-09</u>		Weather/Lighting/Temp: _____	
Depth: <u>0 to 40</u> Color: <u>2.5YR 4/4 Reddish Brown</u>		Horizon: <u>O E B C R</u>		Texture*: <u>L</u> Ribbon*: <u>1/2 - 1/4</u> % Clay: <u>27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course		Distribution/Types of Pores: Inped Expd Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very		Cementation: Non C E/W/C VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Gradual (5-15) Diffuse (>15) Irregular RU Broken - - -		Soil Water: Dry Moist Wet	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Comments:	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many			
Redoximorphic: YES NO		Redox Conc: _____ Nodules _____ Masses _____ Depletions: Iron _____ Clay _____ Dpth to obs/Ind _____ water _____			
Depth: <u>40 to 54</u> Color: <u>5YR 3/4 DK. Red Brown</u>		Horizon: <u>O E B C R</u>		Texture*: <u>CL</u> Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course		Distribution/Types of Pores: Inped Expd Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very		Cementation: Non C E/W/C VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Gradual (5-15) Diffuse (>15) Irregular RU Broken - - -		Soil Water: Dry Moist Wet	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Comments:	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many			
Redoximorphic: YES NO		Redox Conc: _____ Nodules _____ Masses _____ Depletions: Iron _____ Clay _____ Dpth to obs/Ind _____ water _____			
Depth: <u>54 to 96</u> Color: <u>5YR 4/6 Yellowish Red</u>		Horizon: <u>O E B C R</u>		Texture*: <u>CL</u> Ribbon*: <u>2-2 1/2</u> % Clay: <u>< 27 27-40 > 40</u>	
* Gravel (G), Sand (S), Loamy Sand (LS), Sandy Loam (SL), Loam (L), Silt Loam (SIL), Silt (Si), Sandy Clay Loam (SCL), Clay Loam (CL), Silty Clay Loam (SCL), Sandy Clay (SC), Silty Clay (SIC), Clay (C), Siltstone (SS), Decomp Granite (DG), Lava, Saprolite, Mud Flow, Rhyolite, Andesite, Silica _____ %					
a-organic < 1/6, b-buried, c-concretions, d-root restriction, e-organic 1/6 - 2/5, f-frozen, g-gleyed, h-fluvial organic vc<3, i-organic > 2/5, k-carbonates, m-cemented, n-sodium, o-sesquioxides, p-plowed, q-silica, r-rock, s-fluvial org.vc>3, ss-slickensides, t-clay, v-plinthite, w-color & structure, x-fragipan, y-gypsum, z-salt					
Sand Size (in mm): 2.00-1.00 1.00-0.50 0.50-0.25 0.25-0.10 0.10-0.05		Root Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter		Pores Size/Number (in mm): V.Fine Fine Med Coarse (<1) (1-2) (2-5) (>5) Average number per eq. decimeter	
Rock Fragments %: <15 15-35 36-60		Rock Size (in mm): 2-75 76-250 251-600 >600		Average number per eq. decimeter Few <10 <10 <1 <1 Common 10-100 10-100 1-10 1-10 Many >100 >100 >10 >10	
Rock Shape: Rounded Sub-rounded Angular Irregular		Bedrock Condition: Un-weathered Weathered		Distribution of Roots: Between Peds In Cracks In Mat at Top of Horizon Matted Around Stones Throughout	
Structure Grade: Weak Moderate Strong		Structure Shape/Size (in mm): PLATY BLOCKY COLUMNAR Granular Sub/Angular Prismatic Fine (2) V. Fine (2-5) V. Fine (2-10) Medium(3+) Fine (6-10) Fine (11-20) Coarse(4+) Med (11-20) Med (21-50) V.Crs (11+) Coarse(21+) Course		Distribution/Types of Pores: Inped Expd Vesicular Tubular Irregular	
Stickiness: Not Slightly Sticky Very		Cementation: Non C E/W/C VeryW.C. W.C. Mod C. StgC. VeryStgC. Idurated		Rupture Resistance/Consistence: DRY: Loose Soft Slightly Hard Mod Hard Hard V.Hard Ex.Hard Rigid V.Rigid MOIST: Loose V.Friable Friable Firm V.Firm Ex.Firm SlightlyRigid Rigid V.Rigid	
Plasticity: Not Slightly Plastic Very		Boundary (in cm): Abrupt (<2) Clear (2-5) Smooth Wavy - Gradual (5-15) Diffuse (>15) Irregular RU Broken - - -		Soil Water: Dry Moist Wet	
Mottles: NO YES Color		Mottle Contrast: Faint Distinct Prominent		Comments:	
Mottle Size (mm): Fine (<5) Med (5-15) Large (>15)		Quantity: Few Common Many			
Redoximorphic: YES NO		Redox Conc: _____ Nodules _____ Masses _____ Depletions: Iron _____ Clay _____ Dpth to obs/Ind _____ water _____			

SIZING CALCULATIONS

Contractor: Bill Martin Const.

Location: Pentz Rd., AP# 050-082-023

Paradise, CA 95969

1. Maximum Loading Per Acre With PRETREATMENT: 2,000 gallons
2. Parcel Size: 1.66 acres
3. Maximum Loading for this Parcel: 2,000 gallons/acre x 1.66 acres = 3,320 gal/day;
4. Number of gallons of sewage produced by care facility with 18 total employees: (6 employees per shift X 3 shifts/day X 20 gal/employee/day = 360gal/day).
5. The number of residents allowed in the care facility with using pretreatment would be 23, based on the UPC sewage production figure of 125 gal/day/resident = 2,960 gal/day (3,320gal/day - 360gal/18 emps./day = 2,960 gal perday/125gal per res/day).
6. The leach field sizing would be as follows: 3,320gal/day :- 0.68gal/square foot/day(48inch test #4) = 4,882 square feet of absorption field required / 4 square feet/lineal foot (24 inches total rock) = 1,221 lineal feet of leach field required. It is the opinion of this consultant that the dispersal field/leach line would be of adequate size to service the proposed development.
7. The septic tank size should be 10,000gallon (3 day holding capacity); followed by a 7,500gallon dose/pump tank which will provide at least ½ day emergency storage.

TABLE K-3 (Continued)

Type of Occupancy	Gallons (liters) Per Day
10. Institutions (Resident)	75 (283.9) per person
Nursing home	125 (473.1) per person
Rest home	125 (473.1) per person
11. Laundries, self-service (minimum 10 hours per day)	50 (189.3) per wash cycle
Commercial	Per manufacturer's specifications
12. Motel	50 (189.3) per bed space
with kitchen	60 (227.1) per bed space
13. Offices	20 (75.7) per employee
14. Parks, mobile homes	250 (946.3) per space
picnic parks (toilets only)	20 (75.7) per parking space
recreational vehicles – without water hook-up	75 (283.9) per space
with water and sewer hook-up	100 (378.5) per space
15. Restaurants – cafeterias	20 (75.7) per employee
toilet	7 (26.5) per customer
kitchen waste	6 (22.7) per meal
add for garbage disposal	1 (3.8) per meal
add for cocktail lounge	2 (7.6) per customer
kitchen waste – Disposable service	2 (7.6) per meal
16. Schools – Staff and office	20 (75.7) per person
Elementary students	15 (56.8) per person
Intermediate and high	20 (75.7) per student
with gym and showers, add	5 (18.9) per student
with cafeteria, add	3 (11.4) per student
Boarding, total waste	100 (378.5) per person
17. Service station, toilets	1000 (3785) for 1st bay 500 (1892.5) for each additional bay
18. Stores	20 (75.7) per employee
public restrooms, add	1 per 10 sq. ft. (4.1/m ²) of floor space
19. Swimming pools, public	10 (37.9) per person
20. Theaters, auditoriums	5 (18.9) per seat
drive-in	10 (37.9) per space

(a) **Recommended Design Criteria.** Sewage disposal systems sized using the estimated waste/sewage flow rates should be calculated as follows:

- (1) Waste/sewage flow, up to 1,500 gallons/day (5,677.5 L/day)
Flow x 1.5 = septic tank size
- (2) Waste/sewage flow, over 1,500 gallons/day (5,677.5 L/day)
Flow x 0.75 + 1,125 = septic tank size
- (3) Secondary system shall be sized for total flow per 24 hours.

(b) Also see Section K 2 of this appendix.



L&L SURVEYING

1007 Bille Road - P.O. Box 671 - Paradise, CA 95967-0167
Telephone: (530) 877-4300 - FAX: (530) 877-2251

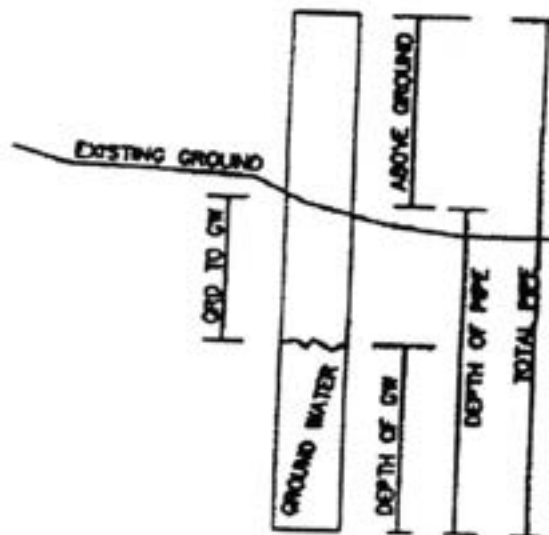
Martin - Pentz Road

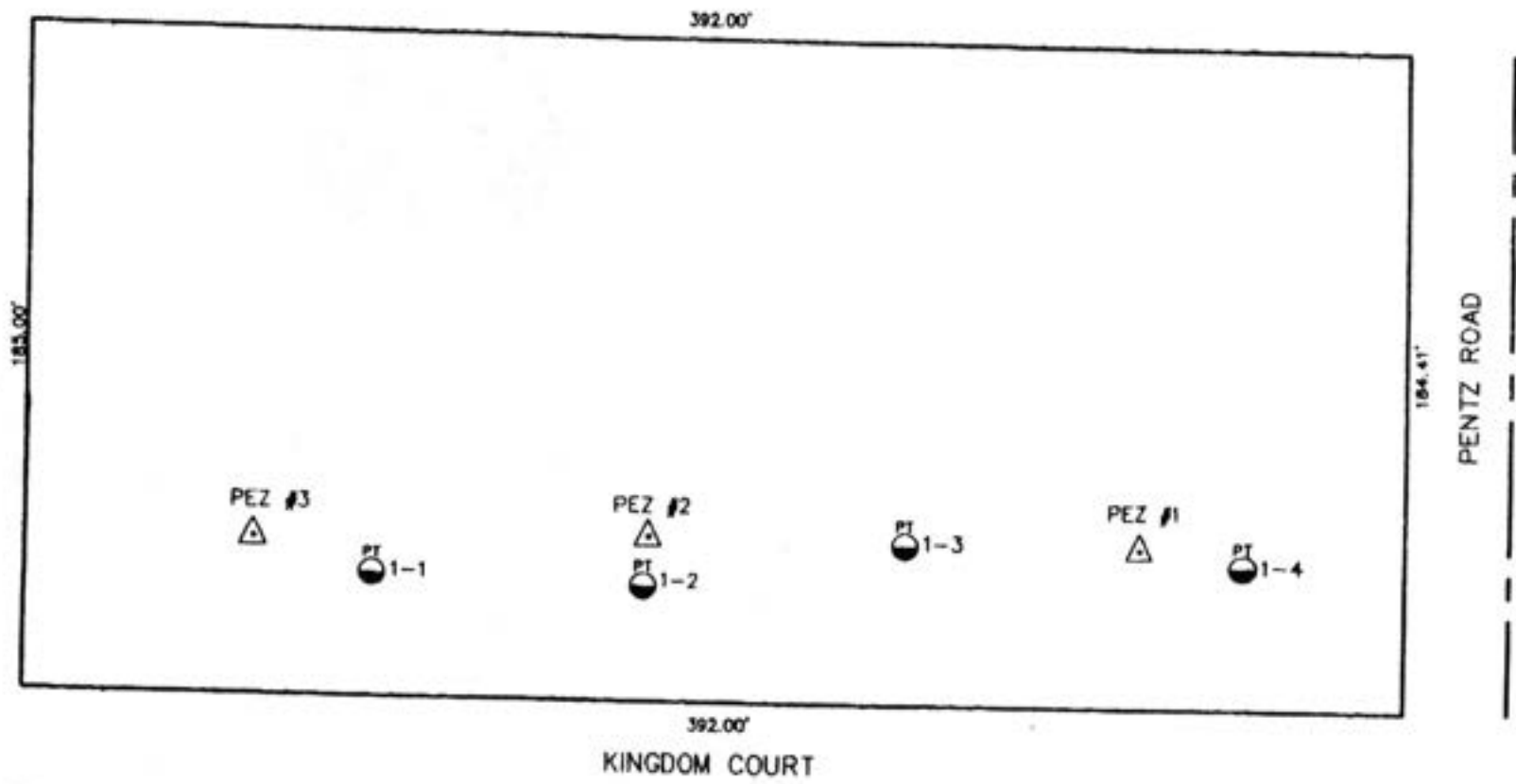
APN: 050-082-023

2007 - 2008



Installation

Pez	Total Pipe	Above Ground	Depth of Pipe	Installed
1	9.69	1.48	8.21	
2	9.78	1.76	8.02	
3	9.66	1.68	7.98	





SCALE 1" = 50'

- PEZ #1  = LOCATION OF PIEZOMETER
- PT 1-1  = LOCATION OF PERK TEST

PLOT OF PIEZOMETERS
AND PERK TESTS
FOR
MARTIN
AP # 050-080-023

JOB # 05-11-121

NOVEMBER 2006



L & L SURVEYING

1017 BULL ROAD PO BOX 677 PARSONS, CA 94927 (707)777-4200

Martin - Pentz Road

APN: 050-082-023

2007 - 2008

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/21/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/5/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
12/19/07	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
1/15/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
2/25/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
3/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/3/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/17/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
4/23/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon
5/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	G. Sheldon



Martin - Pentz Road

APN: 050-082-023

2008-2009

Monitoring

Date	1			2			3			Tech
	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	Depth of Pipe	Depth of GW	Grd to GW	
11/19/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/1/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/11/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/16/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/22/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
12/30/08	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/7/09	8.21	1.20	7.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/14/09	8.21	0.60	7.61	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/21/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
1/27/09	8.21	0.70	7.51	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/4/09	8.21	0.30	7.91	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
2/26/09	8.21	0.20	8.01	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/3/09	8.21	0.10	8.11	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/11/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/18/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
3/25/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy
4/1/09	8.21	Dry	Dry	8.02	Dry	Dry	7.98	Dry	Dry	K.Lundy



PERCOLATION TEST LOG

NAME: Martin, W.L. JOB#: 05-11-121 DATE: 11/10/2005
 LOCATION: 6983 Pentz Road APN: 050-082-023
 SOIL DESCRIPTION: Dark loam, rocks

The following test data was obtained in conformance with the approved Town of Paradise Onsite Wastewater Manual.

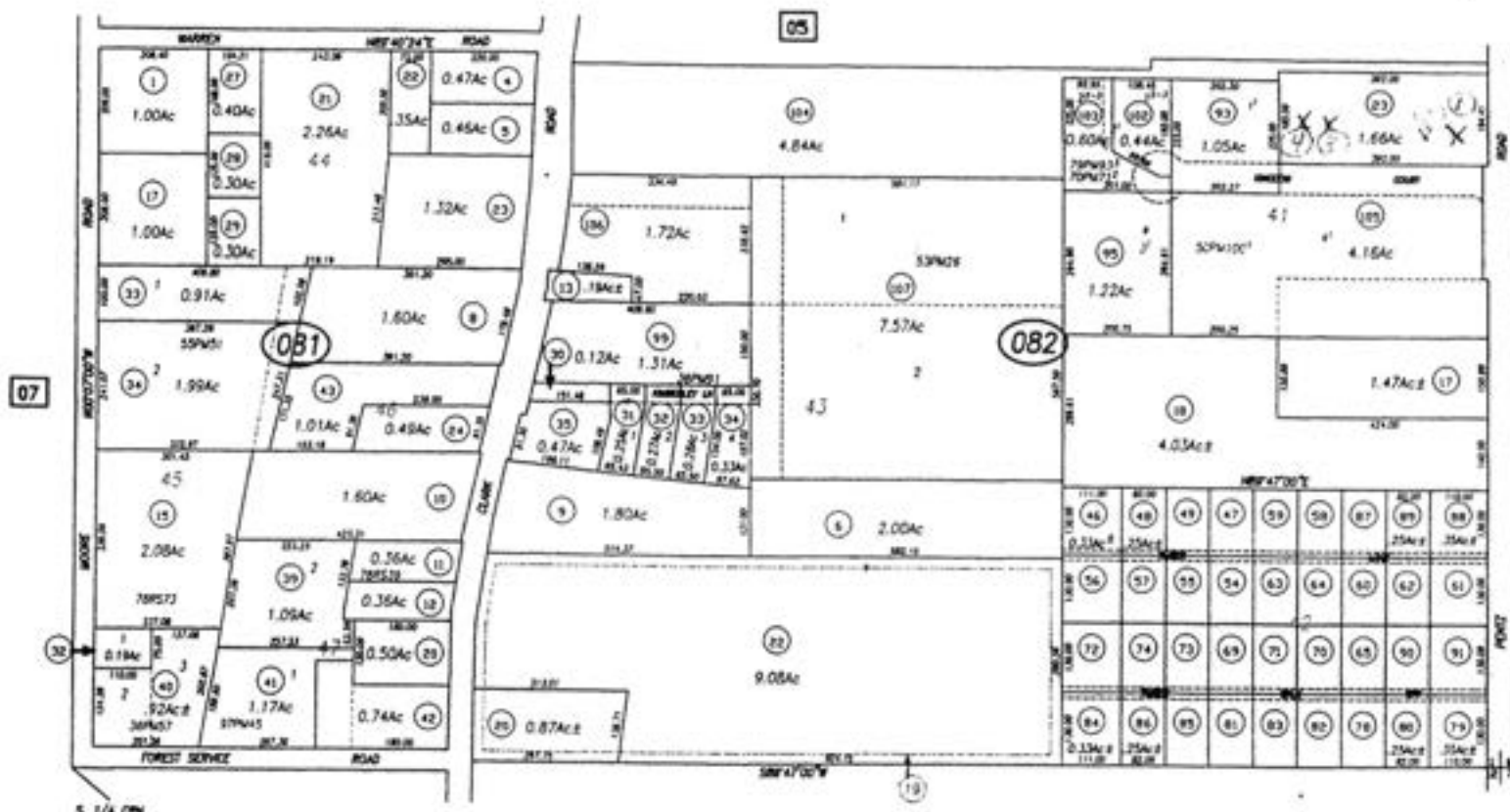
HOLES WERE PRESOAKED ON : 11/9/2005
 TEST PERFORMED BY: Chris Damron L. & L Surveying

HOLE #	DROP TIME		DROP TIME		DROP TIME		DROP TIME	
	4"	9"	4"	9"	4"	9"	4"	9"
1	9:28	9:08	9:25	9:07	8:08	7:45	9:29	9:10
2	9:51	9:08	9:46	9:07	8:35	8:08	9:52	9:10
3	10:16	9:08	10:08	9:07	9:06	8:08	10:19	9:10
4	10:47	9:08	10:34	9:07	9:38	8:08	10:48	9:10
5	11:18	9:08	11:01	9:07	10:14	8:08	11:22	9:10
Rate	1" 7.75 min	1" 6.75 min	1" 9 min	1" 8.5 min				

Average percolation rate = 8.0 min/inch x 1.6 T.O.P. ADJ Factor = 12.8 min/inch



EXP 6/30/07



S. 1/4 COR.

SUB. SEC. 1, "A" M.O.R. 12/13

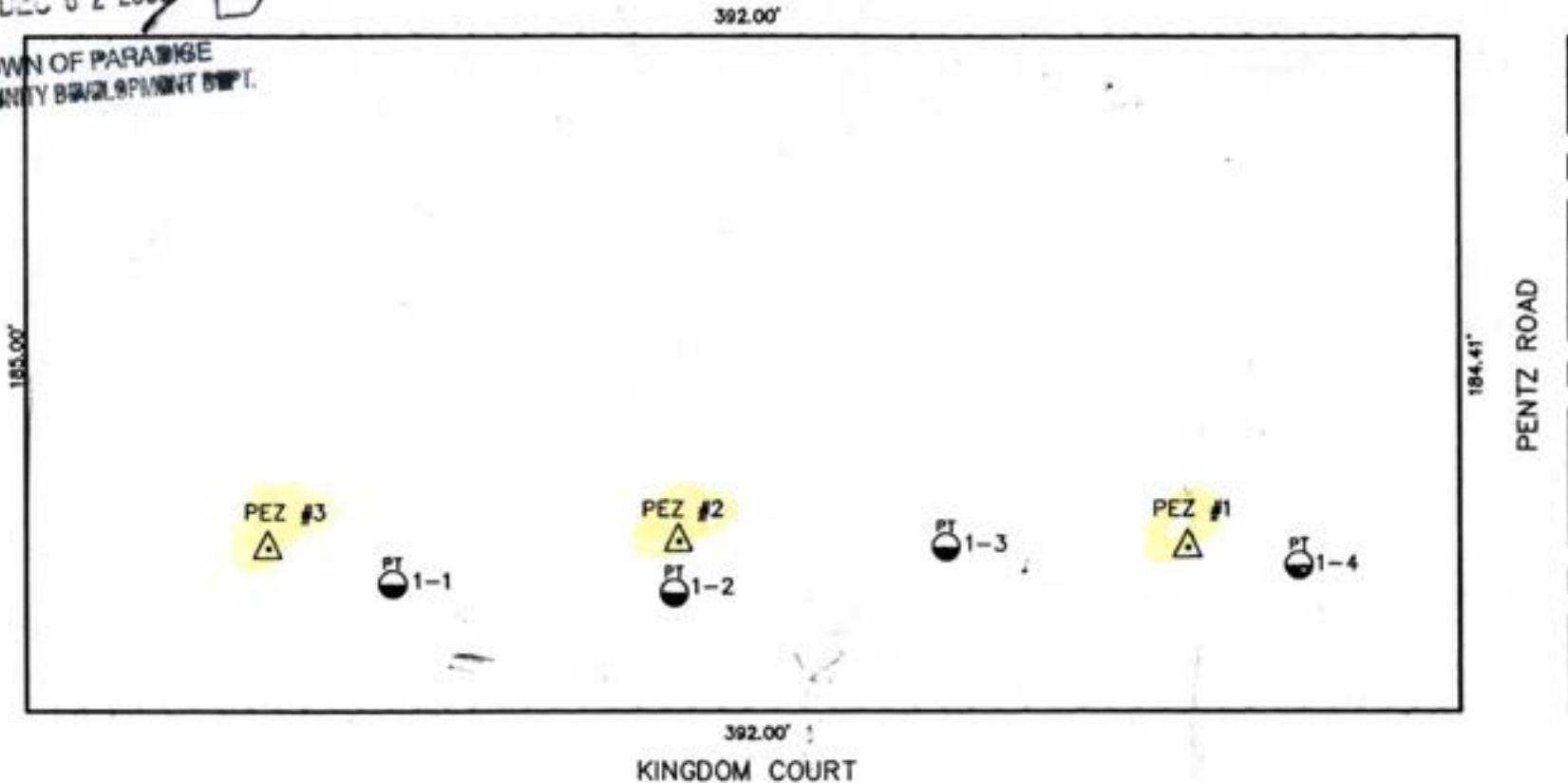
Butte County Assessor's Map
Book 50, Page 08

NOTE: These parcels are for assessment purposes only and may not constitute legal parcels.

CREATED BY	DB	CREATED ON	12-1-1999
REVISED BY	DB	REVISED ON	12-1-1999
		EFFECTIVE	00-01-2001
Compiled by The Butte County Assessor's Office			

RECEIVED
DEC 02 2008

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.



SCALE 1"=50'

- PEZ #1 = LOCATION OF PIEZOMETER
- PT 1-1 = LOCATION OF PERK TEST

PLOT OF PIEZOMETERS
AND PERK TESTS
FOR
MARTIN
AP # 050-080-023

JOB # 05-11-121

NOVEMBER 2006



L & L SURVEYING

1007 BILLE ROAD PO BOX 671 PARADISE, CA 95967 (530)877-4308

5

RECEIVED

1900

2

1221'

primary
AX Pads

23 beds

perc = 12.8 mpi

1.66 acre

x 1800 gpd/acre

2988 gpd w/ 1/2 abutting rdwy

(6 x 3)
Employees = 360 g/day

Residents = 23 x 125 gpd =

2875
+ 3235 gpd

3320 Thours

1221' x 6 f

7326 ft²
÷ 1 gpd/ft²

7326
gpd

2' rock

1221 x 4 ft² = 4884 ft²
x .5 gpd/ft²

2442 gpd
doubles

1221' = 7326 gpd treated

1221 = 2442 gpd
- non treated -

23.10.21

Handwritten notes, possibly "Handwritten" and "23.10.21"

1991

Handwritten notes, possibly "1991" and "Handwritten"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

1991

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

Handwritten notes, possibly "Handwritten" and "1991"

PTN. S. 1/2, SUB. SEC. 1, T.22N. R.3E. M.D.B.&M.

50-08



SUB. SEC. 1, 7/4 MOR. 12/13

All Assessor's maps are prepared for your property. Assessor's maps are not to be used for legal purposes. Assessor's maps are not to be used for legal purposes. Assessor's maps are not to be used for legal purposes.

Butte County Assessor's Map
Book 50, Page 08

CREATED BY	BT	CREATED ON	12-1-1999
REvised BY	BT	REvised ON	01-27-2008
EDITING ON	BT	EDITING ON	2008-09-08

Completed by the Butte County Assessor's Office





TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE APPLICATION
 PHONE: (530) 872-6291 ~ FAX (530) 877-5059



OWNER: JAY & Joyce Powell Family Trust ASSESSORS PARCEL: 050-082-023
Bill Martin, WWM Construction
 APPLICANT'S NAME: _____ APPLICANT'S PHONE NO.: (530) 520-5170
 APPLICANT'S ADDRESS: PO Box 2035 CITY, STATE, ZIP: Paradise, CA 95967
 CONSTRUCTION SITE ADDRESS: 6983 Pentz Rd.
 DESIGN ENGINEER: Rancho Engineering

APPLICATION TYPE:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Septic Tank | <input type="checkbox"/> Absorption Field |
| <input type="checkbox"/> Repair/Construction | <input type="checkbox"/> Abandonment | <input type="checkbox"/> Land Use Review |
| <input type="checkbox"/> Upgrade/Alteration | <input type="checkbox"/> Permit Renewal | <input type="checkbox"/> Building Clearance |

System Proposal:

Tank Size: _____ gal Absorption Field: _____ ft. Rock Under Pipe: _____ in

Comments: 30 BED CARE FACILITY

TYPE OF STRUCTURE SERVED BY PROPOSED SYSTEM:

- | | |
|--|---|
| <input type="checkbox"/> Single Family Residence; No of Bedrooms: _____ | Water Supply: |
| <input type="checkbox"/> Mobile Home Park; No of units served by System: _____ | <input checked="" type="checkbox"/> Community |
| <input checked="" type="checkbox"/> Commercial; Type of Occupancy: <u>30 BED</u> | <input type="checkbox"/> Well |

PLOT PLAN REQUIREMENTS: Indicate all of the following pertaining to the project site:

- Plot plan must be drawn to a 1" = 20' Scale. Provide all dimensions to setbacks
- Show property lines, required setbacks, easements, all existing and proposed structures, and location of septic system (existing and proposed). Provide North Arrow.
- Location of large trees, rock outcrops, escarpments and cutbanks.
- Location of any well, spring, drainage way, creek or pond located within 200 feet of the proposed septic system on proposed or adjacent parcels.
- Slope orientation and degree of slope.
- All utilities, i.e. water mains and service lines, gas lines, electric service lines, etc.
- Proposed septic system and, if required, septic system repair area(s).
- Trench section detail, type and location of distribution boxes and section detail of such proposed distribution, i.e. equal serial, step down.
- Floor plan of proposed structure and all appurtenant structures (commercial, new construction and building clearance).

[Signature]
 SIGNATURE OF APPLICANT

2-16-12
 DATE

RECEIPT

PARADISE
 PARADISE
 5555 SKYWAY
 PARADISE

Application: OS12-00562
Application Type: OnSite/Land Use Review/NA/NA
Address: 6983 PENTZ RD , PARADISE, CA 95969

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
7929	2028	\$364.00	02/16/2012	BKUHLMANN		PAID BY WLM CONSTRUCTION AP# 050-082- 023

Owner Info.: POWELL JAY & JOYCE FAMILY TRUST
 C/O POWELL JAY & JOYCE TRUSTEES
 VISALIA, CA 93277

Work Description: CARE FACILITY



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931
TELEPHONE (530) 872-6291 FAX (530) 877-5059
www.townofparadise.com

POWELL JAY & JOYCE FAMILY TRUST
C/O POWELL JAY & JOYCE TRUSTEES
1624 S COURT ST
VISALIA, CA 93277

7/17/2014

NOTICE FOR FAILURE TO EVALUATE PENDING CITATION

Permit Number: OS14-02818
Property Address: 6983 PENTZ RD (INF)
AP Number: 050-082-023-000

Dear POWELL JAY & JOYCE FAMILY TRUST,

A letter was sent to you by the Town of Paradise, Onsite Sanitation Division on placing you on notice that as per Paradise Municipal Code, (PMC), Section 13.04.090.B.1. the onsite wastewater disposal system at the referenced address was required to be evaluated by . Effective immediately, you are hereby required to contact a Certified Septic System Evaluator and arrange to have the system evaluated at once.

This notice is sent to inform you that since you failed to comply with the requirement to have your system evaluated, the Town of Paradise Code Enforcement Division has commenced the administrative citation process regarding your violation of the PMC. If an evaluation is submitted within 30 days from the date of this notice the citation process will be stopped. **If an evaluation is not submitted you will receive an administrative citation which has fines that begin at \$100.00 and escalate up to \$500.00 per day. In addition, and as per PMC Section 13.04.095, a criminal citation could be issued which requires your appearance in Butte County Superior Court.**

This will be your only notification before you receive an administrative citation from the Code Enforcement Division.

As the owner of the onsite wastewater disposal system, should you disagree with the decision of the Onsite Sanitary Official you are entitled to an appeal process. This process allows decisions of the Onsite Sanitary Official to be reviewed by submitting a written appeal to the Public Works Director/Town Engineer.

Sincerely,

Doug Danz
Onsite Sanitary Official
ddanz@townofparadise.com
530-872-6291 EXT 113

Extension
Until 8/18/2015
050-082-023
D Cook
8/18/2014



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931
TELEPHONE (530) 872-6291 FAX (530) 877-5059
www.townofparadise.com

POWELL JAY & JOYCE FAMILY TRUST
C/O POWELL JAY & JOYCE TRUSTEES
1624 S COURT ST
VISALIA, CA 93277

2/24/2014

EXPIRATION OF ONSITE WASTEWATER DISPOSAL SYSTEM OPERATING PERMIT

Permit Number:
Property Address:
AP Number:

OS14-00766
6983 PENTZ RD (EXP)
050-082-023-000

Dear POWELL JAY & JOYCE FAMILY TRUST,

In 1995, the Paradise Town Council adopted the provisions in Section 13.04.090, (B), (1), of the Paradise Municipal Code that require that an individual onsite wastewater treatment and disposal system be periodically evaluated. The periodic evaluation of the septic system is required to ensure the existing system is operating properly. There are times when it may appear to be functioning properly, but indeed may not be.

Our records indicate that you are the current owner of the above property and that it is time to renew your Onsite Wastewater Disposal System Operating Permit. The current operating permit will expire on . If your records should indicate differently, please contact our office so that we can resolve the discrepancy. 5/24/14

To update your operating permit, you must contact a licensed evaluator and arrange to have the listed property septic system evaluated. You have 90 days from the date of this letter to have your system evaluated. (Note: the evaluation does not necessarily require pumping). Enclosed for your convenience is a list of the licensed evaluators. To avoid additional charges from the evaluator, please ensure that all weed growth over the absorption field is less than two (2) feet in height before you call for your inspection.

Once the system has been inspected by the licensed evaluator he/she can inform you of whether or not the system may need to be pumped. The licensed evaluator is responsible for submitting the evaluation to the Onsite Wastewater Management Zone within seven (7) days of the inspection. The licensed evaluator is also required to provide you, the property owner, with a copy of the evaluation being submitted to the Town.

As the owner of the system, should you disagree with the decision of the Onsite Sanitary Official you are entitled to an appeal process. The process allows that decisions of the Onsite Sanitary Official can be appealed to the Public Works Director/Town Engineer; similarly, decisions of the Public Works Director can be appealed to the Town Manager; and decisions of the Town Manager can be appealed to the Town Council. Appeals filed with the Town Council shall be accompanied by an appeal fee.

Your time and cooperation in this process is appreciated. Your participation will benefit the community as a whole and will help protect the public health and safety by assuring your septic system is functioning properly.

Sincerely,



Debbie Cook
Environmental Services Specialist
dcook@townofparadise.com
530-872-6291 EXT 116

Encl.: Evaluator List

TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY PARADISE CA

ONSITE WASTEWATER DISPOSAL SYSTEM OPERATING PERMIT

Permit Number: 2006 312

Date of Issue: 01/31/2006

AP Number: 050-082-023

Property Address: 6983 PENTZ RD

Owner: POWELL JAY W & JOYCE L FAMILY TRUST
1624 S COURT ST
VISALIA, CA 93277

FILE COPY

Structure(s) served by this onsite wastewater disposal system: **TWO (2) Bedrooms** - Residential
Onsite wastewater disposal system daily design flow: **225.00** gallons per day.
Drainage Basin: **PENTZ1**

EXISTING SYSTEM COMPONENTS

Standard System

SEPTIC TANK

Installation Date: UNKNOWN
Construction: CONCRETE
Liquid Capacity: 1500 Gallons

Operating Permit Notes:

ABSORPTION FIELD

Installation Date: 10/13/2003
Total Length: 113 Ft.
Trench Width: 24 Inches
Total Rock Depth: 12 Inches

Inspector:
ROGER WROBEL / PARADISE SANITATION

Certificate/License Number:
S-102

Additional onsite wastewater disposal system evaluations are required if there are any changes in the onsite system operating parameters. (This permit is valid until the next evaluation of this onsite wastewater disposal system which is scheduled for 09/02/2012).

Date: 1/31/06

Signature: Bob Lawson

House Demdd - 6/06
(Destroyed)

FILE COPY

**TOWN OF PARADISE ONSITE WASTEWATER MANAGEMENT ZONE
EVALUATION REPORT**

This onsite wastewater system evaluation report will provide evidence to the Town of Paradise Onsite Wastewater Management Zone that the system has been evaluated for compliance with regulations in Chapter 13.04 of the Paradise Municipal Code and the Town of Paradise Manual for the Onsite Treatment of Wastewater.

Assessor's Parcel No. 050-082-023 Evaluation Date * Sept 2, 2005 Sanitech No. _____

Owner's Name: * Gary Modrell Phone No. * _____

Property Address: * 6983 Pentz Road

City, State, Zip: Paradise, Ca. 95969

Mailing Address: * 460 B St., Lincoln 95648; Pre-Sale; ReMax / Jan Gray

Evaluator: Paradise Sanitation Co. License No. s102

SEPTIC TANK OBSERVATIONS

Pentz 1

Access Riser(s) in Place.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Sanitary Tee, Inlet.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Scum Depth, Inlet Compartment.....	<u>2</u>	Inches
Sludge Depth, Inlet Compartment.....	<u>3</u>	Inches
Structural Tank Condition.....	<input type="checkbox"/> Good	<input checked="" type="checkbox"/> Fair <input type="checkbox"/> Poor
Liquid Operating Level.....	<input type="checkbox"/> High	<input checked="" type="checkbox"/> Normal <input type="checkbox"/> Low
Baffle Condition.....	<input type="checkbox"/> Good	<input checked="" type="checkbox"/> Fair <input type="checkbox"/> Poor
Septic Tank Volume.....	<u>1500</u>	Gallons
Add. Tank Volume.....		Gallons
Riser Condition.....	<input type="checkbox"/> Good	<input type="checkbox"/> Fair <input type="checkbox"/> Poor
Sanitary Tee, Outlet.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Scum Depth, Outlet Compartment.....	<u>0</u>	Inches
Sludge Depth, Outlet Compartment.....	<u>0</u>	Inches
Tank Material.....	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Poly/Fiberglass <input type="checkbox"/> Other
Septic Tank Pumping Required.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Was Septic Tank Pumped.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Date Septic Tank (s) Previously Pumped.....	<u>10/3/03</u>	<u>UNK</u> Date
Depth To Septic Tank Access Lid.....	<u>1-2"</u>	Inches
Effluent Pump.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes

RECEIVED
SEP 06 2005
TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

ABSORPTION FIELD OBSERVATIONS

Effluent Line Diverter Valve.....	None seen	<input type="checkbox"/> No	<input type="checkbox"/> Yes
Well on Property.....	None seen	<input type="checkbox"/> No	<input type="checkbox"/> Yes
Common Area Absorption Field.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Absorption Field Type.....	<u>Standard</u>	<input type="checkbox"/> Alternative	
Surfacing Effluent.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Hydraulic Load Test.....		<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Hydraulic Load Test Results.....	<input type="checkbox"/> Excellent	<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Satisfactory
	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input type="checkbox"/> FAILURE
Down Slope Seepage.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Saturated Absorption Field.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Multiple Systems.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Graywater Discharge.....	None seen	<input type="checkbox"/> No	<input type="checkbox"/> Yes

T unknown
F - 10/13/03 113/24/0

2130
NOV

COMMENTS / OBSERVATIONS

SEPTIC TANK: _____

* System has both inlet and outlet tees and was able to pass hydraulic

* load test. Older poured in place septic tank.

*

ABSORPTION TRENCHES: _____

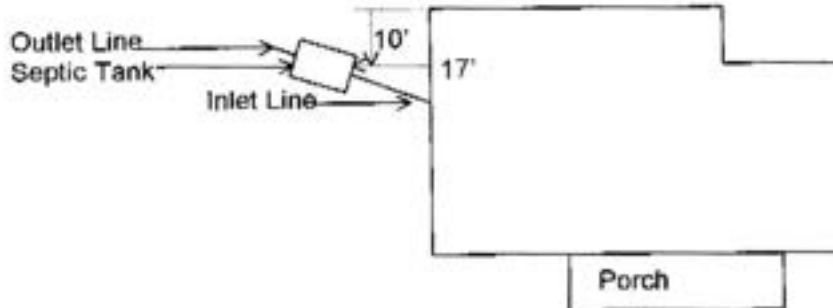
This onsite wastewater treatment and disposal system evaluation report is a true and complete record of the onsite wastewater treatment and disposal system on the date of the evaluation. No warranty is given or implied regarding the remaining life of this system.

I certify that this onsite wastewater treatment and disposal system evaluation report reflects conditions observed on the parcel (s) during the routine maintenance of the onsite wastewater treatment and disposal system.

EVALUATOR SIGNATURE: _____

DATE: * Sept 2, 2005

LOCATION OF SEPTIC TANK & ABSORPTION FIELD



PARCEL ADDRESS: * 6983 Pentz Road

TOWN OF PARADISE USE ONLY

The onsite wastewater treatment and disposal system is in substantial compliance with Chapter 13.04 of the Paradise Municipal Code and the Town of Paradise Manual for the Treatment of Wastewater:

YES

NO

**TOWN OF PARADISE ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY
PARADISE, CA 95969**

OFFICE: (530) 872-6291
FAX: (530) 877-5059

RECORDING REQUESTED BY
Mid Valley Title & Escrow Company

AND WHEN RECORDED MAIL TO:
The Powell Family Trust
1624 S. Court St.
Visalia, Ca. 93277

Melissa
Streak For
12th No Hold

Space Above This Line for Recorder's Use Only

A.P.N.: 050-082-023-000

File No.: 0402-2164310 (VG)

GRANT DEED

The Undersigned Grantor(s) Declare(s): DOCUMENTARY TRANSFER TAX \$330.00; CITY TRANSFER TAX \$0.00;
SURVEY MONUMENT FEE \$

- [] computed on the consideration or full value of property conveyed, OR
[] computed on the consideration or full value less value of liens and/or encumbrances remaining at time of sale,
[] unincorporated area; [] Town of **Paradise**, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **Gary Wayne Modrell, surviving joint tenant.**

hereby GRANTS to **Jay W. Powell and Joyce L. Powell, Trustees of the Jay and Joyce Powell Family Trust created January 22, 2002.**

the following described property in the Town of **Paradise**, County of **Butte**, State of **California**:

A PORTION OF LOT 41, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "OFFICIAL MAP OF THE SUBDIVISION OF SECTION 1, TOWNSHIP 22 NORTH, RANGE 3 EAST, MDM", WHICH MAP WAS RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF BUTTE, STATE OF CALIFORNIA, ON JUNE 12, 1922, IN BOOK "A" OF MAPS, AT PAGE(S) 12 AND 13, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 41; THENCE SOUTH 89 DEG. 40' WEST, 30 FEET TO A POINT IN THE WESTERLY LINE OF PENTZ ROAD, AS SHOWN ON SAID MAP AND THE TRUE POINT OF BEGINNING FOR THE PARCEL TO BE DESCRIBED; THENCE SOUTH 0 DEG. 09' EAST ALONG THE WESTERLY LINE OF SAID ROAD, A DISTANCE OF 185.0 FEET; THENCE LEAVING SAID ROAD, SOUTH 89 DEG. 40' WEST, 392.0 FEET; THENCE NORTH 0 DEG. 09' WEST, A DISTANCE OF 185.0 FEET TO A POINT IN THE NORTHERLY LINE OF SAID LOT 41; THENCE NORTH 89 DEG. 40' EAST ALONG SAID NORTHERLY LINE, A DISTANCE OF 392.0 FEET TO THE POINT OF BEGINNING.

Dated: 11/23/2005


Gary Wayne Modrell

ONSITE WASTEWATER CASH DRAWER [OS04]
5555 Skyway [OS03 YE 05]
Paradise, CA 95969

INVOICE
974

FILE

GARY WYNE MODRELL

GARY WYNE MODRELL

460 B-STREET
LINCOLN, CA 95648

460 B-STREET
LINCOLN, CA 95648

50082023 SC MID VALLEY TITLE 12/22/2005

12/22/2005

1.00 125.00

Escrow Clearence

56.00

56.00

CHECK #40225329

56.00

-56.00

SCHAMPION



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

Telephone: (530) 872-6291

November 25, 2005

Vicki Grosse, Escrow Officer
Mid Valley Title & Escrow Co.
7084 Skyway
Paradise, CA 95969

FAXED
11/25/05
FILE COPY

CLEARANCE TO RECORD

Escrow Number 2164310-VG
AP 050-082-023
Seller Modrell, Gary
New Owner Powell, Jay
Property Address 6983 Pentz Rd

Evaluation of the septic system serving the above property shows the system to be in compliance with the Paradise Municipal Code. The operating permit issued will be valid for a two (2) bedroom residence.

Recordation of transfer of title is hereby **AUTHORIZED**.

Please be advised the \$14.40 annual operating permit fee was not received for the 2005/06 fiscal year and will need to be paid out of escrow.

Please provide the \$56.00 escrow clearance fee and a copy of the newly recorded grant deed at the time escrow closes. Upon receipt, we will forward a copy of the operating permit to you as well as a copy to the new owner(s) of record.

Thank you for your participation in this effort to protect and enhance the public health of the Town of Paradise.

Sincerely,

Susan Champion
Susan Champion
Environmental Technician II

New Era on wall

Susan state had A
Agents in compliance - excel?
Recent escrow Vick.



Mid Valley Title & Escrow Company

7084 Skyway, Paradise, CA 95969 (530) 877-4471 FAX (530) 877-2966

RECEIVED
NOV 21 2005
TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT

DATE: 11-21-05

TO: ONSITE WASTEWATER MANAGEMENT DIVISION / TOWN OF PARADISE

ATTN: **SUSAN**
FAX: (916) 877-5059

RE: **CLEARANCE TO RECORD REQUEST**

Enclosed please find a Septic System Evaluation Report of the property listed. Please review immediately and provide us with your "CLEARANCE TO RECORD" or your "CONDITIONAL CLEARANCE TO RECORD" or immediate notice of further requirements, if any. A fee in the amount of \$50.00 will be sent to you at the close of escrow.

ESCROW OFFICER: Vicki
ESCROW NUMBER: 2164310-UG
PARCEL NUMBER: 050-082-023
PROPERTY ADDRESS: 6983 Pertz Rd
SELLER: Gary Modrell
NEW OWNERS: Jay Powell
(FULL NAMES TO BE RECORDED)


ESCROW OFFICER

ENCL.

①①①①①



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

Telephone: (530) 872-6291

September 20, 2005

FAXED
9/20/05

FILE COPY

JP Clark, Escrow Officer
Bidwell Title & Escrow
PO Box 490
Paradise, CA 95967

CLEARANCE TO RECORD

Escrow Number 00223175-003-JPC
 AP 050-082-023
 Seller Modrell, Gary Wayne
 New Owner Woodard, Chad & Meshel, Eric J.
 Property Address 6983 Pentz Rd

Evaluation of the septic system serving the above property shows the system to be in compliance with the Paradise Municipal Code. The operating permit issued will be valid for a two (2) bedroom residence.

Recordation of transfer of title is hereby **AUTHORIZED**.

Please be advised the \$14.40 annual operating permit fee was not received for the 2005/06 fiscal year and will need to be paid out of escrow.

Please provide the \$56.00 escrow clearance fee and a copy of the newly recorded grant deed at the time escrow closes. Upon receipt, we will forward a copy of the operating permit to you as well as a copy to the new owner(s) of record.

Thank you for your participation in this effort to protect and enhance the public health of the Town of Paradise.

Sincerely,

Susan Champion
 Susan Champion
 Environmental Technician II

New Eval on wall

RECEIVED

THE OFFICE



Since 1913

CHICO
500 Wall St.
PO Box 5173
Chico, CA 95927
(530) 894-2612
FAX (530) 894-0713

OROVILLE
1835 Robinson St.
PO Box 811
Oroville, CA 95965
(530) 533-2414
FAX (530) 533-1589

PARADISE
145 Pearson Road
PO Box 490
Paradise, CA 95967
(530) 877-6262
FAX (530) 872-5129

GRIDLEY
560 Kentucky
PO Box 949
Gridley, CA 95948
(530) 846-4005
FAX (530) 846-0584

Date : September 19, 2005
Escrow No. : 00223175-003-JPC

Town of Paradise
VIA FAX 877-5059

ATTENTION: ONSITE WASTEWATER MAINTENANCE DISTRICT

Please consider this our request for your Clearance to Record on the following described property:

Parcel No. : 050-082-023

Property Address : 6983 Pentz Road

Seller : Gary Wayne Modrell

New Owners : Chad Woodard
: Eric J. Meshel

RECEIVED
SEP 19 2005
TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT

Please review and provide us with your "Clearance to Record" or "Conditional Clearance to Record".
Your fee will be sent at the close of escrow together with a conformed copy of the Grant Deed.

BIDWELL TITLE & ESCROW COMPANY

JP Clark/TM

JP Clark, Escrow Officer

Handwritten initials and symbols

TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY PARADISE CA

ONSITE WASTEWATER DISPOSAL SYSTEM OPERATING PERMIT

Permit Number: 2003 3502

Date of Issue: 10/20/2003

AP Number: 050-082-023

Property Address: 6983 PENTZ RD

FILE COPY

Owner: MODRELL GARY WAYNE & FAYE ANN
460 B STREET
LINCOLN, CA 95648-

Structure(s) served by this onsite wastewater disposal system: **Two (2) Bedrooms** - Residential
Onsite wastewater disposal system daily design flow: **225.00** gallons per day.
Drainage Basin: **PENTZ1/PENTZ5**

EXISTING SYSTEM COMPONENTS

Standard System

SEPTIC TANK

Installation Date: UNKNOWN
Construction: CONCRETE
Liquid Capacity: 1000 Gallons

Operating Permit Notes:

Inspector:
TOWN OF PARADISE

ABSORPTION FIELD

Installation Date: 10/13/2003
Total Length: 113 Ft.
Trench Width: 24 Inches
Total Rock Depth: 24 Inches

Certificate/License Number:

Additional onsite wastewater disposal system evaluations are required if there are any changes in the onsite system operating parameters. (This permit is valid until the next evaluation of this onsite wastewater disposal system which is scheduled for 10/13/2010).

Date: 10/20/03

Signature: Bob [Signature]

OWMZ STATUS ACTION TRACKING FORM

APN: 050-082-023

SANITECH #: 2003-3413

OWNER: MURREN

ADDRESS: 6983 FENTZ RD

Residential Commercial

Conditional Escrow: yes no

C.A.R. _____

CORR. NOT. _____

ABATEMENT _____

(Expires) _____

INFRACTION _____

PLAN CHECK TRACKING

TYPE OF PERMIT

Date Recvd 10/8/03

Abandonment Op Permit _____

Pre Check 10/8/03

Alt/Upgrade Land Div

OSO Review 10/8/03

Building Clr (Minor Major

Out for Rev _____

Land Use Rev

Ret 2nd Check _____

New Crst

Plan Apprvd 10/8/03

Prmt Renewal

App. Notified _____

Repair FOUND

Prmt Issued 10/8/03

Water Well

Job Final _____

Variance

TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY PARADISE CA
Telephone: (530) 872-6291

PERMIT TO CONSTRUCT

PERMIT NO: 2003 3413

PARCEL NO.: 050-082-023

EXPIRATION DATE: 1/8/04

PERMIT FEE: \$ 158.00

ONSITE SYSTEM INSTALLATION ADDRESS: 6983 PENTZ RD

APPLICANT NAME: ASHBAUGH, DON

PHONE NO: (530) 877-8064

APPLICANT ADDRESS: 5732 PACHECO LN PARADISE, CA 95969-

ENGINEERED SYSTEM DESIGNER:

REPAIR OF ABSORPTION FIELD

MODRELL GARY WAYNE & FAYE ANN
460 B STREET
LINCOLN, CA 95648-

- Maximum Number of Bedrooms: Two (2)
- Number of Mobile Home Spaces:
- Effluent Flow: 225.00
- Commercial Use:

SEPTIC TANK-DOSING TANK

New Repair Existing

SEPTIC

Pump
 Diverter Valve

ABSORPTION TRENCHES

New Repair Existing

Total Length: **113** Feet
Gravel Below Pipe: **18** Inches
Total Gravel Depth: **24** Inches
Tank Capacity: **1000** Gallons

Permit Conditions: _____

The construction of the onsite wastewater treatment disposal system shall comply with all applicable requirements of Chapter 13.04 of the Paradise Municipal Code and the Town Manual for Onsite Treatment of Wastewater.

Existing Septic Tank Abandonment Required	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Escrow Clearance Notification Required	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Septic Tank Evaluation Required	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
Hold on Building Permit	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

Approved by: Bob Larson

Date: 10/8/03

INSPECTION REQUEST PHONE NUMBER MONDAY-THURSDAY 872-6285

REQUEST FOR INSPECTION SHALL BE MADE 24 HOURS IN ADVANCE

THIS PERMIT IS NOT TRANSFERABLE

CONTRACTOR LICENSE LAW:

I declare under penalty of perjury (Check One):

I am licensed under provisions of Chapter 9, Division 3 of the Business and Professions Code and my license is in full force and effect.

License No.: 000700270 Classification: C-42 HIC

I, as the owner, or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale (Sec. 7044 Business and Professions Code).

I, as the owner, am exclusively contracting with licensed contractors (Sec. 7044).

The aggregate contract price for labor, materials and all other items is less than \$300.00.

I am exempt under Sec. _____, Business and Professions code for this reason:

WORKERS' COMPENSATION DECLARATION:

I declare under penalty of perjury (Check One):

I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are as follows:

Carrier: STATE FUND Policy No.: 1442730-03

(This section need not be completed if the PERMIT is for \$100.00 or less)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the labor code, I shall forthwith comply with these provisions.

CERTIFICATION:

I certify that I have read this application and state that the above information is correct, agree to comply to all town ordinances and state laws relating to onsite wastewater, and hereby authorize representatives of the Town of Paradise to enter upon the above mentioned property for inspection purposes.

I also agree to save, indemnify and keep harmless the town and its agents against all liabilities, judgments, costs and expenses which may in any way accrue against said agency in consequences of granting permit.

Don Ashland
Signature of Owner Contractor Agent

Date: 10-8-03

ISSUANCE: This permit is hereby issued under the applicable provisions of the Paradise Municipal Code and/or resolutions to do the work for which fees have been paid.

BY: Susan Charpin

Date: 10/8/03

ONSITE PERMIT REVIEW

DATE: 10/18/03 OS # 2003-3413

AP #: 050-082-025

ADDRESS: 12983 FENTZ RD

PROPOSAL: Standard System Engineered System L.U.R.
 Residential Commercial Alteration/Upgrade
 New Construction Existing Repair

REVIEW: (From Wert Soils Map, and BCEH Wells list)

SOILS: AVD 0-30 AVD 30-60 _____
 Other _____

SLOPE:

WATERWAYS:

Drainage ways: None within 50' Other ON CHALK
 Drainage Basin Perch 1 / perch 5

Streams: None within 100' None within 50'
 Other _____

WELLS: None within 100' None within 50'
 Other _____
 Destroy well # _____

.....

OTHER:

BCEH DATA: Data in File No Data on file
(or assessors BCEH Assessor
microfilm) Soils data Percolation Data
 Subdivision/PM _____
 Easements on plan _____

PROPOSED SYSTEM SIZE:

1 bdrm 2 bdrm 3 bdrm 4 bdrm
GAL PER DAY: 150 225 300 375 other

TANK SIZE: 1500 Other _____

FIELD: TRENCH LENGTH: 113'
TRENCH WIDTH: 24"
ROCK BELOW PIPE: 18"
TOTAL ROCK: 24'

EVALUATION RECEIVED ?

NEW PARCEL:

DATE OF RECORDATION:

.....

LOT AREA:

GROSS

EXCLUSIONS:

NET:

1/2 DEDICATED ROAD R.O.W. (?):

.....

MINIMUM NET LOT AREA REQUIRED:

SLOPE:

PERC:

SOILS:

.....

OTHER:

.....

RECOMMENDATION: Approve Request more information

Deny because _____

.....

REVIEWER _____ DATE _____

TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE APPLICATION
 PHONE: (530) 872-6291 Fax: (530) 877-5059

OWNER: _____

ASSESSOR'S PARCEL: _____

050-082-023

OWNERS ADDRESS: _____

CITY, STATE, ZIP: _____

APPLICANT'S NAME: _____

Don Ashbaugh

APPLICANT'S PHONE N°: _____

877-8064

APPLICANT'S ADDRESS: _____

5732 Ratched Ln

CITY, STATE, ZIP: _____

Paradise CA 95969

CONSTRUCTION SITE ADDRESS: 6983 Renty

DESIGN ENGINEER: _____

APPLICATION TYPE:

- | | | |
|--|---|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Septic Tank | <input type="checkbox"/> Absorption Field |
| <input type="checkbox"/> Repair/Construction | <input type="checkbox"/> Abandonment | <input type="checkbox"/> Land Use Review |
| <input type="checkbox"/> Upgrade/Alteration | <input type="checkbox"/> Permit Renewal | <input type="checkbox"/> Building Clearance |

System Proposal: Tank Size- _____ gal. Absorption Field- 113 ft. Rock Under Pipe- 18 in.

Comments: _____

TYPE OF STRUCTURE SERVED BY PROPOSED SYSTEM:

- | | |
|---|---|
| <input type="checkbox"/> Single Family Residence; N° of Bedrooms: <u>2</u> | Water Supply: |
| <input type="checkbox"/> Mobile Home Park; N° of Units Served By System _____ | <input checked="" type="checkbox"/> Community |
| <input type="checkbox"/> Commercial; Type of Occupancy _____ | <input type="checkbox"/> Well |

PLOT PLAN REQUIREMENTS:

- Plot plan must be drawn to a 1" = 20' Scale. Provide all dimensions to setbacks.
- Show property lines, required setbacks, easements, all existing and proposed structures, and location of septic system (existing and proposed). Provide North Arrow.
- Location of large trees, rock outcrops, escarpments, and cutbanks.
- Location of any well, spring, drainage way, or pond located within 200 feet of the proposed septic system.
- Slope orientation and degree of slope.
- All utilities, ie. water mains and service lines, gas lines, electric service lines, etc.
- Proposed septic system and, if required, septic system repair area(s).
- Trench section detail, type and location of distribution boxes and section detail of such proposed distribution, ie. equal serial, step-down.
- Floor plan of proposed structure and all appurtenant structures (commercial, new construction, and building clearance).

ONSITE WASTEWATER CASH DRAWER
5555 Skyway
Paradise, CA 95969

INVOICE
296

FILE

GARY WYNE MODRELL

GARY WYNE MODRELL

460 B-STREET
LINCOLN, CA 95648

460 B-STREET
LINCOLN, CA 95648

150082023 SC DON ASHBAUGH

10/08/2003

10/08/2003

1.00 117.1

Stndrd Reprs to Mntrn Exist use

158.00

158.00

CHECK #1749

158.00

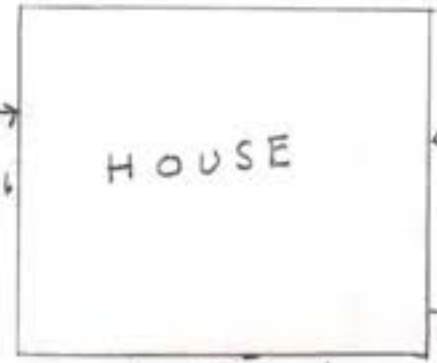
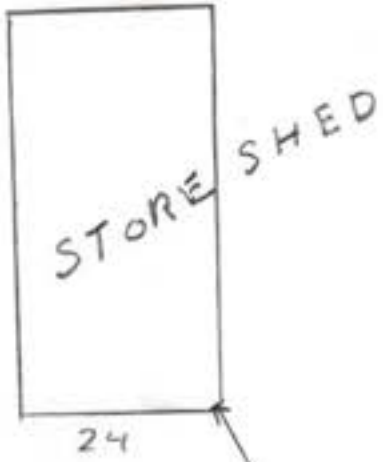
SCHAMPION

-158.00

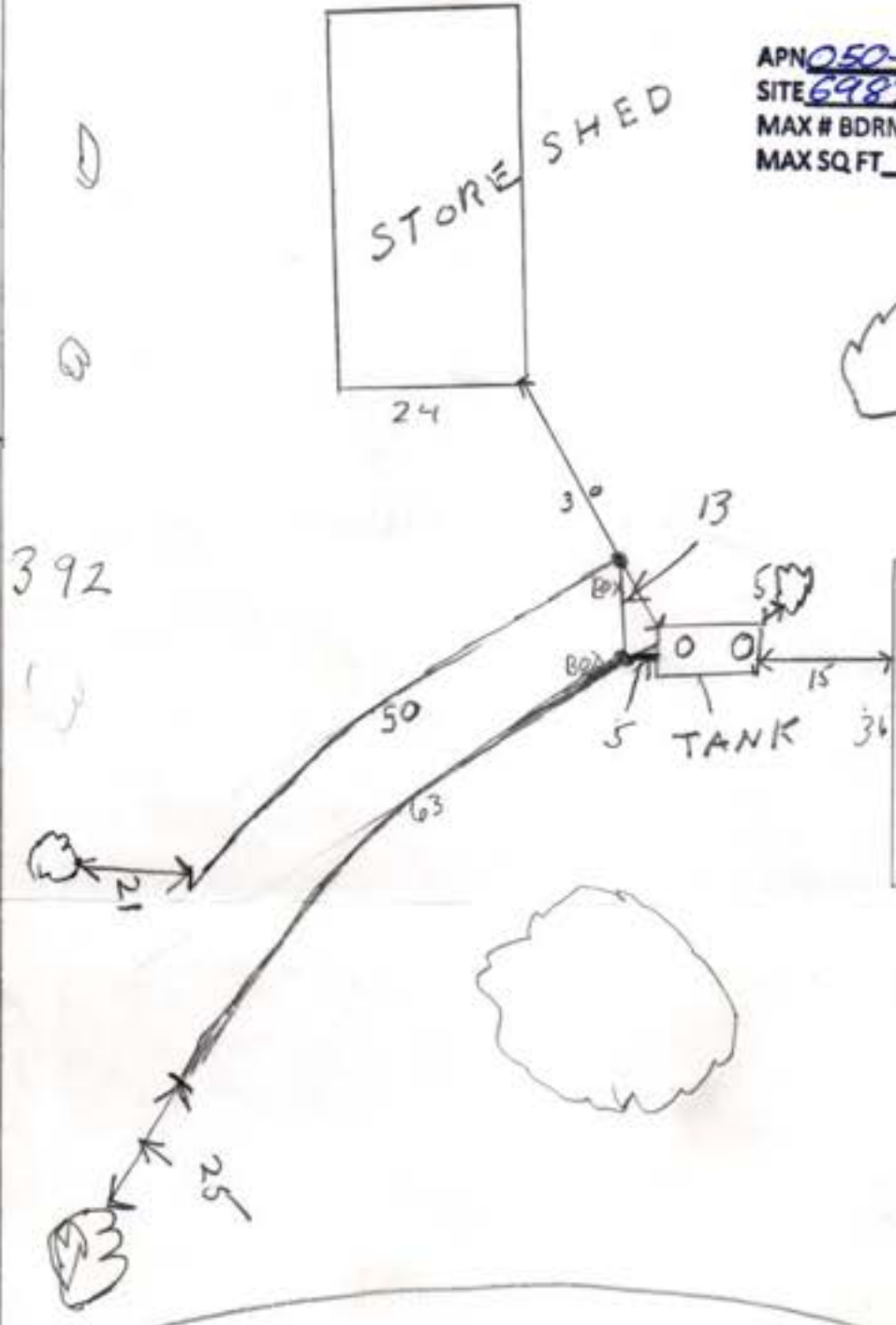
SLOPE ↑

APN 050-082-023-000
SITE 6983 Pentz Rd
MAX # BDRMS 2
MAX SQ FT 2200

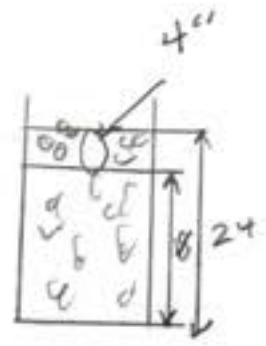
← N →



5 TANK



DRIVEWAY



1=20

KINGDON CO

392

185

6983 Pentz

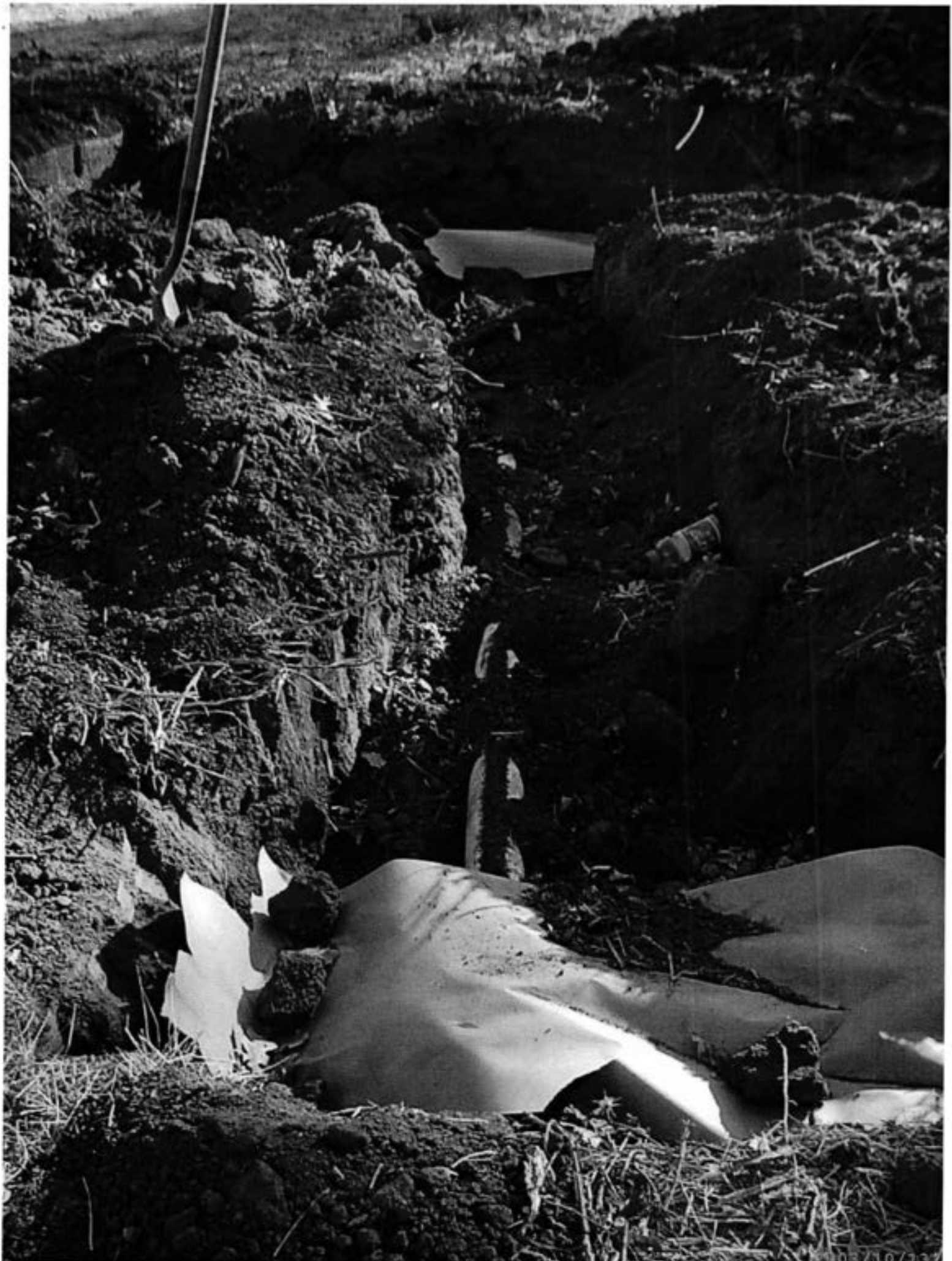
APN _____
SITE _____
MAX # BOUNDS _____
MAX SQ FT _____

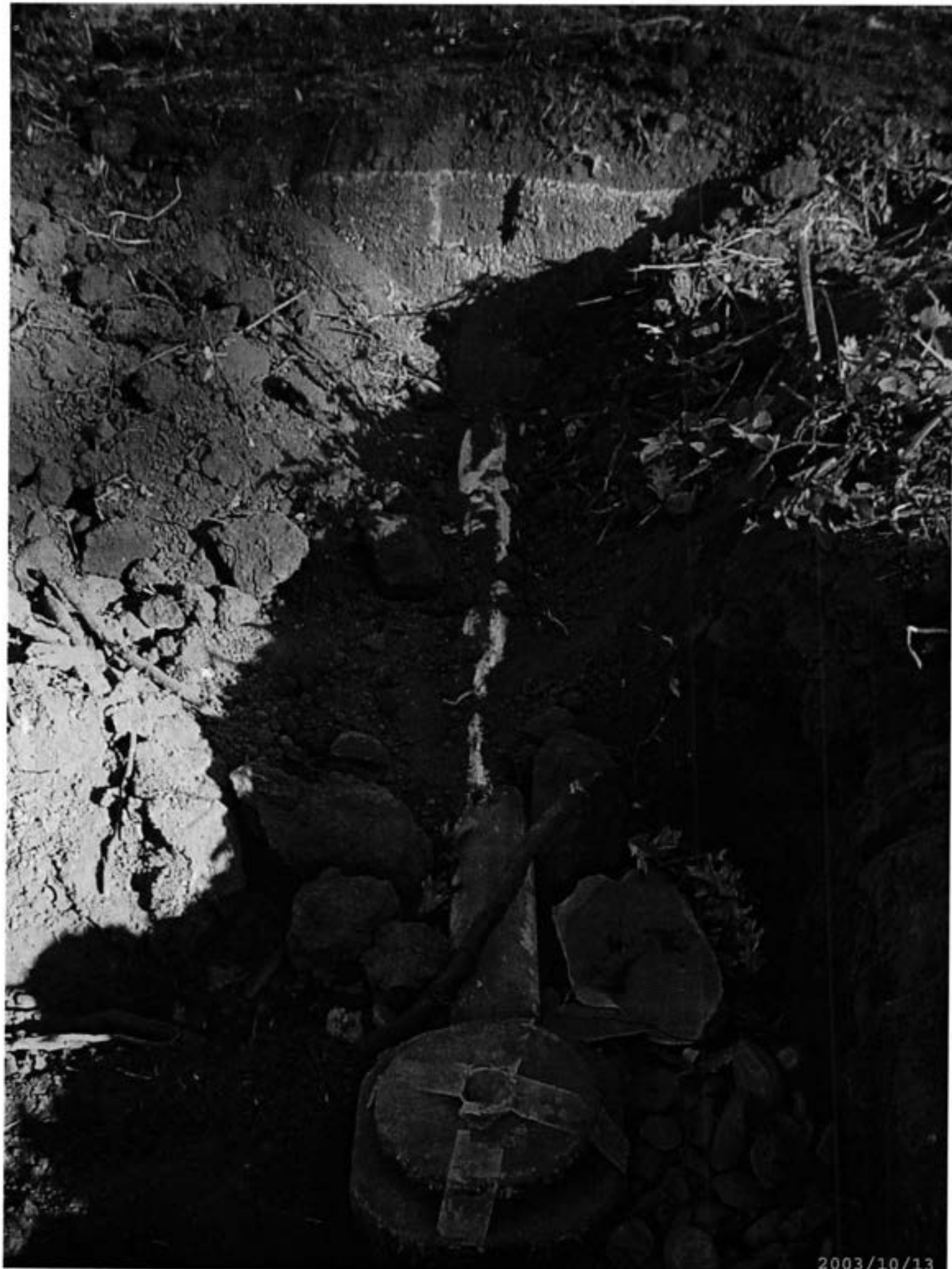


2003/10/13



2003/10/13





2003/10/13

TOWN OF PARADISE
 ONSITE WASTEWATER MANAGEMENT ZONE
 5555 SKYWAY PARADISE CA
 Telephone: (530) 872-6291

PERMIT TO CONSTRUCT

PERMIT NO: 2003 3413 PARCEL NO.: 050-082-023
 PERMIT FEE: \$ 158.00
 ONSITE SYSTEM INSTALLATION ADDRESS: 6983 PENTZ RD

EXPIRATION DATE: 1/8/04

APPLICANT NAME: ASHBAUGH, DON PHONE NO: (530) 877-8064
 APPLICANT ADDRESS: 5732 PACHECO LN PARADISE, CA 95969-
 ENGINEERED SYSTEM DESIGNER:

REPAIR OF ABSORPTION FIELD

MODRELL GARY WAYNE & FAYE ANN 460 B STREET LINCOLN, CA 95648-	<ul style="list-style-type: none"> • Maximum Number of Bedrooms: Two (2) • Number of Mobile Home Spaces: • Effluent Flow: 225.00 • Commercial Use:
---	--

SEPTIC TANK-DOSING TANK

New Repair Existing

SEPTIC

Pump
 Diverter Valve

ABSORPTION TRENCHES

New Repair Existing

Total Length: **113** Feet
 Gravel Below Pipe: **18** Inches
 Total Gravel Depth: **24** Inches
 Tank Capacity: **1000** Gallons

Permit Conditions: _____

The construction of the onsite wastewater treatment disposal system shall comply with all applicable requirements of Chapter 13.04 of the Paradise Municipal Code and the Town Manual for Onsite Treatment of Wastewater.

Existing Septic Tank Abandonment Required	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Escrow Clearance Notification Required	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Septic Tank Evaluation Required	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
Hold on Building Permit	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

Approved by: *Bob Larson* Date: 10/8/03

INSPECTION REQUEST PHONE NUMBER MONDAY-THURSDAY 872-6285
REQUEST FOR INSPECTION SHALL BE MADE 24 HOURS IN ADVANCE
THIS PERMIT IS NOT TRANSFERABLE

CONTRACTOR LICENSE LAW:

I declare under penalty of perjury (Check One):

I am licensed under provisions of Chapter 9, Division 3 of the Business and Professions Code and my license is in full force and effect.

License No.: 000700270 Classification: C-42 HIC

I, as the owner, or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale (Sec. 7044 Business and Professions Code).

I, as the owner, am exclusively contracting with licensed contractors (Sec. 7044).

The aggregate contract price for labor, materials and all other items is less than \$300.00.

I am exempt under Sec. _____, Business and Professions code for this reason:

WORKERS' COMPENSATION DECLARATION:

I declare under penalty of perjury (Check One):

I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are as follows:

Carrier: STATE FUND Policy No.: 1442730-03

(This section need not be completed if the PERMIT is for \$100.00 or less)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the labor code, I shall forthwith comply with these provisions.

CERTIFICATION:

I certify that I have read this application and state that the above information is correct, agree to comply to all town ordinances and state laws relating to onsite wastewater, and hereby authorize representatives of the Town of Paradise to enter upon the above mentioned property for inspection purposes.

I also agree to save, indemnify and keep harmless the town and its agents against all liabilities, judgments, costs and expenses which may in any way accrue against said agency in consequences of granting permit.

Don Ashland
Signature of Owner Contractor Agent

Date: 10-8-03

ISSUANCE: This permit is hereby issued under the applicable provisions of the Paradise Municipal Code and/or resolutions to do the work for which fees have been paid.

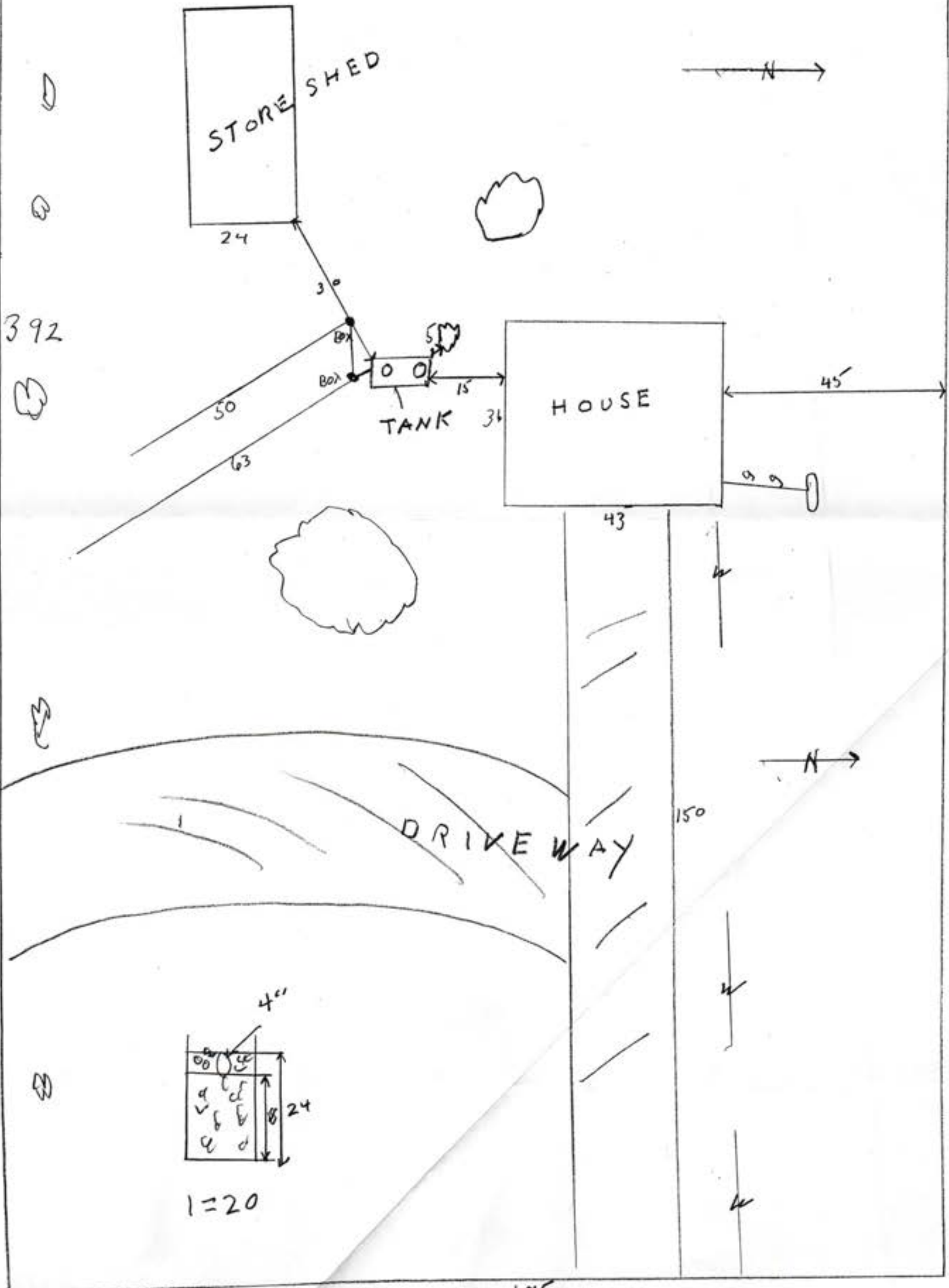
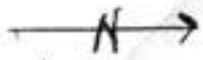
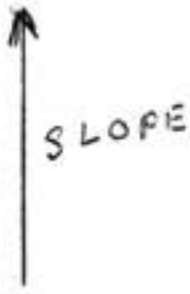
BY: Susan Charpin

Date: 10/8/03

OFFICE COPY

1"=20' SCALED AS-BUILT TO BE PROVIDED AT TIME OF INSPECTION

U.S.A. TO BE MARKED PRIOR TO EXCAVATION



392

KINGDON CO

1=20

185

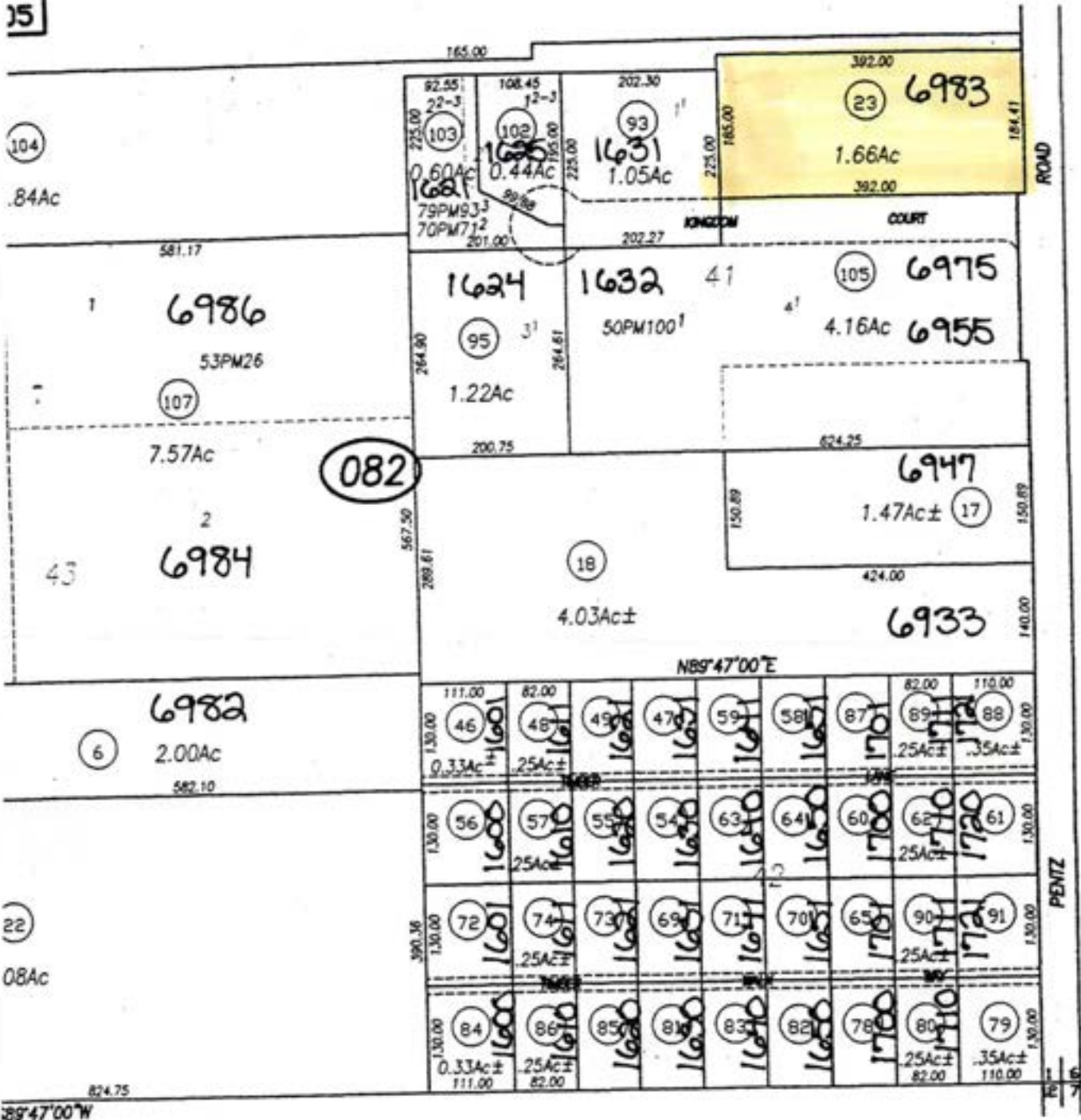
69 83 RENTZ

T.22N. R.3E. M.D.B.&M.



1"=200'

15



12

Butte County Assessor's Map Book 50, Page 08

NOTE: These parcels are for assessment purposes only and may not constitute legal parcels.

CREATED BY	DB	CREATED ON	12-1-1999
REVISED BY	DB	REVISED ON	7-11-2000
		EFFECTIVE	00-01 ROLL
Compiled By The Butte County Assessor's Office			

Standard System Alternative System Minor Alternative

	APPROVED	CORRECTION REQ.
Septic Tank: Vol= Gal. Material= C / P / F New <input type="checkbox"/> Existing <input checked="" type="checkbox"/> Tank Lid <input type="checkbox"/> Tank Top <input type="checkbox"/> Abandonment <input type="checkbox"/> - Dirt <input type="checkbox"/> Pea Gravel <input type="checkbox"/> Slurry <input type="checkbox"/>	Date: Initl:	<input type="checkbox"/>
Sanitary Tee - Inlet <input type="checkbox"/> Outlet <input type="checkbox"/> Effluent Filter <input type="checkbox"/> Access Risers: Fiberglass <input type="checkbox"/> Concrete <input type="checkbox"/> Wood <input type="checkbox"/>	Date: Initl:	<input type="checkbox"/>
Distribution Box - Concrete <input type="checkbox"/> Plastic <input checked="" type="checkbox"/> Serial Distribution <input checked="" type="checkbox"/> Equal Distribution <input type="checkbox"/>	Date: 10/13/03 Initl: bc	<input type="checkbox"/>
Number of Lines: 2 Gray Water Connection <input type="checkbox"/>	Date: Initl:	<input type="checkbox"/>
Absrp Field: 113 Ft. Rock Depth 18 in. (24' Total) Gravity <input checked="" type="checkbox"/> Pressure Dosed <input type="checkbox"/> Pump to Gravity <input type="checkbox"/> Building Sewer: Ft. Effluent Sewer: Ft.	Date: 10/13/03 Initl: bc	<input type="checkbox"/>
Filter: L x W x D Bottomless <input type="checkbox"/> Recirculating <input type="checkbox"/> ft ²	Date: Initl:	<input type="checkbox"/>
Dosing Tank: Vol=	Date: Initl:	<input type="checkbox"/>
Pumps: Single <input type="checkbox"/> Duplex <input type="checkbox"/> Orenco <input type="checkbox"/> Zoeller <input type="checkbox"/> Other <input type="checkbox"/>	Date: Initl:	<input type="checkbox"/>

Comments:

APN: 050-082-023 Permit #: 2003-3413
 Name: MODRELL
 Address: 6983 PENTZ RD
 Contractor: DON ASHBAUGH

Request Inspections by 4:00pm on previous workday.
 Office Hours: Monday through Thursday 8:00am - 5:00pm (530) 872-6291
 24 Hour ONSITE Inspection Request Line (530) 872-6285

Job Final: Bd Lamm Date: 10/13/03
 Signature

TOWN OF PARADISE ONSITE WASTEWATER MANAGEMENT ZONE EVALUATION REPORT

This onsite wastewater system evaluation report will provide evidence to the Town of Paradise Onsite Wastewater Management Zone that the system has been evaluated for compliance with regulations in Chapter 13.04 of the Paradise Municipal Code and the Town of Paradise Manual for the Onsite Treatment of Wastewater

Assessor's Parcel No. 050-082-023 Evaluation Date *Oct 3, 2003 Sanitech No. _____

Owner's Name: *Douglas Modrell Phone No. 876-1142

Property Address: *6983 Pentz *RB*

City, State, Zip: Paradise, Ca. 95969

Mailing Address: *Same

Evaluator: Paradise Sanitation Co. License No. s102

SEPTIC TANK OBSERVATIONS

Pentz 1 / Pentz 5

Access Riser(s) in Place.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Sanitary Tee, Inlet.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Scum Depth, Inlet Compartment.....	<u>0</u>	Inches
Sludge Depth, Inlet Compartment.....	<u>2</u>	Inches
Structural Tank Condition.....	<input type="checkbox"/> Good	<input checked="" type="checkbox"/> Fair <input type="checkbox"/> Poor
Liquid Operating Level.....	<input type="checkbox"/> High	<input checked="" type="checkbox"/> Normal <input type="checkbox"/> Low
Baffle Condition.....	<input type="checkbox"/> Good	<input checked="" type="checkbox"/> Fair <input type="checkbox"/> Poor
Septic Tank Volume.....	<u>1500</u>	Gallons
Addl. Tank Volume.....		Gallons
Riser Condition.....	<input type="checkbox"/> Good	<input type="checkbox"/> Fair <input type="checkbox"/> Poor
Sanitary Tee, Outlet.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Scum Depth, Outlet Compartment.....	<u>8</u>	Inches
Sludge Depth, Outlet Compartment.....	<u>8</u>	Inches
Tank Material.....	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Poly/Fiberglass <input type="checkbox"/> Other
Septic Tank Pumping Required.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Was Septic Tank Pumped.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Date Septic Tank (s) Previously Pumped.....	<u>2003</u>	Date
Depth To Septic Tank Access Lid.....	<u>0</u>	Inches
Effluent Pump.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes

RECEIVED
OCT 05 2003
TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT

ABSORPTION FIELD OBSERVATIONS

Effluent Line Diverter Valve.....	<u>None seen</u>	<input type="checkbox"/> No	<input type="checkbox"/> Yes
Well on Property.....	<u>None seen</u>	<input type="checkbox"/> No	<input type="checkbox"/> Yes
Common Area Absorption Field.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Absorption Field Type.....	<u>NONE</u>	<input type="checkbox"/> Standard	<input type="checkbox"/> Alternative
Surfacing Effluent.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Hydraulic Load Test.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Hydraulic Load Test Results.....		<input type="checkbox"/> Excellent <input type="checkbox"/> Good	<input type="checkbox"/> Satisfactory
		<input type="checkbox"/> Marginal <input type="checkbox"/> Poor	<input checked="" type="checkbox"/> FAILURE
Down Slope Seepage.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Saturated Absorption Field.....		<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Multiple Systems.....		<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Graywater Discharge.....	<u>None seen</u>	<input type="checkbox"/> No	<input type="checkbox"/> Yes

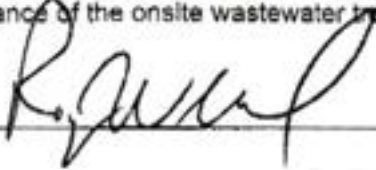
COMMENTS / OBSERVATIONS

SEPTIC TANK: System has both inlet and outlet tee's

ABSORPTION TRENCHES:

This onsite wastewater treatment and disposal system evaluation report is a true and complete record of the onsite wastewater treatment and disposal system on the date of the evaluation. No warranty is given or implied regarding the remaining life of this system.

I certify that this onsite wastewater treatment and disposal system evaluation report reflects conditions observed on the parcel (s) during the routine maintenance of the onsite wastewater treatment and disposal system.

EVALUATOR SIGNATURE:  **DATE: *October 3, 2003**

LOCATION OF SEPTIC TANK & ABSORPTION FIELD

See Current Evaluation

PARCEL ADDRESS: *6983 Pentz

TOWN OF PARADISE USE ONLY

The onsite wastewater treatment and disposal system is in substantial compliance with Chapter 13.04 of the Paradise Municipal Code and the Town of Paradise Manual for the Treatment of Wastewater:

YES

NO FIELD

**TOWN OF PARADISE ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY
PARADISE, CA 95969**

**OFFICE: (530) 872-6291
FAX: (530) 877-5059**

TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY
PARADISE, CA 95969
(530) 872-6291

September 2, 2003

FILE COPY

MODRELL GARY WAYNE
2141 CABRILLO AVE
SANTA CLARA CA, 95050-

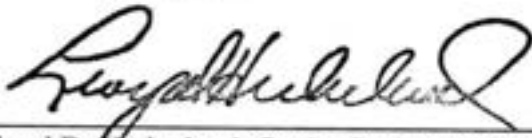
CORRECTIVE INFRACTION NOTICE

Dear Mr. Modrell:

Since the onsite wastewater disposal system at 6983 PENTZ RD with the **AP No:** 050-082-023 was not repaired as required by 8/27/2003, you are in violation of the Paradise Municipal Code Section 13.04.420 (C), and you are hereby notified that your failure to comply constitutes an infraction which could result in legal action being taken against you by the Town of Paradise as stated in Paradise Municipal Code Section 13.04.095.

As the owner of the system, should you disagree with the decision of the Onsite Sanitary Official you are entitled to an appeal process. The process is as follows: The Onsite Sanitary Official can be appealed to the Public Works Director. The decisions of the Public Works Director can be appealed to the Town Council. The decisions of the Town Manager can be appealed to the Town Council. All appeals shall be accompanied by an appeal fee.

Date: 9/2/03



Lloyd D. Hedenland, Onsite Sanitary Official

Gary + Faye Modrell
460 B Street
Lincoln, CA 95648
Resent to this address 9/30/03
X

TOWN OF PARADISE
ONSITE WASTEWATER MANAGEMENT ZONE
5555 SKYWAY PARADISE CA
Telephone: (530) 872-6291

May 27, 2003

FILE COPY

MODRELL GARY WAYNE
2141 CABRILLO AVE
SANTA CLARA CA, 95050-

CORRECTIVE ACTION REQUEST

Subject: Septic System Evaluation; Observed Operating Deficiencies
AP No.: 050-082-023, 6983 Pentz Road
OS No.: 2003 1809

Dear Mr. Modrell:

Dobrich & Sons Septic Service has submitted a septic evaluation report that indicates the listed parcel onsite wastewater treatment and disposal system (septic system) is operating unsatisfactorily. The septic system evaluation report (copy enclosed) states the following deficiencies were observed to be associated with the septic system:

1. High liquid operating level in septic tank.

The observed operating deficiencies indicate that the listed parcel septic system does not comply with applicable Town of Paradise septic system regulations and must be repaired. In addition to the noted, all other non-compliant deficiencies shall be brought up to current compliance at time of repair. The repair of the septic system operating deficiencies must be completed only after a repair permit has been issued from the Town of Paradise Onsite Wastewater Management Zone.

A (1" = 20' scaled and dimensioned) plot plan of the proposed repair shall be submitted with the repair permit application. The fee for the repair permit is **\$158.00** for a standard system. You may submit the repair permit application and the to-scale plot plan or you may hire a licensed septic system installer to obtain the required repair permit.

Per section 13.04.420(C) of the Paradise Municipal Code, you are required to have the repair permit issued and all repairs completed by **August 27, 2003**.

FILE COPY

Failure to comply with this deadline will result in the implementation of a **\$151.00 compliance enforcement fee as stated in Paradise Municipal Code Chapter 3.30.010 (A).**

Low interest rate loans **may** be available through the Town's Community Development Block Grant Program. To qualify, you must meet income guidelines and own the property being repaired. Rental properties are not eligible. For program information and current eligibility requirements, call Lauren Gill, Housing Programs Supervisor at (530) 872-6291.

As the owner of the system, should you disagree with the decision of the Onsite Sanitary Official you are entitled to an appeal process. The process is as follows: decisions of the Onsite Sanitary Official can be appealed to the Public Works Director/Town Engineer; similarly, decisions of the Public Works Director can be appealed to the Town Manager; and decisions of the Town Manager can be appealed to the Town Council. Appeals filed with the Town Council shall be accompanied by an appeal fee.

Thank you for your time and attention to this matter. The repair of your septic system will enhance the environment for all of the residents of the Town of Paradise. Should any questions arise, please feel welcome to contact me. The Town of Paradise Onsite Wastewater Management Zone Office hours are 8:00 a.m. to 5:00 p.m. Monday through Thursday. The Town Hall and the offices of the Town of Paradise Onsite Wastewater Management Zone are closed on Friday.

Sincerely,



Bob Larson
Assistant Onsite Official

BL/dkc

TOWN OF PARADISE ONSITE WASTEWATER MANAGEMENT ZONE EVALUATION REPORT

This onsite wastewater system evaluation report will provide evidence to the Town of Paradise Onsite Wastewater Management Zone that the system has been evaluated for compliance with regulations in Chapter 13.04 of the Paradise Municipal Code and the Town of Paradise Manual for the Onsite Treatment of Wastewater.

Assessor's Parcel No. 050-082-023 Evaluation Date 5-16-03 Sanitech No. _____

Owner's Name: MOORELL, Gary Phone No. _____

Property Address: 6983 Pentz Road

City, State, Zip: Paradise, CA 95969

Mailing Address: 2141 CARRILLO AVE SANTA CLARA CA 95050

Evaluator: Steven Dobrich License No. S-116

SEPTIC TANK OBSERVATIONS

Pentz 1 / Pentz 5

Access Riser(s) in Place.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Sanitary Tee, Inlet.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Scum Depth, Inlet Compartment.....	<u>2"</u>	Inches
Sludge Depth, Inlet Compartment.....	<u>10"</u>	Inches
Structural Tank Condition.....	<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Fair <input type="checkbox"/> Poor
Liquid Operating Level.....	<input checked="" type="checkbox"/> High	<input type="checkbox"/> Normal <input type="checkbox"/> Low
Baffle Condition.....	<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Fair <input type="checkbox"/> Poor
Septic Tank Volume.....	<u>1,500</u>	Gallons
Addl. Tank Volume.....		Gallons
Riser Condition.....	<input type="checkbox"/> Good	<input type="checkbox"/> Fair <input type="checkbox"/> Poor
Sanitary Tee, Outlet.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Scum Depth, Outlet Compartment.....	<u>0"</u>	Inches
Sludge Depth, Outlet Compartment.....	<u>5"</u>	Inches
Tank Material.....	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Poly/Fiberglass <input type="checkbox"/> Other
Septic Tank Pumping Required.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Was Septic Tank Pumped.....	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Date Septic Tank (s) Previously Pumped.....	<u>Unknown</u>	Date
Depth To Septic Tank Access Lid.....	<u>0"</u>	Inches
Effluent Pump.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes

RECEIVED
MAY 19 2003
TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT

ABSORPTION FIELD OBSERVATIONS

Effluent Line Diverter Valve.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Well on Property.....	<u>Unknown</u>	<input type="checkbox"/> No <input type="checkbox"/> Yes
Common Area Absorption Field.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Absorption Field Type.....	<input checked="" type="checkbox"/> Standard	<input type="checkbox"/> Alternative
Surfacing Effluent.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Hydraulic Load Test.....	<u>see note</u>	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
Hydraulic Load Test Results.....	<input type="checkbox"/> Excellent <input type="checkbox"/> Good <input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal <input type="checkbox"/> Poor <input type="checkbox"/> FAILURE
Down Slope Seepage.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Saturated Absorption Field.....	<input type="checkbox"/> No	<input type="checkbox"/> Yes
Multiple Systems.....	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
Graywater Discharge.....	<u>None seen</u>	<input type="checkbox"/> No <input type="checkbox"/> Yes

T-7 unk

2BD

Handwritten notes, possibly a list or a series of short paragraphs, covering the top half of the page. The text is very faint and difficult to read.

Handwritten text block with a yellow highlight.

Handwritten notes, possibly a list or a series of short paragraphs, covering the middle section of the page. The text is very faint and difficult to read.

Handwritten text block with a yellow highlight.

Handwritten notes, possibly a list or a series of short paragraphs, covering the bottom section of the page. The text is very faint and difficult to read.

COMMENTS / OBSERVATIONS

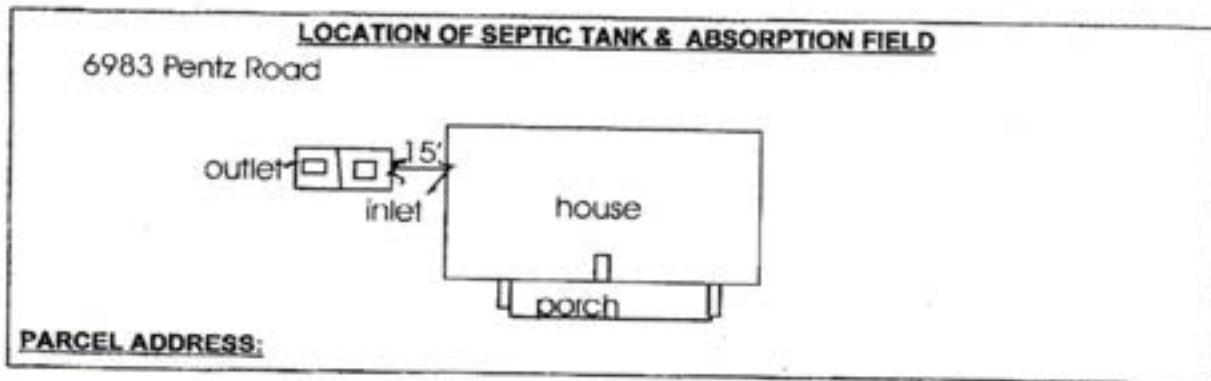
SEPTIC TANK: Ok

ABSORPTION TRENCHES: water level is up to the lids

This onsite wastewater treatment and disposal system evaluation report is a true and complete record of the onsite wastewater treatment and disposal system on the date of the evaluation. No warranty is given or implied regarding the remaining life of this system.

I certify that this onsite wastewater treatment and disposal system evaluation report reflects conditions observed on the parcel (s) during the routine maintenance of the onsite wastewater treatment and disposal system.

EVALUATOR SIGNATURE: *S. H. Hach* DATE: 5-16-03



TOWN OF PARADISE USE ONLY

The onsite wastewater treatment and disposal system is in substantial compliance with Chapter 13.04 of the Paradise Municipal Code and the Town of Paradise Manual for the Treatment of Wastewater

YES

NO *Field*

TOWN OF PARADISE ONSITE WASTEWATER MANAGEMENT ZONE
 5555 SKYWAY
 PARADISE, CA 95969

OFFICE: (530) 872-6291
 FAX: (530) 877-5059



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

Telephone: (530) 872-6291

January 11, 2002

FILE COPY

Gary Modcell
2141 Cabrillo Ave
Santa Clara, CA 95050

Subj: Operating Permit Evaluation Period Extension for

050-082-023
16983 Pentz Rd


Dear Property Owner:

Your existing onsite septic system operating permit was originally scheduled to expire on 3-1-01. However, due to changes made by Town Council to the Paradise Municipal Code Chapter 13, effective August 11, 2000, we are now able to grant 7 or 12 year inspection intervals based on previous evaluation criteria and area location of your system. By notice of this letter your existing onsite septic system operating permit has been extended to 3-1-2003. Please be advised that ninety (90) days prior to the extended date you will be notified to have your septic system re-evaluated.

As the owner of the system, should you disagree with the decision of the Onsite Sanitary Official you are entitled to an appeal process. The process is as follows: decisions of the Onsite Sanitary Official can be appealed to the Public Works Director/Town Engineer; similarly, decisions of the Public Works Director can be appealed to the Town Manager; and decisions of the Town Manager are appealable to the Town Council. Appeals filed with the Town Council shall be accompanied by an appeal fee.

If you have any questions or concerns please feel free to contact this office at the above number.

Sincerely,


Lloyd B. Fredenlund
Onsite Sanitary Official



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

COMMUNITY DEVELOPMENT DEPARTMENT
ONSITE WASTEWATER MAINTENANCE DIVISION

N^o 5160

ONSITE WASTEWATER DISPOSAL SYSTEM OPERATING PERMIT

AP NUMBER 050-082-023 Date of Issue 6-11-96

PROPERTY ADDRESS: 6983 PENTZ ROAD

OWNER: BARY MODERN

PERMIT ISSUED TO: SAME

ADDRESS: 2141 CABRILLO AVE.

CITY, STATE, ZIP: SANTA CLARA, CA 95050-3613

to operate a sewage disposal system for a TWO (2) BEDROOM RESIDENCE
with a design flow of 225 gallons of water per day.

EXISTING SEPTIC SYSTEM COMPONENTS

SEPTIC TANK NO BOBT

LEACHING FIELD NO BOBT

Construction CONCRETE
Size (feet) L W D
Liquid Capacity 1000 gallons

Total Length unknown feet
Trench Width inches
Minimum # of Lines
Rock under tile inches

Special conditions: _____

X EDWARD F. MURRAY
Signature of Evaluator

X S-105
Certification/License Number

=====

For TOP Use Only

Approved Conditional Approval Disapproved

This permit is valid until the next evaluation of this onsite wastewater disposal system which is scheduled for 3-1-2001. Additional evaluations are required at the time of change in ownership and may be required if there are any changes in the system operating parameters.

6-12-96
Date

Wesley P. Stranwood
Signature

RECEIVED
MAR 04 1996

COMMENTS/OBSERVATIONS

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

Septic Tank: _____

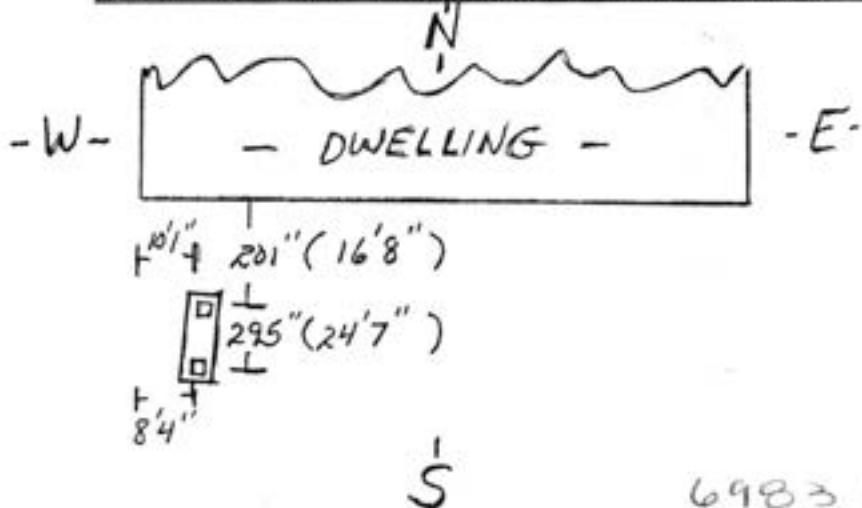
Absorption Trenches: _____

This onsite wastewater treatment and disposal system evaluation report is a true and complete record of the observed conditions of the onsite wastewater treatment and disposal system on the date of the evaluation. No warranty is given or implied regarding the remaining life of this system.

I certify that this onsite wastewater treatment and disposal system evaluation report reflects conditions observed on the property during the routine maintenance of the onsite wastewater treatment and disposal system.

EVALUATOR SIGNATURE: *[Signature]* DATE: 03/01/96

LOCATION OF SEPTIC TANK & ABSORPTION FIELD



TOWN OF PARADISE USE ONLY

THE ONSITE WASTEWATER TREATMENT AND DISPOSAL SYSTEM IS IN SUBSTANTIAL COMPLIANCE WITH CHAPTER 13.04 OF THE PARADISE MUNICIPAL CODE AND THE TOWN OF PARADISE MANUAL FOR THE ONSITE TREATMENT OF WASTEWATER:

YES NO

PARADISE PLUMBING

CALIF. CONT'S LIC. # 405270 - 5467 SKYWAY - PARADISE, CA 95969 - PH. # 877-4474 FAX # 877-2965

RECEIVED
MAR 04 1996

OFFICIAL STATEMENT OF NON-CONCURRENCE AND PROTEST

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

I, Edward F. Murray, hereby inform the Town of Paradise on this date March 04, 1996 that my signature as indicated on the attached "septic system evaluation report form, Dated March 01, 1996 for Gary Modrell, located at 6983 Pentz Road, Paradise, CA 95969, indicates that I protest the inclusion of, and do not concur with, those portions on the new evaluation forms, that state the following:

SHORT FORM:

- A. 1st Paragraph starting with "This" and ending with "Wastewater".
- B. "(Short Form - Routine Maintenance After 1st Evaluation)".
- C. "No warranty is given or implied regarding the remaining life of this system".
- D. "THE ONSITE WASTEWATER TREATMENT AND DISPOSAL SYSTEM IS IN SUBSTANTIAL COMPLIANCE WITH CHAPTER 13.04 OF THE PARADISE MUNICIPAL CODE AND THE TOWN OF PARADISE MANUAL FOR THE ONSITE TREATMENT OF WASTEWATER.

LONG FORM:

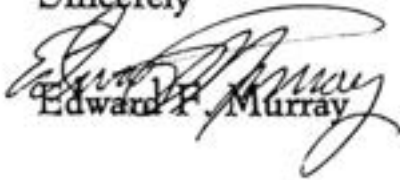
- A. 1st Paragraph starting with "This" and ending with "Wastewater".
- B. "(LONG FORM - 1st Evaluation or Property Sale)".
- C. Everything under "SEPTIC TANK OBSERVATIONS".
- D. Everything under "ABSORPTION FIELD OBSERVATIONS".
- E. No warranty is given or implied regarding the remaining life of this system.
- F. Same as "D." in the short form.

I also; hereby inform the Town of Paradise that my signature on the evaluation report

form represents my personal and official protest relative to the Town's use of these words and phrases on the evaluation report form, and that I will accept no personal or professional liability relative to the use or inclusion of these words and phrases on the Town of Paradise Septic System Evaluation Report Form.

Please refer to my letter dated September 10, 1995 to the Paradise Town Council. And also refer to Wesley Greenwood's letter dated August 23, 1995 to Town of Paradise Licensed Septic System Evaluators and also his letter of September 14, 1995 to Septic System Evaluators. I am still awaiting an answer to all the questions I asked the Town Council in my letter to them of September 10, 1995.

Sincerely


Edward P. Murray

RECEIVED
MAR 04 1996
TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

MAILED TO APPLICANT
ON SEPT. 20/2012

TOWN OF PARADISE USE PERMIT

DATE: July 25, 2012

USE PERMIT NO. PL12-00073

ASSESSOR'S PARCEL NO. 050-082-023

Pursuant to the provisions of the Zoning Ordinance regulations of the Paradise Municipal Code and the conditions set forth below:

Bill and Ann Martin are hereby granted a conditional use permit in accordance with a written request filed on March 21, 2012, authorizing the establishment of a 19,972 square foot community care (assisted living) facility consisting of one single story building containing thirty bedrooms, along with related site improvements on a vacant +/-1.66 acre property located at 6983 Pentz Road in Paradise and further identified as Assessor Parcel No. 050-082-023.

GENERAL CONDITIONS OF USE PERMIT APPROVAL

1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
2. Unless otherwise noted, it shall be the sole responsibility of the project developer to implement, monitor and fulfill the requirements of all conditions assigned to this use permit.
3. All work within the Pentz Road public right of way is subject to Town issuance of an encroachment permit, which will require that the contractor be properly licensed and bonded with the Town of Paradise.
4. Establish and maintain on-site parking facilities and pavement markings in accordance with all town parking ordinance regulations and the requirements of the Town Engineer.
5. Outside light fixtures associated with the project shall be designed to not exceed a height of sixteen feet above finished grade and shall be shielded to prevent the direct projection of light onto adjoining and nearby properties.
6. If any archaeological resources are uncovered during project construction activities, all work shall stop in the area of the find until a qualified archaeologist provides an appropriate evaluation of the discovery.

7. Minor changes to the interior and/or exterior design of the project may be approved administratively by the Town Planning Director upon submittal of a written request for such changes, if the requested changes are consistent with the overall intent of the project and its approval action. Any requested changes deemed by the Planning Director to be major or significant shall require a formal use permit modification review and the payment of the appropriate processing fees.
8. Pay development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.

CONDITIONS TO BE MET PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

ROADS AND ACCESS

9. Submit and secure Town Engineer approval of six (6) copies of design plans for the construction of public street improvements along the Pentz Road frontage of the site in accordance with the requirements of the Town Engineer. Pay appropriate fees, provide the appropriate bonds and insurance certificates, obtain town issued encroachment permit and construct all design-approved work in the right of way (including driveway approach and utility connections). All design features shall meet ADA requirements, Town ordinances, accepted engineering standards and the requirements of the Town Engineer. Street frontage and driveway improvement plans must be approved **PRIOR** to the construction or installation of the required facilities.
10. If deemed necessary by the Town Engineer, deed sufficient right-of-way along project frontage of Pentz Road to the Town of Paradise to provide a minimum of 2.5 feet clear public right-of-way behind new or existing street improvements.

DRAINAGE

11. Provide a final design solution for drainage per requirements of the Town Engineer and the **INTERIM DRAINAGE DESIGN GUIDELINES prepared April 2, 1998**. Drainage facilities shall be designed in a manner that provides for the establishment of all necessary drainage improvements to accommodate existing and additional project induced drainage flows without generating any off-site adverse effects.

SANITATION

12. Complete the requirements of the Town Onsite Sanitary Official concerning application, final system design, and issuance of permit approvals for installation of a sewage treatment and disposal system improvements to serve all proposed facilities. Provide evidence thereof to the Town Development Services Department (building safety division).

SITE DEVELOPMENT

13. Submit three (3) copies of a detailed engineered site development and improvements plan showing all project improvements and facilities as proposed and required. Plans shall be prepared by a registered civil engineer (including final parking facility design and site drainage design) and submitted to the Public Works Department (engineering division) for review and approval. Pay required site plan checking fee. Construction and drainage improvement plans must be approved **PRIOR TO CONSTRUCTION** or installation of the required facilities.
14. Provide directional signs and pavement markings requiring one-way traffic flow for the on-site parking facility in a manner deemed satisfactory to the Town Engineer. Signs and markings shall designate the south driveway encroachment as an entry only and the north driveway as an exit only.
15. Show all easements of record on the site development and improvements plan as well as a fifty-foot building setback line measured from the centerline of Pentz Road. Show a minimum 25-foot setback between storm drainage facilities and leach fields (primary and replacement).
16. Apply for and secure Town issuance of a grading permit satisfying all Engineering Division requirements and the current town adopted edition of the Uniform Building Code. Pay applicable grading permit fees per current fee schedule.
17. Properly abandon or relocate any easements that conflict with the design of the project.
18. Submit a detailed storm water pollution prevention plan (**SWPPP**) to the State Regional Water Quality Control Board (along with the appropriate filing fee). Provide a copy of this approved plan to the Town of Paradise prior to initiation of grading activities.
19. Submit a detailed soil erosion prevention plan to the Town Public Works Department for approval by the Town Engineer **PRIOR** to the start of any earthwork. Show all erosion

control devices and sedimentation basins required by Paradise Municipal Code Section 15.04.280.

20. Submit a detailed dust emissions control plan to the Town Public Works Department for approval **PRIOR** to the start of any earthwork.
21. Meet the requirements of the Town Building Official/Fire Marshal regarding submittal of construction plans, interior automatic fire sprinkler plans, building permit applications, and all applicable Town adopted construction and fire code requirements.

FIRE PROTECTION

22. Meet the project requirements of the building safety services division development review comments/conditions dated May 30, 2012 that are required to be fulfilled prior to the issuance of a building permit and any revisions thereto on file with the Town Development Services Department.

WATER

23. Meet all requirements of the Paradise Irrigation District () in accordance with written project review comments received from staff dated March 22, 2012 and any revisions thereto on file with the Town Development Services Department. Provide material evidence of having fulfilled this condition to the Town Development Services Department (building safety division).

CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATES OF OCCUPANCY

ROADS AND ACCESS

24. Construct and install required project site frontage improvements in accordance with approved frontage improvement plans
25. Submit reproducible "as-built" improvement plans for Pentz Road street improvements.

SITE DEVELOPMENT

26. Construct all necessary site, drainage, access, wastewater treatment/disposal and other facilities improvements as required by the Town Engineer and the Town Onsite Sanitary Official. All construction shall be in conformance with generally acceptable engineering and construction practices.

27. Submit landscaping plans and application fee to the Development Services Department (planning division) in accordance with Paradise Municipal Code requirements. **IMPORTANT NOTE:** No final building inspection or occupancy shall be permitted until the landscape plans for the project have been formally approved by the Town of Paradise and landscape materials have been installed (or bonded to guarantee installation).
28. Meet the requirements of all other utility providers regarding the extension or relocation of utility service lines and the establishment of any necessary on site utility easements.
29. Meet the requirements of Northern Recycling and Waste Systems (NRWS) regarding the design and function of the solid waste/recycling enclosure and provide evidence thereof to Town Development Services Department (building safety services division) staff.

FIRE PROTECTION

30. Meet all other project requirements of the building safety services division development review comments/conditions dated May 30, 2012 and any revisions thereto on file with the Town Development Services Department.

SANITATION

31. Meet the requirements of Town onsite sanitation staff regarding inspection and approval for the construction and final design of the onsite sewage disposal system.

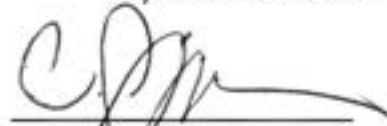
CONDITIONS TO BE MET PRIOR TO ISSUANCE OF TREE FELLING PERMIT

32. Secure the issuance of a Town approved tree-felling permit prior to felling any qualifying trees.
33. Secure official Town Public Works Director approval for detailed and engineered project improvement plans (including drainage plans), a Town onsite septic system construction permit and submit building plans for the Grand Sierra Lodge development project.
34. Submit and secure Town Planning Director review and approval of a professionally produced "Tree Protection Plan" for the proposed project that provides for existing tree protection measures (fencing, etc.); prior to the commencement of ground disturbance site work (grading, etc.) for the project.

35. All qualifying trees proposed to be retained and any native saplings proposed to be retained on the site as replacement trees shall be protected during construction activities in a manner consistent with the Town of Paradise Suggested Practices for Protection of Trees on Commercial, Quasi-Public and Multi-Family Residential Construction Sites.
36. A certified arborist shall be engaged by the applicant to oversee the employment of tree protection measures during all related project site improvements construction that has the potential to effect trees to be retained.
37. The required landscape plan for the proposed Grand Sierra Lodge development project shall include provisions for the planting of all required replacement trees on-site and within each landscape area, particularly in areas adjacent to residential land uses and in areas plainly visible from Pentz Road. A minimum of fifty percent of required replacement trees shall be conifer species. Tree plantings shall be selected and ultimately approved by the Town for inclusion within the landscape plan primarily based upon their ability to provide summer shade for the project site. Smaller ornamental tree species (i.e. dogwood, crepe myrtle) shall not be considered suitable for purposes of replacing native trees on the site.
38. The approval action of this tree felling permit application shall only be valid and in effect for three years (36 months) past its conditional approval date.

DATE APPROVED BY THE PLANNING COMMISSION: July 17, 2012

NOTE: Issuance of this use permit does not waive requirements of obtaining building and sanitation division permits before starting construction or operation, nor does it waive any other Paradise Municipal Code requirements.



Craig Baker
Planning Director

USE PERMIT EFFECTIVE DATE: July 25, 2012

MEMORANDUM

TO: Planning Commission

AGENDA NO. 5(a)

FROM: Craig Baker, Community Development Director

SUBJECT: Grand Sierra Lodge Rezone/General Plan Amendment, Use Permit and Tree Felling Permit Applications

DATE: Monday, July 16, 2012

Attached is a memorandum from Planning Commission appointee Jim Clarkson regarding a concern he has identified during his analysis of the above noted project. He asked me to provide copies of his memo to each of you for tomorrow's public hearing for the project.

1

2

3

From: James Clarkson (planning commission)

Date: July 15, 2012

To: Craig Baker, Community Development Director

Re: Grand Sierra Lodge Proposal

Upon reviewing of the Planning Staff Report, I had difficulty locating any conditions addressing potential community safety issues stemming from the attraction of an insufficiently monitored environment. The General Plan Safety Element states that proposed projects are required to take steps to "reduce the risk of death, injuries, property damage and other economic and societal hazards."

I did not locate in the report any conditions on the project to reduce such hazards that may result from an environment that is insufficiently lit or is lacking in visual recording devices designed to discourage potential transgressors. Cameras which are easily seen, monitoring all areas potentially affected, are logical devices which would likely discourage such safety concerns. These cameras would have an additional benefit of alerting staff when a resident has fallen or is in need of assistance.

If I have failed to spot any section of the staff planning report that addresses these issues, please email me with the section reference prior to the Planning Commission Meeting on July 17th. I appreciate your assistance.

Respectfully,



James Clarkson

RECEIVED
JUL 16 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.



TOWN OF PARADISE PLANNING COMMISSION STAFF REPORT
PLANNING STAFF REPORT
MEETING DATE: July 17, 2012

FROM: Craig Baker, Community Development Director **AGENDA NO. 4(a)**
SUBJECT: Grand Sierra Lodge General Plan Amendment/Rezone (PL12-00075), Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications
DATE: July 10, 2012 **APN 050-082-023 & 105**

GENERAL INFORMATION:

Applicant: Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

Location: 6975 and 6983 Pentz Road

Requested Action: Use permit, General Plan amendment/rezone and tree felling permit applications to establish a thirty room community care facility on a vacant 1.66 acre property. An adjacent property developed for religious assembly purposes is proposed to be included in the land use/zoning designation change.

Purpose: Provide assisted living care and recognize an existing religious assembly land use

Present Zoning: Rural Residential-2/3 acre minimum (RR-2/3)

General Plan Designation: Rural Residential (RR)

Existing Land Use: Vacant/religious assembly

Surrounding Land Use:

North:	Medium density residential
East:	Pentz Road
South:	Single-family residential/religious assembly
West:	Medium density residential

Parcel Sizes: 1.66 acres (vacant); 4.16 acres (existing religious assembly)

CEQA Determination: Negative Declaration

Other: An appeal of the Planning Commission's action for the use permit and General Plan amendment/rezone can be made within seven (7) days of the decision date. An appeal of the Planning Commission's action for the tree felling permit application can be made within ten (10) days of the decision date.

NOTE: THE APPLICANT OR A REPRESENTATIVE SHOULD BE IN ATTENDANCE OR THE PLANNING COMMISSION MAY NOT TAKE ACTION ON THIS APPLICATION.

SPECIAL INFORMATION:

The permit applicant/property owner is requesting approval from the Town of Paradise to establish a development project consisting of a single-story, 19,972 square foot Community Care (assisted living) facility accompanied by an on-site paved parking facility containing twenty parking spaces, an engineered on-site wastewater treatment and disposal system, a subsurface storm water detention system, driveway access connecting to Pentz Road and on-site landscaping.

Pursuant to the Town's zoning ordinance regulations, a conditional use permit is required to establish a community care facility in Town-assigned zoning districts. Accordingly, the project developer has included a conditional use permit application with project application materials submitted to the Town.

Due to the design of the project relative to building coverage and impervious coverage limitations in the RR-2/3 zoning district, the project developer has also included an application requesting a General Plan amendment/property rezone from the current RR-2/3 zoning to a land use designation and zoning of Community Services (CS).

Construction and installation of proposed project improvements will result in the felling and removal of approximately thirteen pine, fir and oak trees large enough to be subject to the issuance of a Town of Paradise tree felling permit. Accordingly, the project applicants have also included a completed tree felling permit application with other project application materials.

The proposed hours of operation for the community care facility is twenty-four hours per day, seven days per week, including holidays. The estimated maximum number of employees in the proposed complex is five during the day shifts and two overnight, for a total of twelve employees. The estimated maximum number of clients expected to be cared for at the facility is thirty.

The project applicant is proposing to establish contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors. Please refer to the proposed project site plan, building elevations and floor plan following this discussion.

In consideration of the existing pattern of zoning classifications and land uses in the area, the Town Planning Director, on behalf of the Town of Paradise, is recommending a proposed expansion of the request for a land use and zoning designation change to CS to include one other abutting parcel currently zoned RR-2/3. This abutting parcel is presently developed with

Grand Sierra Lodge
Agenda No. 4(a)

the facilities of the Paradise Ridge Southern Baptist Church. It is the opinion of the Planning Director that the established land use and substantial improvements on the 4.16 acre site oriented toward religious worship would benefit from a change from residential zoning to a zoning classification that is more accommodating for such land uses. If approved, the expanded property rezone would consist of a 5.82 acre land area. There are no current plans to expand the existing church facilities on the site.

ANALYSIS:

Pursuant to Title 17 of the Paradise Municipal Code, the establishment of a community care facility service facility on the project site is subject to town approval of a conditional use permit. Accordingly, the project applicant filed a use permit application with the Town of Paradise on March 21, 2012.

A proposed negative declaration based upon the findings of an initial study concerning the proposed project application has been prepared by staff. Potential environmental impacts associated with the proposed and related parcel map application are identified within the initial study. It has been determined by staff that the proposed project, if prudently conditioned, would not result in a significant adverse effect on the environment because no potentially significant adverse environmental impacts were identified during the preparation of the initial study document. Therefore, the project, if approved, will not result in direct and significant adverse effects upon the existing environmental setting.

The project has received favorable responses from commenting agencies and appears to be a reasonable location for the establishment of a community care facility of the type proposed. The design of the proposed project is in compliance with all applicable zoning regulations, can be found to be consistent with applicable Paradise General Plan policies and would be compatible with the surrounding land uses.

Please refer to the enclosed initial study and proposed negative declaration for a more detailed description of the existing environmental setting and an analysis of potential environmental impacts associated with the proposed project.

ANALYSIS CONCLUSION:

After reviewing the characteristics of the site, in conjunction with the nature of development in the surrounding area and the circumstances associated with this development project, it is staff's position that the requested General Plan amendment and rezone request is reasonable and

Grand Sierra Lodge
Agenda No. 4(a)

appropriate. Therefore, staff endorses Planning Commission adoption of a resolution to be forwarded to the Town Council, recommending their adoption of a General Plan amendment by resolution action and an ordinance to assign CS zoning to the affected parcels. A Planning Commission Resolution supporting a recommendation for approval of the General Plan amendment and rezone request is attached with this staff report for Planning Commission consideration and recommended adoption.

In addition, it appears that the Grand Sierra Lodge use permit and tree felling permit applications are complete, consistent with applicable Town zoning regulations and General Plan policies and eligible to be approved by the Planning Commission, pursuant to the requirements of PMC Title 17 and PMC Chapter 8.12. Accordingly, staff has developed a list of recommended conditions of project approval to insure the orderly development of this portion of the Paradise community and endorses Planning commission approval of the Grand Sierra Lodge project applications, based upon the following recommended findings:

FINDINGS FOR APPROVAL:

1. Find that, **as conditioned**, the proposed project could not have a significant effect on the environment and adopt the negative declaration prepared by staff for the Grand Sierra Lodge project.
2. Find that the project, **as conditioned**, is consistent with the requested Community Services land use designation and is consistent with the development goals, objectives and policies of all applicable General Plan elements.
3. Find that the project, **as conditioned**, is compatible with surrounding land uses and would not be detrimental to the health, safety and general welfare of the residents of the Town of Paradise.
4. Find that the project, as conditioned, will not detrimentally effect existing plant and animal life in the project vicinity for the following reasons:
 - a. The project is located within an area that has been altered from its natural state by long-established agricultural, community service and residential land uses and supporting infrastructure;
 - b. No known outstanding wildlife habitat exists in the immediate project vicinity;
 - c. No known rare or endangered plants exist in the immediate project vicinity.

Grand Sierra Lodge
Agenda No. 4(a)

5. Find that the Grand Sierra Lodge tree felling permit application meets the criteria for conditional tree felling permit approval as outlined within PMC Section 8.12.090 because the proposed tree felling activity is necessary to accommodate the establishment of the proposed development project.
6. Find that the proposed tree felling activity, as conditioned, is consistent with applicable Town zoning regulations regarding commercial timber harvesting.

RECOMMENDATION:

After closure of the scheduled public hearing, **ADOPT A MOTION TO:**

1. Adopt Planning Commission Resolution No. 12-03, recommending Town Council approval and adoption of a new Community Services (CS) General Plan land use designation and new Community Services (CS) zoning to be assigned to certain real properties within the Town of Paradise.
2. **FURTHER MOVE** to approve the proposed Grand Sierra Lodge use permit and tree felling permit applications (PL12-00073 and PL12-00074) subject to the following conditions:

GENERAL CONDITIONS

1. If any land use for which a use permit has been granted and issued is not established within three years of the use permit's effective date, the use permit may become subject to revocation by the Town of Paradise.
2. Unless otherwise noted, it shall be the sole responsibility of the project developer to implement, monitor and fulfill the requirements of all conditions assigned to this use permit.
3. All work within the Pentz Road public right of way is subject to Town issuance of an encroachment permit, which will require that the contractor be properly licensed and bonded with the Town of Paradise.
4. Establish and maintain on-site parking facilities and pavement markings in accordance with all town parking ordinance regulations and the requirements of the Town Engineer.

Grand Sierra Lodge
Agenda No. 4(a)

5. Outside light fixtures associated with the project shall be designed to not exceed a height of sixteen feet above finished grade and shall be shielded to prevent the direct projection of light onto adjoining and nearby properties.
6. If any archaeological resources are uncovered during project construction activities, all work shall stop in the area of the find until a qualified archaeologist provides an appropriate evaluation of the discovery.
7. Minor changes to the interior and/or exterior design of the project may be approved administratively by the Town Planning Director upon submittal of a written request for such changes, if the requested changes are consistent with the overall intent of the project and its approval action. Any requested changes deemed by the Planning Director to be major or significant shall require a formal use permit modification review and the payment of the appropriate processing fees.
8. Pay development impact fees prior to issuance of building permits for project construction in accordance with Paradise Municipal Code requirements.

CONDITIONS TO BE MET PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

ROADS AND ACCESS

9. Submit and secure Town Engineer approval of six (6) copies of design plans for the construction of public street improvements along the Pentz Road frontage of the site in accordance with the requirements of the Town Engineer. Pay appropriate fees, provide the appropriate bonds and insurance certificates, obtain town issued encroachment permit and construct all design-approved work in the right of way (including driveway approach and utility connections). All design features shall meet ADA requirements, Town ordinances, accepted engineering standards and the requirements of the Town Engineer. Street frontage and driveway improvement plans must be approved **PRIOR** to the construction or installation of the required facilities.
10. If deemed necessary by the Town Engineer, deed sufficient right-of-way along project frontage of Pentz Road to the Town of Paradise to provide a minimum of 2.5 feet clear public right-of-way behind new or existing street improvements.

DRAINAGE

11. Provide a final design solution for drainage per requirements of the Town Engineer and the **INTERIM DRAINAGE DESIGN GUIDELINES prepared April 2, 1998**. Drainage facilities shall be designed in a manner that provides for the establishment of all necessary drainage improvements to accommodate existing and additional project induced drainage flows without generating any off-site adverse effects.

SANITATION

12. Complete the requirements of the Town Onsite Sanitary Official concerning application, final system design, and issuance of permit approvals for installation of a sewage treatment and disposal system improvements to serve all proposed facilities. Provide evidence thereof to the Town Development Services Department (building safety division).

SITE DEVELOPMENT

13. Submit three (3) copies of a detailed engineered site development and improvements plan showing all project improvements and facilities as proposed and required. Plans shall be prepared by a registered civil engineer (including final parking facility design and site drainage design) and submitted to the Public Works Department (engineering division) for review and approval. Pay required site plan checking fee. Construction and drainage improvement plans must be approved **PRIOR TO CONSTRUCTION** or installation of the required facilities.
14. Provide directional signs and pavement markings requiring one-way traffic flow for the on-site parking facility in a manner deemed satisfactory to the Town Engineer. Signs and markings shall designate the south driveway encroachment as an entry only and the north driveway as an exit only.
15. Show all easements of record on the site development and improvements plan as well as a fifty-foot building setback line measured from the centerline of Pentz Road. Show a minimum 25-foot setback between storm drainage facilities and leach fields (primary and replacement).
16. Apply for and secure Town issuance of a grading permit satisfying all Engineering Division

Grand Sierra Lodge
Agenda No. 4(a)

requirements and the current town adopted edition of the Uniform Building Code. Pay applicable grading permit fees per current fee schedule.

17. Properly abandon or relocate any easements that conflict with the design of the project.
18. Submit a detailed storm water pollution prevention plan (**SWPPP**) to the State Regional Water Quality Control Board (along with the appropriate filing fee). Provide a copy of this approved plan to the Town of Paradise prior to initiation of grading activities.
19. Submit a detailed soil erosion prevention plan to the Town Public Works Department for approval by the Town Engineer **PRIOR** to the start of any earthwork. Show all erosion control devices and sedimentation basins required by Paradise Municipal Code Section 15.04.280.
20. Submit a detailed dust emissions control plan to the Town Public Works Department for approval **PRIOR** to the start of any earthwork.
21. Meet the requirements of the Town Building Official/Fire Marshal regarding submittal of construction plans, interior automatic fire sprinkler plans, building permit applications, and all applicable Town adopted construction and fire code requirements.

FIRE PROTECTION

22. Meet the project requirements of the building safety services division development review comments/conditions dated May 30, 2012 that are required to be fulfilled prior to the issuance of a building permit and any revisions thereto on file with the Town Development Services Department.

WATER

23. Meet all requirements of the Paradise Irrigation District () in accordance with written project review comments received from staff dated March 22, 2012 and any revisions thereto on file with the Town Development Services Department. Provide material evidence of having fulfilled this condition to the Town Development Services Department (building safety division).

**CONDITIONS TO BE MET PRIOR TO FINAL BUILDING INSPECTION AND
CERTIFICATES OF OCCUPANCY**

ROADS AND ACCESS

24. Construct and install required project site frontage improvements in accordance with approved frontage improvement plans
25. Submit reproducible "as-built" improvement plans for Pentz Road street improvements.

SITE DEVELOPMENT

26. Construct all necessary site, drainage, access, wastewater treatment/disposal and other facilities improvements as required by the Town Engineer and the Town Onsite Sanitary Official. All construction shall be in conformance with generally acceptable engineering and construction practices.
27. Submit landscaping plans and application fee to the Development Services Department (planning division) in accordance with Paradise Municipal Code requirements. **IMPORTANT NOTE:** No final building inspection or occupancy shall be permitted until the landscape plans for the project have been formally approved by the Town of Paradise and landscape materials have been installed (or bonded to guarantee installation).
28. Meet the requirements of all other utility providers regarding the extension or relocation of utility service lines and the establishment of any necessary on site utility easements.
29. Meet the requirements of Northern Recycling and Waste Systems (NRWS) regarding the design and function of the solid waste/recycling enclosure and provide evidence thereof to Town Development Services Department (building safety services division) staff.

FIRE PROTECTION

30. Meet all other project requirements of the building safety services division development review comments/conditions dated May 30, 2012 and any revisions thereto on file with

the Town Development Services Department.

SANITATION

31. Meet the requirements of Town onsite sanitation staff regarding inspection and approval for the construction and final design of the onsite sewage disposal system.

CONDITIONS TO BE MET PRIOR TO ISSUANCE OF TREE FELLING PERMIT

32. Secure the issuance of a Town approved tree-felling permit prior to felling any qualifying trees.
33. Secure official Town Public Works Director approval for detailed and engineered project improvement plans (including drainage plans), a Town onsite septic system construction permit and submit building plans for the Grand Sierra Lodge development project.
34. Submit and secure Town Planning Director review and approval of a professionally produced "Tree Protection Plan" for the proposed project that provides for existing tree protection measures (fencing, etc.); prior to the commencement of ground disturbance site work (grading, etc.) for the project.
35. All qualifying trees proposed to be retained and any native saplings proposed to be retained on the site as replacement trees shall be protected during construction activities in a manner consistent with the Town of Paradise Suggested Practices for Protection of Trees on Commercial, Quasi-Public and Multi-Family Residential Construction Sites.
36. A certified arborist shall be engaged by the applicant to oversee the employment of tree protection measures during all related project site improvements construction that has the potential to effect trees to be retained.
37. The required landscape plan for the proposed Grand Sierra Lodge development project shall include provisions for the planting of all required replacement trees on-site and within each landscape area, particularly in areas adjacent to residential land uses and in areas plainly visible from Pentz Road. A minimum of fifty percent of required replacement trees shall be conifer species. Tree plantings shall be selected and ultimately approved by the Town for inclusion within the landscape plan primarily based upon their ability to provide summer shade for the project site. Smaller ornamental

Grand Sierra Lodge
Agenda No. 4(a)

tree species (i.e. dogwood, crepe myrtle) shall not be considered suitable for purposes of replacing native trees on the site.

38. The approval action of this tree felling permit application shall only be valid and in effect for three years (36 months) past its conditional approval date.

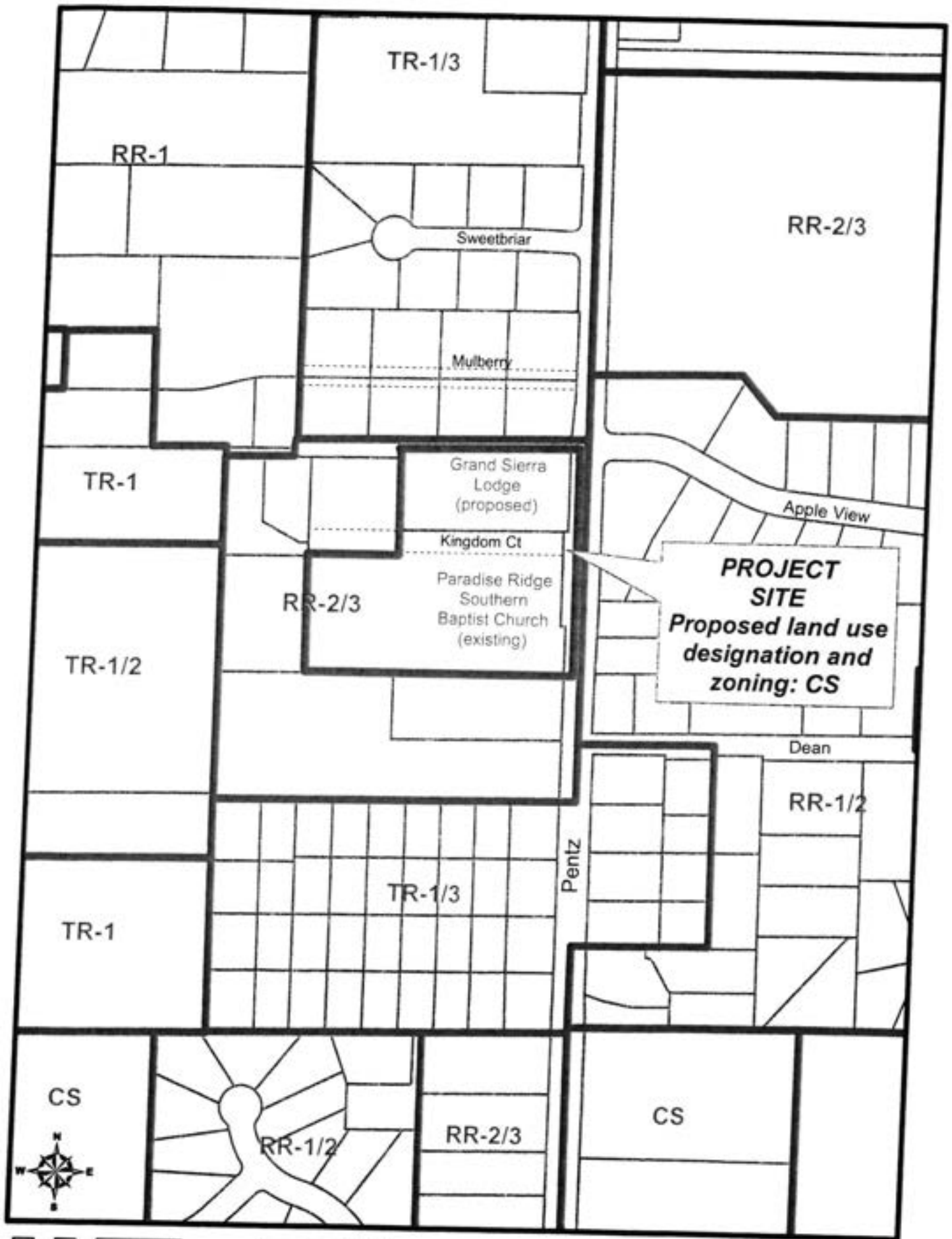
**ATTACHMENTS FOR
PLANNING COMMISSION AGENDA NO. 4(a)**

1. Project vicinity map.
2. Notice sent to surrounding property owners for the July 17, 2012 public hearing
3. Mailing list of property owners notified of the July 17, 2012 public hearing
4. Sanitation clearance provided by from Town Onsite Sanitary Official Doug Danz dated March 19, 2012 indicating compliance with the town's sewage disposal regulations
5. Development review response from the Paradise Irrigation District dated March 22, 2012
6. Development review (email) response from Northern Recycling & Waste Services received March 27, 2012
7. Development review response received from Paradise Police Chief Chris Buzzard on March 27, 2012
8. Development review response received from Town Fire Marshal Tony Lindsey on May 30, 2012
9. Development review response received from Town Building Official Tony Lindsey on May 30, 2012
10. Development review (email) responses from Town Engineer Ken Skillman dated May 14, 2012 and July 5, 2012
11. Written analysis provided by Registered Professional Forester Randolph Vasquez certifying that thirteen qualifying trees must be felled to accommodate the project, dated July 5, 2012
12. Project initial study (environmental review document) and proposed negative declaration
13. Written comments submitted by Charles Elder and Barbara Dunivan-Elder in response to public release of the draft Initial study and proposed Negative Declaration

Grand Sierra Lodge
Agenda No. 4(a)

14. Written comments submitted by Jon A. Selburg in response to public release of the draft Initial study and proposed Negative Declaration
15. Written project description provided by developer (12 pages)
16. Project site plan (including proposed tree felling), rezone plan, drainage plan, floor plan and building elevations (24"x 36") prepared by Rancho Engineering
17. Planning Commission Resolution No. 12-03

Grand Sierra Lodge site plan review, General Plan amendment and rezone map



0 95 190 380 570 760 Feet

May 5, 2012

TOWN OF PARADISE

Date: June 25, 2012

**NOTICE OF REVISED ENVIRONMENTAL DOCUMENT AVAILABILITY AND PUBLIC HEARING
PARADISE PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN by the Paradise Planning Commission that a public hearing will be held on Tuesday, July 17, 2012 at 6:00 p.m. in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following project:

Project Title: **Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications**

Project Location: The project site is located at 6983 Pentz Road, situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel Nos. 050-082-023 and 050-082-105 and is located within the southeast $\frac{1}{4}$ of Section 1, T22N, R3E, MDB&M.

Description of Project: The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.

Address where document may be reviewed: Town of Paradise Town Hall
Development Services Department
5555 Skyway, Paradise, CA 95969

Public review period: From June 26, 2012
To July 16, 2012 at 5:00 p.m.

The environmental document for the project (initial Study and proposed negative declaration) and project file are available for public inspection at the Community Development Department, Town Hall. Any person wishing to respond to the proposed environmental document may file written responses no later than **July 16, 2012, at 5:00 p.m.** with the Paradise Development Services Department.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Development Services Department, (530) 872-6993.

CRAIG BAKER
Planning Director

Greg & Melissa Bujor
050-052-056
1664 Eaglet Ln
Paradise, CA 95969

Kathleen Hunter
050-052-036
4610 Waterbury Dr
Clarston, MI 48348

Charles & Barbara Elder
050-052-051
1692 Mulberry Ln
Paradise, CA 95969

Roger & Judith Klaves
050-052-049
1667 Mulberry Ln
Paradise, CA 95969

Jay & Joyce Powell
050-082-023
1624 S Court St
Visalia, CA 93277

Charles & Michelle Hooper
050-430-001
1800 Appleview Way
Paradise, CA 95969

Gail Frederick
050-082-095
1694 Kingdom Ct
Paradise, CA 95969

Timothy & Anne Seeley
050-082-103
4819 Fox Glove Ct
Santa Rosa, CA 95405

Robert & Shirley Hughes
050-052-044
1655 Eaglet Way
Paradise, CA 95969

Verne & Betty Vanduzer
050-052-048
1675 Mulberry Ln
Paradise, CA 95969

Gerald & Marilyn Gadbury
050-052-050
1684 Mulberry Ln
Paradise, CA 95969

Jim & Shirley Wall
050-430-008
1801 Appleview Way
Paradise, CA 95969

Jon Selberg
050-082-102
PO Box 371
Dobbins, CA 95935

Earl & Frances Westra
050-430-002
1806 Appleview Way
Paradise, CA 95969

Paul & Julie Hegenbart
050-120-004
6962 Pentz Rd
Paradise, CA 95969

Richard & Jennifer Manson
050-052-035
1693 Mulberry Ln
Paradise, CA 95969

Howard Dickson & Shirley Ray
050-052-046
2831 Orthello Way
Santa Clara, CA 95051

Gerald Noble
050-110-029
9272 Turner Ln
Durham, CA 95938

Sandra Ostrander
050-052-047
1676 Mulberry Ln
Paradise, CA 95969

Robert & Claudean McAlexander
050-082-104
7006 Clark Rd
Paradise, CA 95969

Paradise Ridge So. Baptist Church
050-082-105
6975 Pentz Rd
Paradise, CA 95969

Renee Huss
050-120-003
6216 Cannon Ct
Magalia, CA 95954



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931
TELEPHONE (530) 872-6291 FAX (530) 877-5059
www.townofparadise.com

March 19, 2012

Bill Martin WLM Construction
Jay and Joyce Powell Family Trust
PO Box 2035
Paradise CA 95967

Re: Land Use Approval for 6983 Pentz Rd. Paradise. Onsite Wastewater System for an Assisted Care Facility, APN 050-082-023

Dear Mr. Martin,

Soil and groundwater data have been provided as well as calculations from Rancho Engineering that demonstrates that this parcel is suitable for the construction of a facility that produces volumetric flows of 3281 gallons per day of wastewater that has undergone secondary treatment as per standards found in Town of Paradise Manual for the Onsite Treatment of Wastewater. The dispersal area for the onsite wastewater system must be in the western half of the parcel as indicated on soil permeability, profiling and groundwater monitoring well maps provided. This approval allows no dispersal fields on the eastern half of this parcel.

Therefore, land use review approval is given for this parcel to receive up to 3280 gallons per day of secondary treated wastewater meeting standards in the Town of Paradise. A proposed assisted care facility that will have up to 30 beds has been shown to be an acceptable development for this parcel. Information provided demonstrates that the care facility will produce a wastewater flow estimated of 2400 gpd and this estimation is approved.

Furthermore, some of the design components for the intended onsite sewage treatment system have been provided and are also approved. Those components are; a septic tank total retention volume of 7500 gallons, a grease interceptor sized at 1500 gallons, an Orenco AX100 filter media pod that will provide all necessary treatment to the anticipated wastewater flows and a dispersal field layout of original and replacement trenches as per submitted site map. Further engineered design plans are required for the construction application and approval portion of this project.

Please call us with any questions you may have.

Doug Danz
Onsite Sanitary Official
Town of Paradise
530-872-6239

Cc: Jarrod Holliday, P.E., Rancho Engineering
Craig Baker, Town of Paradise Community Development Director



PARADISE IRRIGATION DISTRICT

6332 Clark Road, Paradise CA 95969 | Phone (530)877-4971 | Fax (530)876-0483

March 22, 2012

Town of Paradise
Attn: Susan Hartman
5555 Skyway
Paradise, CA 95969

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

MAR 22 2012

RECEIVED

Subject: William & Ann Martin Development Review Request, 6983 Pentz Road, APN 050-082-023.

Dear Susan,

Thank you for the opportunity to review the above referenced development review materials. The following comments and conditions apply to the project, as proposed.

1. A 3/4-inch water meter currently serves the property. This meter will not have sufficient capacity to serve the proposed project. PID will review the building plans in light of the plumbing code and the project owner will be required to have the appropriate size water meter for the facility. A service capacity fee and meter installation charge will apply.
2. Fire suppression sprinklers for this facility can be supplied by the domestic meter (if it has sufficient capacity) or by a separate fire service connection. Fire service connections do not require the payment of a service capacity fee. The installation cost for a fire service connection is the responsibility of the project owner.
3. A backflow prevention assembly will be required at each service connection. An "RP" assembly will provide the appropriate level of protection.
4. A 12-inch water main is located in Pentz Road. A 6-inch water main is located in Kingdom Court along the south side of the subject property.
5. Static pressure at the project site is approximately 80 psi.
6. Paradise Fire Department will review the fire flows available at nearby fire hydrants to determine their adequacy for the proposed project. If available fire flow is not sufficient for the proposed project a water main upgrade may be necessary. The project owner will be responsible for the cost of a water main upgrade and the upgrade project will need to be approved by the District Board of Directors.

Please contact me at 876-2037 if you have any questions or comments regarding this matter.

Sincerely,

Neil J. Essila
Assistant Engineer

cc: William and Ann Martin

Baker, Craig

From: Tim Velkonia [TimV@NorthernRecycling.biz]
Sent: Tuesday, March 27, 2012 11:18 AM
To: Baker, Craig
Cc: Hartman, Susan; Doug Speicher
Subject: Grand Sierra Lodge

We have a few questions and concerns in our ability to safely service this project.

The first is the size of the enclosure, it appears to be quite small, more detail would be needed to guarantee, adequate room for trash, mixed recycling and cardboard containers. Second is the surface in which our trucks would need to drive on to service the containers. We are not sure of the type of surface indicated (impermeable), the containers will need to be pulled out of the enclosure to the truck and the surface would need to be a concrete slab or asphalt to roll on, also the parking lot shows storm water detention pipes, we possibly would need to use the parking lot as a turn around to safely make the container pickups, will the size of our trucks do any damage? Please pass on our concerns.

Tim Velikonia
Operations Manager
Northern Recycling & Waste Services
920 American Way
Paradise, CA 95969
530 876-3340
530 624-9790 cell

ATTN: CHIEF BUZZARD


PROJECT NOS. PL12-00073, PL12-00074, PL12-00075

PROJECT NAME: Martin Use Permit, General Plan Amendment, Rezone and Tree Felling Permit

TOWN OF PARADISE COMMUNITY DEVELOPMENT DEPARTMENT

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director 

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

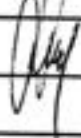
MAR 27 2012

RECEIVED

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

Chief Chris M. Buzzard
Paradise Police Department  3/24/12

NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.



TOWN OF PARADISE
COMMUNITY SAFETY SERVICES DIVISION
5555 SKYWAY, PARADISE, CALIFORNIA 95969

(530) 872-6268

RECEIVED
MAY 30 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

**COMMERCIAL
FIRE DEPARTMENT CONDITION LETTER**

PERMIT #: _____

APPLICANT: Bill and Ann Martin
Grand Sierra Lodge
6983 Pentz, 050-082-023

REVIEW DATE: 5/30/12
 - APPROVED AS SUBMITTED
 - APPROVED W/ CONDITIONS
 - NOT APPROVED -
RESUBMITTAL REQUIRED

The following conditions have been applied to the above-referenced project pursuant to Town of Paradise Municipal Code, the California Fire Code and applicable standards. Conditions must be complied with as directed by the Town of Paradise Fire Department and shall be inspected, tested and approved in accordance with the requirements set forth.

FIRE DEPARTMENT ACCESS

REQ NR N/A

- X Private residential, public residential, commercial and industrial fire access roads shall provide an access roadway with a minimum unobstructed width of 20 feet wide and a minimum 13'6" vertical clearance. Additional width requirements may be applied to individual projects as determined by the Fire Marshal.
- X Roadways shall be extended to within one hundred and fifty (150) feet of all portions of the exterior walls as measured by an approved path of travel. An approved turn around shall be provided when the roadway exceeds one hundred and fifty (150) feet as directed by the Town of Paradise Fire Department. Fire

REQ NR N/A

Department turn around requirements shall be installed as directed. See attached turn around requirements.

- X All fire apparatus access roadways must be maintained unobstructed and drivable by fire apparatus throughout the construction process. Access roadways shall be capable of holding an imposed load of 75,000 pounds including in adverse weather conditions. A soils report of the access roadway may be submitted which provides evidence of a 90-95% compaction of the soil along the access roadway. Access roadways that do not meet this requirement could be subject to a stop construction order until the roadway can be maintained.
- X The development and each phase thereof shall have a minimum of 2-points of vehicular access for fire and emergency equipment and for routes of safe egress of citizens regardless of the cul-de-sac length and shall be required as directed by the Town of Paradise Fire Department.
- X Fire lane designations shall be required for all fire access roadways as determined by the Town of Paradise Fire Department. Posted signs which state "FIRE LANE, NO PARKING" shall be installed and curbs painted red and stenciled with white letters indicating the same on the face and top of any curb as directed by the Town of Paradise Fire Department. All fire lanes shall be marked and identified prior to Certificate of Occupancy.
- X Loading zones are required adjacent to loading doors and shall be designated on the Development Site of Plot Plan and shall be marked on the appropriate ground surface. Loading zones shall not interfere with required Fire Lanes or emergency egress capabilities.
- X Roadway design features (speed humps, bumps, speed control dips, etc.) which may interfere with emergency apparatus responses shall not be installed or allowed to remain on the emergency access roadways.
- X Any gate or barrier across a fire access roadway, whether manual or automatic, must meet the Town of Paradise Fire Department requirements and have specific plans and permits approved prior to installation. Gates serving multi-family, assembly, educational, hazardous, institutional, or storage structures must be automatic. Knox brand key-operated electric key switch to the Town of Paradise Fire Department and Police Department specification are required. The Knox switch shall override all gate functions and open the gate.

FIRE PROTECTION SYSTEMS:

- X The required fire flow shall be 2500 gpm for a 2 hour duration at 20 PSI residual operating pressure. Documentation is required from the Water Purveyor verifying that the system is capable of meeting the required fire flow prior to building permit issuance. If the system is not capable of meeting the required fire flow, documentation shall be provided showing financial arrangements have

REQ NR N/A

been made and water system improvement plans approved to upgrade the existing system prior to release of building permits.

- X Water improvement plans shall be approved by the Town of Paradise Fire Department. The Developer shall furnish the Town of Paradise Fire Department with three (3) copies of the water improvement plans designed by a Registered Engineer and/or Licensed Contractor. On-site private fire service mains shall have a minimum of eight (8) inch water mains with six (6) inch laterals and risers. Larger pipes may be required to meet required fire flow requirements.
- X Fire hydrant water mains that supply two (2) or more private fire hydrants shall be looped to provide adequate supply. Public water main looping is dictated by fire flow requirements and reliability of the public system.
- X The existing fire hydrant system is insufficient to provide the required fire flow. This system is required to be upgraded to meet the required fire flow as identified above.
- X Prior to combustibles being brought to the site, the developer shall provide written certification from the Water Purveyor, dated within the last thirty (30) days, that:
 - A. All public fire hydrants required of the project have been installed, tested, and approved by the Water Purveyor, and
 - B. Are permanently connected to the public water main system, and
 - C. Are capable of supplying the required fire flow as required by the Town of Paradise Fire Department.
- X Fire hydrants shall be painted per the Town of Paradise Fire Department standards and be maintained free of obstructions. Blue reflective raised pavement markers shall be installed on the pavement at approved locations marking each fire hydrant.
- X Public and private water utility mains must provide the level of reliability/ redundancy determined necessary by the Town of Paradise Fire Department and the Water Purveyor Engineer.
- X If any fire hydrant is taken OUT OF SERVICE the Town of Paradise Fire Department shall be notified immediately and the hydrant marked, bagged, or otherwise identified as OUT OF SERVICE as directed by the Fire Marshal.
- X Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13 Standard for Automatic Fire Sprinkler Systems. Three (3) sets of plans, hydraulic calculations, and material specification's sheets for equipment used in the system shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.

REQ NR N/A

- X Prior to Fire Department Clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13-R Standard for Automatic Fire Sprinkler Systems-Multi-Family Dwellings. Three (3) sets of plans, hydraulic calculations, and material used in the system shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.
- X A class ____ standpipe system is required. A State of California Licensed Contractor shall submit three (3) sets of plans, specifications, and hydraulic calculations to the Fire Department for review, approval, and permits.
- X Prior to Fire Department Clearance for occupancy, an automatic fire alarm system shall be installed. The system shall comply with NFPA #72 Standard for Fire Alarm Systems. Three (3) sets of plans, material specification's sheets for all equipment used in the system and California State Fire Marshal listings shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.
- X Prior to final inspection or occupancy, hand portable fire extinguishers are required to be installed as directed by Town of Paradise Fire Department staff. The size, location, and markings shall be illustrated on the floor plan of the construction documents. Prior to installation the client is directed to request a fire inspection to confirm the locations of the fire extinguishers due to field changes of business systems.
- X An automatic smoke removal system is required. This system shall comply with the California Fire Code, NFPA and all other applicable standards. The applicant shall submit three (3) sets of detailed plans, specifications, and testing criteria to the Town of Paradise Fire Department for review, approval and permit.
- X An automatic smoke removal ventilation system (fusible link type) is required. Roof vents, venting ratios and draft curtains shall be provided in accordance with the California Fire Code, NFPA and all other applicable standards. This information shall be provided in sufficient detail on the building construction drawings and submitted to the Town of Paradise Fire Department.
- X An automatic hood and duct fire suppression system is required. A Licensed Contractor shall submit three (3) sets of detailed plans and specifications to the Town of Paradise Fire Department for review, approval and permit.
- A Class 1 hood and duct system is required. A Licensed Contractor shall submit three (3) sets of detailed plans and specifications to the Town of Paradise Fire Department for review, approval and permit.

STANDARD FIRE CONDITIONS:

- X Permanent commercial/industrial three-dimensional street numbers, minimum twelve (12) inches in height, shall be provided on the address side of the building

REQ NR N/A

at the highest point and furthest projection of the structure. The address shall be visible from the street and shall not be obstructed in any manner.

- X Buildings on easement shall have additional street number signs at the intersections of the easement and the roadway, and at additional locations required by the Town of Paradise Fire Department.
- X Address numbers and suite numbers are required to be installed or painted on the rear of access doors to multiple suite facilities. Numbers or letters shall be a minimum of four (4) inches in height and placed on a contrasting background.
- X A lighted directory (site map) meeting the Fire Department specifications is required at each entrance to the complex as directed by the Town of Paradise Fire Department. A site plan with all building locations identified by a number of letter, space numbers, fire protection equipment, etc. shall be reviewed and approved by the Town of Paradise Fire Department prior to installation.
- X All flammable vegetation shall be removed from each building site with slopes less than fifteen percent (15%) at a minimum distance of one hundred (100) feet from all structures or to the property line, whichever is less.
- X A fuel modification plan is required. An approved Fire Protection Consultant that specializes in these types of complex plans shall prepare the plan. Plans shall be submitted, reviewed and approved by the Town of Paradise Fire Department prior to issuance of building construction permits.
- X Knox emergency access key box is required at each building, with specific mounting locations approved by the Town of Paradise Fire Department. Recessed mount key boxes are required. Premise keys for all buildings and areas shall be marked and placed in the box prior to final inspection to ensure emergency access. The building owner/occupants shall provide replacement keys whenever locks are changed.
- X A hazardous materials inventory and disclosure shall be provided with a complete listing of MSDS sheets, storage locations and a technical report shall be submitted for review and approval prior to or as part of the submission for a building permit.
- X The building has the potential for storage of combustible stock in excess of twelve (12) feet in height. Significant modifications to the structure, including but not limited to, smoke and heat vents or mechanical ventilation, draft curtains, special access doors, upgraded sprinkler systems and hose line requirements must be achieved in compliance with the California Fire Code Article 23, should such storage occur. Minimum design densities for fire sprinkler systems within spec. buildings shall be .45/3000. If high piled combustible storage exists plans, specifications, and a technical report shall be submitted with the construction drawings to ensure fire protection requirements. High piles combustible storage requires an annual permit pursuant to the California Fire Code with appropriate fees paid semi-annually.

REQ NR N/A

- X A fire permit is required for certain specific operations regulated by the California Fire Code. The permit is issued after application has been made to the Town of Paradise Fire Department and full compliance of the requirements for the operation has been adhered to. An annual fee is charged to the applicant for review and inspection of such permits. Some permits require additional inspections and permit compliance that may require additional fees to be paid semi-annually.

FIRE PROTECTION FEES:

- X The Town of Paradise Fire Department at time of plan or permit submission will charge plan review, inspection and permit fees for various processes and permits.
- X Any identified Fire Mitigation Impact fees that apply to the project or voluntary mitigation agreements shall be paid prior to building permits being issued.

PROJECT SPECIFIC FIRE CONDITIONS:

Scope of conditions meet R 2.1 RCFE occupancy, 21,285 S.F. structure, type V-A (sprinklered) construction.

All construction shall comply with the current Triennial Edition of the California Code of Regulations, Title 24 (California Building Standards Code). Town of Paradise is located in a Very-High Fire Hazard Severity Zone and all Materials and Methods for Exterior Wildfire Exposure apply.

MEMORANDUM

TO: Craig Baker
FROM: Tony Lindsey Building Official/Fire Marshal
SUBJECT: 6983 Pentz, 050-082-023
DATE: May 30, 2012

Following are my comments relative to the proposed Grand Sierra Lodge project.

- Grand Sierra Lodge, R 2.1 RCFE occupancy, 21,285 SF type V-A structure.
- Building permit application. Three (3) complete, min. 11" X 17", scaled, 2010 California Building Standards compliant plan sets must be submitted for plan review including: Building plans with Architect or Engineer wet signed and stamped, Two (2) sets of wet signed Structural engineering calculations
- The Town of Paradise is located in seismic category D, 85 wind speed, weathering moderate, frost depth line 12". Notable the Town of Paradise is located in a Very-High Fire Hazard Severity Zone, structures shall meet all the requirements of 2010 California Building Code Chapter 7A.
- The minimum design snow load and roof live load for the Town of Paradise shall be thirty (30) pounds per square foot at 1,800 feet and elevations above. 6983 Pentz is located at approximately 2,203ft (Google Earth).
- Please submit a separate Accessibility site plan sheet detailing accessibility requirements of 2010 California Building Code Chapter 11B.
- Please submit a separate plan sheets detailing compliance as per the 2010 California Green Building standards code nonresidential Mandatory Measures within the submittal.

RECEIVED
MAY 30 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

Baker, Craig

From: Skillman, Ken
Sent: Thursday, July 05, 2012 9:41 AM
To: Baker, Craig
Subject: FW: Grand Sierra Lodge Site Drainage Plan Review

Good Morning Craig:

After talking with you and Paul Derr on Tuesday, I have combined a few comments and added others to address the concerns raised in that meeting. These comments should be incorporated into the conditions of approval for this project's CUP:

1. Applicant's Design Engineer shall provide an engineered site plan, grading/drainage plan and utility plan for this project. All pertinent invert and rim elevations shall be depicted thereon to facilitate a thorough review. Include pipe slopes, trench details and any special construction necessary including those for the detention/percolation pipelines. Plot all proposed utilities (water, gas, electric, cableTV) locations for potential conflicts. Check clearance and provide detail, as needed, where conflicts may arise. Design Engineer should review the proposed design of the drainage pipe beneath the building in three locations and ascertain if there are any conflicts with the building plumbing and whether special construction is warranted such as casings or sleeves to facilitate any future repairs. The preliminary onsite hydrology calculations and detention pipeline sizing calculations are acceptable. The final hydrology/hydraulic calculations will be reviewed and approved during plan check by the Town of Paradise Engineering Department.

2. The applicant's Design Engineer shall provide a separate offsite design plan sheet for all work required within the Pentz Road right-of-way. Pentz Road shall be widened to provide deceleration and acceleration lanes along with right in and right out lanes. The southerly driveway along Pentz Road shall be the point of ingress to the site and the northerly driveway along Pentz Road shall be the point of egress from the site with all onsite traffic along that segment being one-way northerly. Utilize the Town's B-2 Road Standard for sectional requirements, AC Dike design and related design parameters for all Pentz Road construction. An appropriately sized culvert should be incorporated into the drainage design beneath the entire frontage along Pentz Road. A sidewalk shall not be required along this frontage. Plot all existing utility poles and trees in the vicinity which may be affected and clearly state proposed removal/protect in place and similar. The 36 inch diameter pine tree approximately 40 feet north of this site shall be removed to provide sight distance for vehicles exiting the site at the northerly driveway. All improvements along Pentz Road shall be completed prior to issuance of a Certificate of Occupancy for the Lodge.

Feel free to contact me should questions arise.

Kenneth G. Skillman III, PE/PLS
Interim Paradise Town Engineer
Rolls Anderson & Rolls
115 Yellowstone Drive
Chico, CA 95973
Phone: (530) 895-1422
Fax: (530) 895-1409
Email: kgs3@rarcivil.com

-----Original Message-----

From: Skillman, Ken
Sent: Thursday, May 17, 2012 7:23 AM
To: Baker, Craig

Cc: Gill, Lauren; 'kgs3@ra.ivil.com'
Subject: FW: Grand Sierra Lodge Site Drainage Plan Review

Hi Craig:

The following conditions of approval for this project have been modified to address required improvements along Pentz Road. As always, feel free to call should questions arise.

Ken

-----Original Message-----

From: Ken Skillman [mailto:kgs3@rarcivil.com]
Sent: Monday, May 14, 2012 10:30 AM
To: Baker, Craig
Cc: Skillman, Ken; Gill, Lauren
Subject: Grand Sierra Lodge Site Drainage Plan Review

Good Morning Craig:

I completed my review of the subject drainage plan and have the following comments which should be incorporated into the Applicant's Conditions of Approval for this project:

- 1.Applicant's Design Engineer should provide pertinent invert and rim elevations to facilitate a thorough review. Include pipe slopes, trench details and any special construction necessary including those for the detention/percolation pipelines.
- 2.Applicant's Design Engineer should plot all proposed utilities (water, gas, electric, cableTV) locations for potential conflicts. Check clearance and provide detail, as needed, where conflicts may arise.
- 3.Applicant's Design Engineer should review the design of the drainage pipe beneath the building in three locations and ascertain if there are any conflicts with the building plumbing and whether special construction is warranted such as casings or sleeves to facilitate any future repairs.
- 4.An appropriately sized culvert should be incorporated into the drainage design beneath the entire frontage along Pentz Road. Pentz Road shall be widened to provide deceleration and acceleration lanes along with right in and right out lanes. Utilize the Town's B-2 Road Standard for sectional requirements, AC Dike design and related design parameters. A sidewalk shall not be required along this frontage. Plot all existing utility poles and trees in the vicinity which may be affected and clearly state proposed removal/protect in place and similar. The 36 inch diameter pine tree approximately 40 feet north of this site shall be removed to provide sight distance for vehicles entering and exiting the site at the northerly driveway. All improvements along Pentz Road shall be completed prior to issuance of a Certificate of Occupancy for the Lodge.
- 5.The onsite hydrology calculations and detention pipeline sizing calculations are acceptable and will be approved and signed off upon acceptance and approval of the revised site drainage plan sheet.

I am waiting to hear back from the Assistant Town Manager concerning required widening and improvements along Pentz Road along with a Town imposed timeline for installation of these required facilities. My intent is to add those requirements to the front of Condition of Approval #4 above once I receive input from Lauren. Feel free to contact me should questions arise concerning any of my comments.

Kenneth G. Skillman III, PE/PLS
Interim Paradise Town Engineer
Rolls Anderson & Rolls
115 Yellowstone Drive
Chico, CA 95973

Randolph Vasquez Forest Management

1600 Feather River Blvd Suite B
Oroville, California 95965
(530)534-5229



July 5, 2012

Town of Paradise
555 Skyway County Center Drive
Paradise CA 95969
(530)872-6291
Attn: Craig Baker

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

JUL 05 2012

RECEIVED

Re: Tree report for Proposed Residential Care Facility, 6983 Pentz Rd. Paradise CA

Purpose for tree removal;

Clear area for construction of Residential Care Facility, septic system, parking area and road access. The site contains 16 trees ranging in circumference from 31" to 150", of which 13 trees are proposed for removal and 4 trees have been planned for retention. Of the trees to be removed 4 trees are Douglas Fir, 7 trees are California black oaks, and 2 ponderosa pines. Of the trees greater than 31" circumference to be retained, 2 California black oaks, and 1 ponderosa pine. Reasons for the tree removals include the following;

foundation foot print 1 tree, site grading and excavation 2 trees, road and parking area development and overhead power line clearance 7 trees, septic system development 2 trees, and one tree for hazard reduction and safety concerns.

Included with this report is a table listing all removal trees by species circumference and reason for removal, and a map showing tree locations and identification numbers. Trees indicated for removal have been numbered in the field with the id number painted on them to aid in the evaluation process.

Trees to be retained will be trimmed to remove dead limbs down to 1" diameter and remove all parasites. All work to be done to ISA standards.

At least 12 required mitigation replacement trees utilizing native species approved by the Town of Paradise shall be planted in the landscape areas.

Sincerely,


Randolph Vasquez
Registered Professional Forester #1884

Proposed Residential Care Facility

ID #	Tree Specie	DBH	Circumference	Reason for Removal
1	BO	24	75	Rd&pl
2	DF	14	44	Rd&pl
3	PP	20	63	Rd&pl
4	DF	14	44	Rd&pl
5	DF	20	63	Rd&pl
6	PP	18	57	Rd&pl
7	BO	30	94	Foundation
8	BO	14	44	Grading
9	BO	30	94	Grading
10	BO	58	182	hazard
11	BO	12	38	septic
12	BO	14	44	septic
13	DF	36	113	Rd & Pl

BO= California Black Oak

DF= Douglas Fir

PP= Ponderosa Pine

Rd&pl= Parking area and existing power line. These trees are located along Pentz road and below the PG&E power line they have been severely trimmed to prevent contact with the high voltage line.

Foundation= this tree is within the foot print of the proposed structure.

Grading = these trees are within the area to be graded for the construction site. They are in close proximity to the proposed foundation.

hazard= this tree is a large California black oak in a very unstable condition. Sever heart rot is evident around the root collar of the tree. This would be a significant safety hazard for any residents occupying the site.

revised 7/5/12

**TOWN OF PARADISE
NEGATIVE DECLARATION REGARDING ENVIRONMENTAL EFFECT**

1. Description of Project:


Grand Sierra Lodge project: Environmental review for the development of a 1.66 acre property with a thirty bedroom community care facility along with related site improvements. Environmental review also includes a proposed General Plan amendment/rezone related to the project and involving a 5.82 acre land area comprised of two parcels that includes the site proposed for development.

2. Name and Address of Project Applicant:

Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

3. The Initial Study for this Project was Prepared on: June 25, 2012

4. NOTICE IS HEREBY GIVEN that the Planning Director of the Town of Paradise has reviewed the project described above pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code) and determined that it will not have a significant effect on the environment. Preparation of an Environmental Impact Report will not be required.
5. A copy of the Planning Director's determination regarding the environmental effect of this project is available for public inspection at the Town of Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA. Copies thereof will be provided to any person upon payment of the established fee.
6. Any person wishing to respond to this negative declaration may file written responses no later than July 16, 2012 by 5:00 p.m. with the Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA 95969, (530) 872-6291. The Planning Director or the Planning Commission will review such comments and will either uphold the issuance of a negative declaration or require an environmental impact report to be prepared.
7. If no protest is lodged, the negative declaration may be formally adopted at the conclusion of the review period. Any negative declaration subject to state clearinghouse review shall not be formally adopted until such review has been completed.

By: 
Craig Baker, Planning Director

Date: 6/25/12

ARCHITECTURAL
DRAWINGS

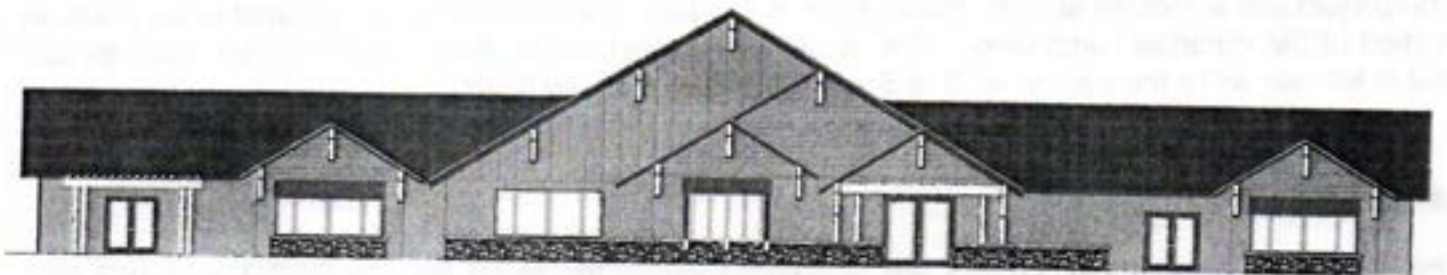
CONCEPT DESIGN FOR GRAND SIERRA LODGE

PROPOSED ARCHITECTURE

INITIAL STUDY

FOR

GRAND SIERRA LODGE



**PROJECT DESCRIPTION
AND
ENVIRONMENTAL SETTING**

**GRAND SIERRA LODGE USE PERMIT, GENERAL PLAN AMENDMENT AND TREE-FELLING
PERMIT APPLICATIONS**

PROJECT DESCRIPTION

The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit. The General Plan amendment/property rezone is proposed to also include an adjacent developed property for a total land area of 5.82 acres.

ENVIRONMENTAL SETTING

Location

The project site is located at 6983 Pentz Road, a two-lane arterial public street situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel No. 050-082-023 and is located within the southeast $\frac{1}{4}$ of Section 1, T22N, R3E, MDB&M.

Land Use

The 1.66 acre development project site is situated within the Rural Residential-2/3 acre (RR-2/3) zoning district and is currently vacant. Properties to the north and west are developed for single family residential land uses. Abutting property to the south is developed with a paved private road (Kingdom Court) and beyond that, the facilities of the Paradise Ridge Southern Baptist Church. Pentz Road abuts the site along its entire east boundary. Town-assigned zoning in the area is predominately residential, allowing for medium to low-density residential land uses and various community service-oriented uses.

Topography and Soils

The property is situated at an approximate elevation of 2,190 feet above sea level and slopes gently to the south and west. Vegetation on the vacant project site is characterized by seasonal grasses and roughly a dozen widely-spaced native oaks and conifer trees. Several brush species also occur on the

site.

Soils on the project site belong to the Aiken Very Deep (AVD) soil series. These soils are well-drained, well-structured clay loam and generally exceed five feet in depth. Aiken Very Deep soils are considered to be well-suited for on-site wastewater treatment and disposal.

Public Services

Services and facilities presently available or potentially available to the project site include but are not limited to the following listing:

Access:	Pentz Road (public street)
Communications:	AT&T Telephone/Comcast Cable Services
Electricity:	Pacific Gas and Electric Company
Public Safety:	Town of Paradise
Recreation:	Paradise Recreation and Park District
Schools:	Paradise Unified School District
Sewage Disposal:	Engineered on-site wastewater disposal system
Water Supply:	Paradise Irrigation District

PROJECT DETAILS

The permit applicant/property owner is requesting approval from the Town of Paradise to establish a development project consisting of a single-story, 19,972 square foot Community Care (assisted living) facility accompanied by an on-site paved parking facility containing twenty parking spaces, an engineered on-site wastewater treatment and disposal system, a subsurface storm water detention system, driveway access connecting to Pentz Road and on-site landscaping.

Pursuant to the Town's zoning ordinance regulations, a conditional use permit is required to establish a community care facility in Town-assigned zoning districts. Accordingly, the project developer has included a conditional use permit application with project application materials submitted to the Town.

Due to the design of the project relative to building coverage and impervious coverage limitations in the RR-2/3 zoning district, the project developer has also included an application requesting a General Plan amendment/property rezone from the current RR-2/3 zoning to a land use designation and zoning of Community Services (CS).

Construction and installation of proposed project improvements will result in the felling and removal of approximately thirteen pine, fir and oak trees large enough to be subject to the issuance of a Town of Paradise tree felling permit. Accordingly, the project applicants have also included a completed tree felling permit application with other project application materials.

The proposed hours of operation for the community care facility are twenty-four hours per day, seven days per week, including holidays. The estimated maximum number of employees in the proposed complex is five during the day shift and two overnight, for a total of twelve employees. The estimated number of clients expected to be cared for at the facility is thirty.

The project applicant is proposing to establish contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors. Please refer to the proposed project site plan, building elevations and floor plan following this discussion.

In consideration of the existing pattern of zoning classifications and land uses in the area, the Town Planning Director, on behalf of the Town of Paradise, is recommending a proposed expansion of the request for a land use and zoning designation change to CS to include one other abutting parcel currently zoned RR-2/3. This abutting parcel is presently developed with the facilities of the Paradise Ridge Southern Baptist Church. It is the opinion of the Planning Director that the established land use and substantial improvements on the 4.16 acre site oriented toward religious worship would benefit from a change from residential zoning to a zoning classification that is more accommodating for such land uses. If approved, the expanded property rezone would consist of a 5.82 acre land area. There are no current plans to expand the existing church facilities on the site.

TOWN OF PARADISE

ENVIRONMENTAL CHECKLIST FORM

I. BACKGROUND

- | | |
|--|--|
| 1. Name of Proponent | Bill and Ann Martin |
| 2. Address and phone number of proponent | 5806 Acom Ridge Drive, Paradise, CA 95969; (530) 520-5170 |
| 3. Date of checklist | June 25, 2012 |
| 4. Zoning and general plan designation | Rural Residential-2/3 acre minimum (RR-2/3) Zone; Rural Residential (RR) Land Use Designation |
| 5. Name of proposal, if applicable | Grand Sierra Lodge Use Permit (PL12-00073), General Plan Amendment/Rezone (PL12-00075) and Tree Felling Permit (PL12-00074) Applications |

II. ENVIRONMENTAL IMPACTS

Issues (and Supporting Information Sources):

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
1. LAND USE AND PLANNING. Would the proposal:					
a. Conflict with general plan designation or zoning?	1			<u>X</u>	
b. Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project?	1				<u>X</u>
c. Be incompatible with existing land use in the vicinity?	8			<u>X</u>	
d. Affect agricultural resources or operations (e.g. impacts to soils or farmlands, or impacts from incompatible land uses)?	8				<u>X</u>
e. Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	8				<u>X</u>
2. POPULATION AND HOUSING. Would the proposal:					

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	<u>NO</u> <u>IMPACT</u>
a. Cumulatively exceed official regional or local population projects?	1				<u>X</u>
b. Induce substantial growth in an area either directly or indirectly (e.g. through projects in an undeveloped area or extension of major infrastructure)?	1				<u>X</u>
c. Displace existing housing, especially affordable housing?	1				<u>X</u>
3. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:					
a. Fault rupture?	1				<u>X</u>
b. Seismic ground shaking	1				<u>X</u>
c. Seismic ground failure, including liquefaction?	1				<u>X</u>
d. Seiche, Tsunami or volcanic hazard?	1, 8				<u>X</u>
e. Landslides or mudflows?	1, 6				<u>X</u>
f. Erosion, changes in topography or unstable soil conditions from excavation, grading or fill?	1, 6			<u>X</u>	
g. Subsidence of the land?	1, 6				<u>X</u>
h. Expansive soils?	1, 6				<u>X</u>
i. Unique geologic or physical features?	8				<u>X</u>
4. WATER. Would the proposal result in:					
a. Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff?	3, 9			<u>X</u>	
b. Exposure of people or property to water related hazards such as flooding?	1, 3				<u>X</u>
c. Discharge into surface waters or other alteration of surface water quality (e.g. temperature, dissolved oxygen or turbidity)?	9				<u>X</u>
d. Changes in the amount of surface water in any water body?	3				<u>X</u>
e. Changes in currents, or the course or direction of water movements?	3				<u>X</u>
f. Change in the quantity of groundwater, either through direct	9				<u>X</u>

		SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	<u>NO</u> <u>IMPACT</u>
	additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability?					
	g. Altered direction or rate of flow of groundwater?	9				<u>X</u>
	h. Impacts to groundwater quality?	9			<u>X</u>	
	i. Substantial reduction in the amount of groundwater otherwise available for public water supplies?	9				<u>X</u>
5.	AIR QUALITY. Would the proposal:					
	a. Violate any air quality standard or contribute to an existing or projected air quality violation?	1			<u>X</u>	
	b. Expose sensitive receptors to pollutants?				<u>X</u>	
	c. Alter air movement, moisture, or temperature, or cause any change in climate?	9				<u>X</u>
	d. Create objectionable odors?	12				<u>X</u>
6.	TRANSPORTATION/CIRCULATION. Would the proposal result in:					
	a. Increased vehicle trips or traffic congestion?	1			<u>X</u>	
	b. Hazards to safety from design features (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	9				<u>X</u>
	c. Inadequate emergency access or access to nearby uses?	1				<u>X</u>
	d. Insufficient parking capacity onsite and offsite?	9				<u>X</u>
	e. Hazards or barriers for pedestrians or bicyclists	9				<u>X</u>
	f. Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?	1				<u>X</u>
	g. Rail, waterborne or air traffic impacts?	8, 9				<u>X</u>
7.	BIOLOGICAL RESOURCES. Would the proposal result in impacts to:					
	a. Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals and birds)?	7				<u>X</u>

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
b. Locally designated species (e.g. heritage trees)?	8				<u>X</u>
c. Locally designated natural communities (e.g. oak forest, coastal habitat, etc.)?	1				<u>X</u>
d. Wetland habitat (e.g. marsh, riparian and vernal pool)?	6, 7				<u>X</u>
e. Wildlife dispersal or migration corridors?	1				<u>X</u>
8. ENERGY AND MINERAL RESOURCES. Would the proposal:					
a. Conflict with adopted energy conservation plans?	1				<u>X</u>
b. Use nonrenewable resources in a wasteful and inefficient manner?	9				<u>X</u>
c. Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the state?	9				<u>X</u>
9. HAZARDS. Would the proposal involve:					
a. A risk of accidental explosion or release of hazardous substances (including, but not limited to; oil, pesticides, chemicals or radiation)?	12				<u>X</u>
b. Possible interference with an emergency response plan or emergency evacuation plan?	1				<u>X</u>
c. The creation of any health hazard or potential health hazard?	12				<u>X</u>
d. Exposure of people to existing sources of potential health hazards?	12				<u>X</u>
e. Increased fire hazard in areas with flammable brush, grass or trees?	1				<u>X</u>
10. NOISE. Would the proposal result in:					
a. Increases in existing noise levels?	12				<u>X</u>
b. Exposure of people to severe noise levels?	11, 12				<u>X</u>
11. PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:					
a. Fire protection?	12				<u>X</u>

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
b. Police protection?	12			<u>X</u>	
c. Schools?	12				<u>X</u>
d. Maintenance of public facilities, including roads?	12			<u>X</u>	
e. Other governmental services?	12			<u>X</u>	
12. UTILITIES AND SERVICE SYSTEMS. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:					
a. Power or natural gas?	12			<u>X</u>	
b. Communications systems?	12			<u>X</u>	
c. Local or regional water treatment or distribution facilities?	4			<u>X</u>	
d. Sewer or septic tanks?	12			<u>X</u>	
e. Storm water drainage?	3			<u>X</u>	
f. Solid waste disposal?	12			<u>X</u>	
g. Local or regional water supplies?	12			<u>X</u>	
13. AESTHETICS. Would the proposal:					
a. Affect a scenic vista or scenic highway?	1, 8			<u>X</u>	
b. Have a demonstrable negative aesthetic effect?	1, 9			<u>X</u>	
c. Create light or glare?	9			<u>X</u>	
14. CULTURAL RESOURCES. Would the proposal:					
a. Disturb paleontological resources?	2				<u>X</u>
b. Disturb archaeological resources?	2			<u>X</u>	
c. Affect historical resources?	8				<u>X</u>
d. Have the potential to cause a physical change which would affect unique ethnic cultural values?	2				<u>X</u>
e. Restrict existing religious or sacred uses within the potential impact area?	8				<u>X</u>
15. RECREATION. Would the proposal:					

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
a. Increase the demand for neighborhood or regional parks or other recreational facilities?	1				<u>X</u>
b. Affect existing recreational opportunities?	1				<u>X</u>
16. MANDATORY FINDINGS OF SIGNIFICANCE.					
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?					<u>X</u>
b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?					<u>X</u>
c. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connect with the effects of past projects, the effects of other current projects, and the effects of probable future projects).					<u>X</u>
d. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?					<u>X</u>

INITIAL STUDY
STATEMENT OF ENVIRONMENTAL EVALUATION
FOR
GRAND SIERRA LODGE

III. DISCUSSION OF ENVIRONMENTAL EVALUATION

1. **General Evaluation.** Potential environmental impacts associated with the proposed project have been identified upon the preceding environmental review checklist form. It has been determined that the proposed project will not result in a significant adverse effect on the environment because no significant adverse environmental impacts have been identified that are associated with the project. No mitigation measures are contained within this Initial Study because none appear to be warranted. The text that follows identifies and evaluates potential impacts (or the lack thereof) that are associated with the project.

a. **Item No. 1 - Land Use and Planning.** If approved and established, the project shall result in an alteration of the existing undeveloped land usage to a community care facility on a year-round basis. This land use alteration is not in and of itself deemed a significant adverse change, since the current Paradise General Plan land use map and the Paradise Zoning Districts map identifies the project site as a site that is designated and zoned (RR and RR2/3, respectively) in a manner that provides for the potential establishment of the proposed type land use, subject to Town approval and issuance of a conditional use permit. The project applicants have requested a land use and zoning designation change because the development standards of the CS zone more comfortably accommodate the design of the project. In addition, assignment of CS land use and zoning designations allows the request to easily be expanded to include the adjacent Paradise Ridge Southern Baptist Church facilities. The proposed project is designed in a manner that is consistent with the requested CS General Plan land use designation and zoning. In addition, eventual approval and issuance of construction permits will be contingent upon assignment of the land use and zoning designations and assured compliance with all applicable zoning and land use/development regulations.

Existing zoning in the project area is residential in nature, roughly evenly divided by Rural Residential and Town Residential zoning districts. Residential properties abutting the site along its north side are zoned TR-1/3. The project site itself is currently zoned RR-2/3, which allows up to thirty percent of the site (+/-21,692 sq. ft.) to be covered with impervious surfacing. However, the design of the project would result in the establishment of impervious area that would exceed this limitation. As a consequence,

the project developer has filed a General Plan amendment/property rezone application to change the General Plan land use designation from RR to CS and the zoning for the site from RR-2/3 to CS. If the application is approved by the Town, up to eighty percent of the site can be covered with impervious surfacing, which will easily accommodate the design of the project which proposes to establish impervious surfaces over 54 percent of the site.

The project site is currently characterized open areas of seasonal grass and widely-spaced trees. Though the site is currently vacant, it has been developed for residential use in the recent past. Existing properties developed and approved for development with residential land uses are located along the north and west side of the project site and across Pentz Road to the east. By its nature as a community care facility for the elderly, the proposed land use is not expected to be incompatible with adjacent and nearby land uses, either visually or operationally. Though nearby properties may experience the proposed land use change to some degree, the change and the resulting impacts is not anticipated approach a level of significance that warrants mitigation.

- b. **Item No. 2 - Population and Housing.** The proposed project does not entail the establishment of any new housing units nor the displacement or demolition of existing housing units. Moreover, the proposed location and design features of the Grand Sierra Lodge project will not necessitate any extension of major infrastructure improvements and thereby not induce substantial population growth in areas of the community that are currently not well served by such improvements. Therefore, no impact is expected to population and housing and no mitigation is warranted.

- c. **Item No. 3 - Geologic Problems.** The project site is located in an area of relatively low seismic activity and consequently has been accorded a category of low potential earthquake hazard (Paradise General Plan, Volume III, 1994). In addition, the gentle slopes and well-structured soils on the project site do not pose a significant threat of landslides, mudflows or subsidence. Therefore, no geologic problems are anticipated and no mitigation is warranted.

- d. **Items 4 and 12 – Ground Water, Surface Water, Erosion and Drainage.** No areas of surface water or areas subject to flooding exist on or adjacent to the project site. The Town Onsite Sanitary Official has carefully reviewed the proposed project and its environs and has found that the project design preliminarily meets the requirements of town sewage disposal ordinance regulations. Therefore, no adverse impacts to surface waters or groundwater are expected as a result of project approval and the resulting construction of a proposed on-site wastewater treatment and disposal system.

Land clearing, grading and excavation work for purposes of site development, construction of roadway access, parking improvements, drainage improvements, etc., will disturb the physical environment of the project site. Such physical changes can result in improper drainage, soils erosion and/or wind-borne dust. However, detailed and engineered grading, drainage, dust/erosion control and site development improvement plans, all designed satisfactory to the Town Engineer, shall be required to be submitted and approved by the town and/or the Butte County Air Quality Management District prior to commencement of project construction.

The project site is currently vacant and undeveloped. Development of the site with areas of impervious surfacing will alter drainage patterns and significantly increase the rate and amount of storm water runoff. An engineered drainage analysis proposing an on-site subsurface storm water detention system and conveyance of storm water into the Pentz Road drainage system has been submitted to the Town of Paradise by the project applicant's engineer and has been reviewed by the Town Engineer. The proposed drainage analysis (and its engineered solution) has revealed that existing downstream and off-site drainage facilities within the Pentz Road public right of way are adequately sized to accommodate the post-development volume of storm water during periods of heavy precipitation. If approved by the Town of Paradise, the proposed project shall be conditioned to be designed and constructed in a manner that shall include establishment of all necessary drainage facilities, located on and possibly off-site to accommodate existing and any project-induced storm water drainage in accordance with the town's interim drainage guidelines and the requirements of the Town Engineer without generating any offsite adverse environmental effects.

In accordance with the circumstances and safeguards outlined above, no significant adverse environmental effects related to surface water, ground water, erosion or drainage are anticipated as a result of project approval and no mitigation measures related thereto appear to be warranted.

- e. **Item No. 5 - Air Quality**. A certain amount of dust will be generated during activities associated with construction of site improvements. However, this impact is expected to be temporary in nature. Further, as outlined within Item (d) above, an engineer-prepared dust/erosion control plan shall be required to be approved by the Town Engineer and implemented prior to commencement of construction activities for the project. Therefore, no significant impacts to adjacent residents are anticipated and no mitigation appears to be warranted.

- f. **Item No. 6 - Transportation/Circulation**. The proposed Grand Sierra Lodge project is located along the west side of Pentz Road (a public street) at its intersection with Kingdom Court, a paved private road. Pentz Road is a two lane collector street serving the predominantly residential east side of the Paradise community.

The proposed design of the project includes the establishment of two driveway access points connecting to Pentz Road. The driveway connections are designed to accommodate two-way traffic and provide access to a proposed paved parking facility containing twenty spaces.

Neither the Town Engineer nor the Paradise Police Department have identified any significant concerns regarding the existing design of the driveway access points or their proposed positions relative to other nearby encroachments onto Pentz Road. The potential increase in the volume of vehicle trips affecting this portion of Pentz Road as a result of project approval is not expected to be significant, given the size of the proposed community care facility and the frequency of trips customarily associated with such facilities. Traffic sight distances in the vicinity of the project site can be satisfactorily improved upon via vegetation removal within the existing Pentz Road public right-of-way. If the project is approved, the developer will be required by the Town of Paradise to establish and maintain adequate traffic sight distances accordingly.

In summary, no significant adverse impacts related to traffic or transportation have been identified and, accordingly, no mitigation measures appear to be warranted.

- g. **Item No. 7 - Biological Resources.** Review of the California DFG natural diversity data base information for the Paradise area reveals that no known rare, endangered or sensitive plant or animal species exist or inhabit the project site or its immediate vicinity. Although the area may contain some animal habitat values, the project site and the general area has been disturbed repeatedly by various land use activities that have taken place over several decades. In addition, the site is relatively small and probably has little value as important wildlife habitat. Accordingly, the potential impacts upon local endangered, rare or sensitive plant and animal populations should not be significant as a result of the proposed project.

Approximately thirteen trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate the proposed development. Accordingly, the project developer has submitted a Town tree felling permit application along with other project application materials. The Tree Felling permit application was accompanied by a report prepared by a Registered Professional Forester certifying that all trees proposed for felling would otherwise be adversely affected by the development or would substantially interfere with the design of the project. The application was also accompanied by a tree protection plan prepared by a Certified Arborist for trees that will remain and be incorporated into the design of the project. The project will be subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. Further, all qualifying trees felled and removed from the site will be required to be

replaced on-site at a one-to-one ratio with fifteen gallon-sized trees native to Northern California. Required landscape plans for the Grand Sierra Lodge project shall be reviewed and approved by the Town of Paradise in the context of required tree replacement, consideration for the protection of adjacent and nearby land uses and general aesthetics. Therefore, the magnitude of impact foreseen upon vegetation and wildlife is deemed to be less than significant and no mitigation measures appear to be necessary.

- h. **Item No. 8 - Energy and Mineral Resources.** The proposed project entails the construction of ±19,972 square feet of new building area, a paved parking facility and an on-site wastewater treatment and disposal facility. It is not anticipated that a project of this magnitude would threaten the availability of any known mineral resource. Similarly, no significant use of non-renewable resources is expected as a result of project approval and construction. Project construction plans will be required to comply with current Uniform Building Code energy-efficiency and construction waste reduction standards. Accordingly, no adverse impacts related to energy and mineral resources are anticipated and no mitigation measures appear to be required.
- i. **Item No. 9 - Hazards.** Since no known areas of toxic contamination exist on or in the vicinity of the project site, the project should not involve exposure of people to potential health hazards. In addition, the conventional construction techniques likely to be involved with establishment of the proposed facility should not pose health risks associated with explosions or the release of toxic substances. Therefore, no mitigation measures related to hazards appear to be warranted.
- j. **Item No. 10 - Noise.** The proposed project will result in a moderate increase of existing noise levels that shall predominantly occur during the project's construction. Such impact will be relatively short term and will not be substantially adverse provided permissible community noise levels as established by the town's noise ordinance are not exceeded.

By their nature as care facilities for the aged or infirm, assisted living facilities belong to a class of land uses that are operationally quiet. Therefore, the magnitude of impact foreseen upon surrounding properties as a result of noise impacts is deemed to be less than significant and no mitigation measures appear to be necessary.

- k. **Item No. 11 - Public Services.** **Fire Protection:** A review of Paradise Irrigation District comments received for the project reveals existing fire flows appear to be adequate to provide fire protection to the project site. Normal Fire Department response time to the site is well within established Town standards. The Paradise Fire

Department will review the proposed project in the context of locally adopted provisions of the California Fire Code (CFC) to determine if any additional fire hydrants will be required and the Town of Paradise will condition the project accordingly. As with any development project, adopted CFC requirements will be required to be incorporated into the project's final design, including standards for minimum fire flows, fire hydrant placement, access, interior automatic fire sprinkler systems, fire alarm systems, smoke and heat detectors, etc. If the project is approved, the Town of Paradise shall condition the project in a manner deemed satisfactory to the Town Fire Chief to insure the provision of adequate fire protection in compliance with Town-adopted UFC requirements. Therefore, fire protection impacts are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

- i. **Item No. 12 - Utilities and Service Systems.** Sewage Disposal - Comments generated by staff of the Town of Paradise Development Services Department onsite sanitation division indicate that existing soils and the project's proposed means of sewage treatment and disposal can be designed and constructed in a manner that legally satisfies the town's applicable onsite subsurface sewage disposal system development requirements.

Water Supply - Comments received from Paradise Irrigation District (PID) staff relative to the proposed project have not revealed a concern regarding the cumulative impact of recent and similar development upon the district's water supply service capacity. Until the PID reports otherwise, it is understood that domestic water supply is available to serve this proposed project.

- m. **Item 13 - Aesthetics.** Approximately thirteen trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate all elements of the proposed development. The project applicants, a registered professional forester and a certified arborist retained by the project applicants have made efforts to design proposed project improvements with an eye toward tree retention and protection. As designed and proposed, installation of proposed project improvements will result in the retention of approximately five native trees. While attempts have been made to retain trees where possible, the nature of proposed improvements are not always conducive to tree retention.

The project is located along the west side of Pentz Road. Pentz Road is designated within the 1994 Paradise General Plan as a scenic highway embodied within a scenic highway corridor measured 100 feet from its centerline. Scenic highway corridors are subject to scenic highway corridor regulations contained within Title 17 of the Paradise Municipal Code (PMC). Certain land uses are statutorily prohibited (e.g., swap meets automobile sales lots, billboards, etc.) within the corridor. However, no such land uses are proposed to be established in association with the project.

The design of the proposed assisted living facility building includes contemporary architectural building design using stone accents, exposed heavy wood support beams, multiple-pane windows and doors, architectural roofing materials and earth-toned exterior colors in order to maintain compatibility with nearby residential structures and to avoid an institutional appearance. The project design provides a separation distance of twenty-five feet between the north elevation of the proposed care facility and the developed residential properties to the north. Existing vegetation within much of this area will assist in screening the facility from these residences.

All non-residential development projects are subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. The project's required landscape plans shall be designed to mitigate the loss of trees and conditioned by the town. In addition, the proposed architectural design of the proposed community care facility is characterized by contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors not unlike existing residential structure designs in the project area.

The proposed project may produce new sources of light and potential glare associated with the eventual construction of parking facility lighting fixtures associated with the establishment of the proposed community care facility and related improvements. However, the Paradise Municipal Code contains provisions that prohibit unshielded lighting fixtures from projecting light directly upon adjacent properties within 200 feet of the light source. In addition, the Town will limit any project-related lighting to be no more than 16 to 18 feet above finished grade. Therefore, it is unlikely that these potential new light sources would be out of character with the existing surrounding residential setting to the extent that a significantly adverse environmental effect upon existing residences in the area would result. Accordingly, the magnitude of impact foreseen upon aesthetics is deemed to be less than significant and no mitigation appears to be warranted.

- n. **Item 14 - Cultural Resources.** The project site is located within an area that has been repeatedly disturbed and developed for various purposes over several decades. In addition, the site itself has been previously developed and significantly disturbed. Included with project application materials submitted to the Town was a written report prepared by a professional archaeologist and outlining the results of an archaeological survey of the site. The survey of the site did not reveal the presence of any archaeological or cultural resources on the site. Though it appears that the proposed project would have no significant adverse impacts on archaeological cultural resources, the possibility exists that such resources could be discovered during subsurface construction activities. As a result of this slight possibility, the Town of Paradise will condition any project approval to require all work to stop in the area of any discovery of

archaeological resources until a qualified archaeologist provides an appropriate evaluation of the discovery. Therefore, no significant impact is expected and no mitigation measure appears to be warranted.

- o. **Item No. 15 - Recreation.** It is not anticipated that the proposed Grand Sierra Lodge project would have a significant adverse impact upon recreational resources in the Paradise Community, since the facility will not in and of itself provide additional housing opportunities for families. Therefore, impacts to recreational facilities are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

2. **Mitigation Monitoring**

Since the preparation of this initial study did not result in the necessity for the development and application of mitigation measures, no mitigation monitoring program for the project developer and/or the Town of Paradise to administer is necessary.

IV. **DETERMINATION.**

On the basis of this initial evaluation:

- 1. I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- 2. I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described in this document shall be added to the project. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- 3. I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- 4. I find that the proposed project **MAY** have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation

measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.

5. I find that although the proposed project could have a significant effect on the environment, there **WILL NOT** be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR, including revisions or mitigation measures that are imposed upon the proposed project.



Date


6/25/12

Craig Baker, Planning Director
Town of Paradise

V. REFERENCES

1. Town of Paradise 1994 General Plan, Volumes I-III, Town of Paradise Community Development Department and Quad Consultants, October 1994.
2. Town of Paradise inventory map of archaeologically sensitive areas 1987, CSUC Anthropology Department.
3. Master storm drainage study and facilities plan, Paradise, California, 1980, McCain Associates.
4. Paradise Irrigation District water distribution map, 1993.
5. USGS topographic map: Paradise East Quadrangle, 1994.
6. The California natural diversity database, state Department of Fish and Game, 1988 and 1990.
7. "Soils of Paradise and Their Ability to Treat Domestic Wastewater," Wert and Associates, 1992.
8. Town of Paradise General Plan Land Use Designation Map; October, 1994.
9. Town of Paradise Zoning Ordinance (Title 17 of the Paradise Municipal Code).
10. Town of Paradise General Plan Land Use Constraints Diagram; October, 1994.
11. Field Inspection of the project Site by planning staff, March 28, 2012.
12. Grand Sierra Lodge project materials submitted to the Town of Paradise on March 21, 2012.

Initial Study

Prepared by: 

Craig Baker

Community Development Director/Planning Director
Town of Paradise

Charles A. Elder
Barbara Dunivan-Elder
1692 Mulberry Lane
Paradise, CA 95969
530-872-8543

RECEIVED
JUN 11 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

01:45:50 PM

Town of Paradise Town Hall
Development Services Department
5555 Skyway
Paradise, CA 95969

RE: Grand Sierra Lodge General Plan Amendment/Property Rezone and Conditional Use Permit and Tree Felling Permit (PL12-00075, PL12-0073 and PL12-00074)

Attention: Craig Baker, Planning Director

Dear Mr. Baker,

After a thorough reading of the Negative Declaration Regarding Environmental Effect of the proposed project defined above a meeting of our neighborhood and the Pastor of the Paradise Ridge Southern Baptist Church south of parcel050-082-083 we have the following concerns.

First and foremost, we are concerned that you have determined that the preparation of an Environmental Impact Report will not be required. The following are the reasons for our concern.

1. Pentz Road has become one of the three main arterial roadways for the Town of Paradise and has subsequently become a very busy street with increased traffic. Drivers speed down Pentz without regard for public safety. We are concerned that the project's access and egress to and from Pentz Road, closely between three other streets (Apple, Mulberry and Kingdom Court) will create and safety issue. There are no shoulders on Pentz Road and there are no sidewalks to mitigate increased dangers. The report states that the facility will be required to prepare and maintain traffic sight regarding vegetation, and dismisses the impact of visitor and employees to an already known speed zone. Twenty parking spaces over the course of a day could add another one hundred cars per day.
2. The commercial loading zone appears on the plan to cover the easement between homes on Mulberry Lane and project. This easement is a dirt road. The garbage pickup is indicated to be located in this same area. There is no paving indicated of the easement which causes concern for winter erosion during the rainy season causing deep ruts and muddy run-off into the street and drains. Further, there is a concern for high levels of dust during the summer which will impact the breathing of those persons residing close to the development that is proposed.
3. We also have concerns that commercial deliveries will impact the increased traffic flow caused by employees, visitors and emergency vehicles. And, that the commercial deliveries will impact the peace and quiet experienced by the nearby residences.
4. The plan does not indicate whether the proposed project has obtained the legal right to encroach on an easement used by all surrounding residences.

5. Further, your assessment does not inform the neighboring residences as to whether or not the discretionary rezone and conditional use permit will prohibit usage change, increase number of estimated employees, or an increase in number of proposed residents.
6. Sewerage/Septic disposal of waste is addressed only briefly and only states that the disposal system will be "engineered" and sufficient for waste water disposal. As a group we are concerned as many leach lines in our area fail due to the lava slab on which the properties sit. The proposed project is in an area that has the Baptist church to the south and several residences to the west as well as the residences to the north. While Mulberry Lane sits to the north and is only slightly higher in elevation, there are residences east that abut the project whose leach lines trail down toward their homes. We are looking at a property development project that is requesting to cover more than 40% of the lot (where normal perimeters are 30%) with impervious surfacing to accommodate the structural design. The report states that this will not be "significant", ignoring the need for absorption of snow melt and rain to prohibit flooding issues south of the project and soil erosion. The report itself states that "nearby properties may experience the proposed land use change to some degree, the change and the resulting impacts are not anticipated to approach a level of significance that warrants mitigation." Given that the project will house thirty full time residents, and five employees the caring capacity of the land may not be able to absorb the waste and may cause a health hazard. Thirty-five people per day, approximately five flushes per person, at 2 gallons per flush is 350 gallons of waste per day. Add to that the water used for cooking, cleaning, laundry, outdoor maintenance, we are looking at an increased burden to the surrounding areas of approximately roughly 35,000 gallons per month. This, with the report stating that the covering of the area with impervious surfacing will alter drainage pattern and significantly increase the rate and amount of storm water runoff the potential for environmental issues justifies, in and of itself an Environmental Impact Study.
7. Public Safety and Fire Protection is also an issue. The report addresses current fire protection for the area as adequate, but does not address evacuation plans, increased burden on a town that has limited resources. The report also does not address police protection, ambulance services, or medical service vehicles. In light of the evacuations of 2008 these are issues which should not be left unsaid. In the event of a major evacuation of Paradise, the evacuation of a facility in this location may cause interruption of traffic from Paradise Pines and upper Pentz Road and there are very few arteries flowing across town above Wagstaff.

Additional questions include the subjects below:

1. Will the permit future additional structural additions?
2. If Item 2 states that the proposed project does not entail the establishment of any new housing units, exactly what is a facility "housing" thirty additional persons?
3. *Air quality during and after construction is an issue to be fully addressed and many of the nearby residents are over the age of sixty and have already developed some form of breathing difficulty.*
4. What impact will the facility have to an already ill maintained and/or fragile system of providing electricity to the surrounding area which has had electrical outages of three to five days on numerous occasions over the past three to five years. If the facility will be using natural gas, will that delivery increase significantly to impact the surrounding area?
5. Hazardous waste disposal from medications, dressings needed for residents, needles, etc is not addressed.
6. Increased noise from traffic, commercial delivery, visitors, ambulances, etc is not addressed.
7. The effect of the designation of a Scenic Highway is not addressed if changes are made altering those requirements.
8. Lighting issues addressed as to the parking lot only.

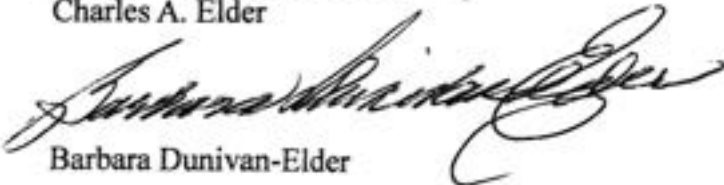
9. Impact on surrounding property values not addressed.

It is because of these concerns and the inadequacy of the "Negative Declaration Regarding Environmental Effect" that we are strongly requesting and suggesting that the Town of Paradise require a complete and comprehensive Environmental Impact Study regarding this project.

Sincerely,



Charles A. Elder



Barbara Dunivan-Elder

June 17th 2012

Town of Paradise Town Hall
Development Services Department
555 Skyway, Paradise, Ca 95969

Re: Grand Sierra Lodge General Plan Amendment/Property Rezone(P112-00075),
Conditional use Permit (P112-00073) and Tree Felling Permit (P112-00074)
Applications

Dear Sirs:

I am responding to your letter dated May 29, 2012 in which the above plan is proposed. I currently own the home directly south of the proposed construction and have for the better part of 30 years. I am at this time, lodging a formal objection based on but not limited to the following objections:

Excessive ground saturation due to the tremendous overuse of a 30 bed facility and its septic capability.

Rain water run off which would cause probable flooding of my property

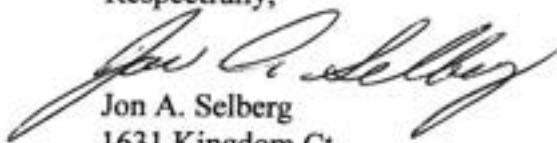
Deflate my already compromised value of my home. This is a single residential neighborhood its value and draw is to families wishing to raise their children in a Quiet and safe neighborhood.

Increased traffic which would put children at risk

Destroying of old and irreplaceable trees for concrete and asphalt

Kingdom Ct is an old and established family neighborhood and it would be a crime to destroy years of continuity and care

Respectfully,



Jon A. Selberg
1631 Kingdom Ct.
Paradise, Ca. 95969
530-518-4117

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

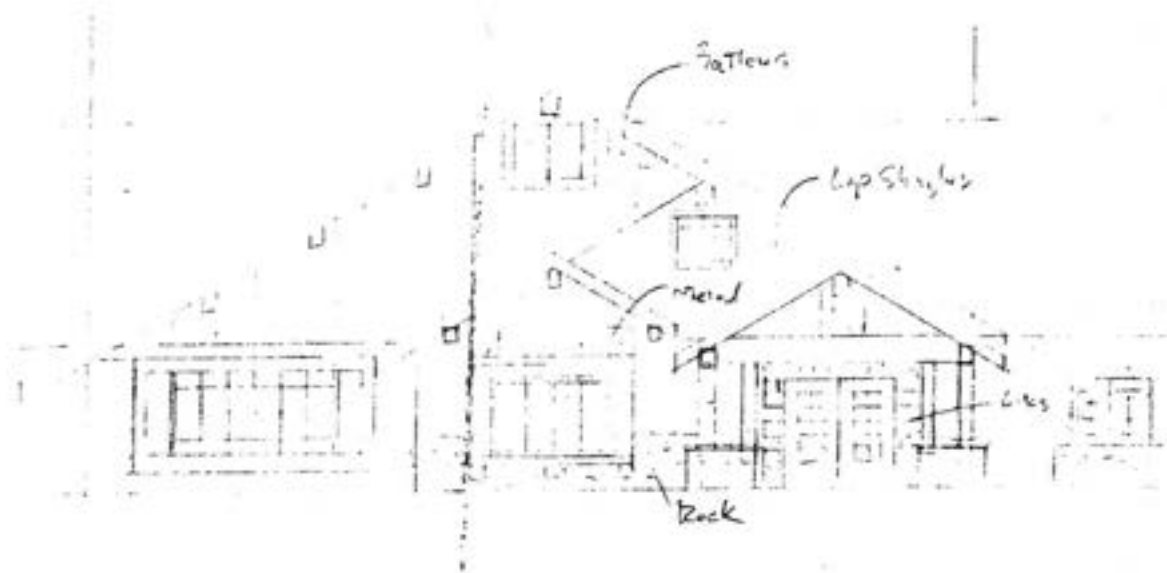
JUN 18 2012

RECEIVED

GRAND SIERRA LODGE

RESIDENTIAL RETIREMENT COMMUNITY

PARADISE, CA



Prepared by

WLM CONSTRUCTION, INC.

WILLIAM & ANN MARTIN

FOR

JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Letter of Authorization	.....	p 3
Project Summary	.....	p 4
Site Analysis	.....	p 5
Zoning and Land Use	.....	p 6
Neighborhood Support	.....	p 7
Wastewater	.....	p 8
Site Drainage	.....	p 8
Utilities	.....	p 8
Traffic	.....	p 8
Parking	.....	p 8
Fire Department	.....	p 9
Commitment to the Community	.....	p 9
Hospital	.....	p 10
Trees	.....	p 10
Development Design	.....	p 11
Development Team Bios	.....	p 11
Development Team Contact Information	.....	p 12

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1024 SOUTH COURSE
VANALISA, CALIFORNIA 94277

TELEPHONE: (530) 625-4444

FAX: (530) 625-4446

May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL
PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, A.P.N.
NUMBER 050-082-023-000.

WILLIAM E. MARTIN AND OR ANN MARTIN ARE AGENTS FOR THE
TRUST IN ALL MATTERS CONCERNING THE SAID REAL PROPERTY,
INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR
PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE,
CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Grand Sierra Lodge of Paradise is to create, in a residential retirement community, the atmosphere of an elegant and comfortable mountain lodge. The proposed development is for a moderately sized, thirty-bedroom senior housing community; the average size in the U.S. is 58 units. The philosophy of Grand Sierra Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. The Grand Sierra Lodge retirement living philosophy embraces community, quality of life as well as quality of care, and supports the resident's decision to live with companionship and increasing levels of supportive services in the place they call home.

The terms used to describe senior communities differs across the country; in California senior communities are identified as independent living, assisted living and skilled nursing. Independent living is for seniors in good health, who desire the convenience and safety of a retirement living community. Assisted living provides seniors with assistance with one or more 'activities of daily living' (ADL). Skilled nursing is for individuals who require total care. The mission of the Grand Sierra Lodge is to offer a continuum of care from independent to assisted living, so as residents need more assistance, it can be provided.

The Grand Sierra Lodge will be prepared to undergo a licensure process to become a licensed assisted living facility. In California, the State Department of Social Services (DSS) conducts the licensure process. Also described as Residential Care Facility for the Elderly (RCFE) in the California Codes, assisted living communities are required to provide a number of services to residents, including 24-hour supervision, three meals per day plus snacks in a group dining room, as well as a range of services that promote resident quality of life and independence. Staff job descriptions and training requirements are defined by the DSS, and reflect the responsibilities of each position according to professional standards, with emphasis on observation, communication and care. Unlike nursing facilities where skilled medical care is provided on site, assisted living offers transportation to medical professionals. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Grand Sierra Lodge.

Regulations specific to construction of senior living facilities are detailed in the California Health and Safety Code. Senior communities range in size from a small residential house, with 6 or fewer residents, up to very large facilities providing services to hundreds of residents. Current best practices in senior community design include large studios for private living, and comfortable spaces for socialization, such as conversation areas, patios and hearth rooms. This enables residents to maintain a private lifestyle, while enjoying socialization at their leisure. Facilities are designed for the mobility impaired.

Site Analysis

The proposed development site is a unique infill location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road													
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	140	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	140	21242

Traffix System Version 6.4 (c) 1991 DA Licensed to Dowling Associates

Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses. It is recommended the applicant apply for a zone change to TR 1/3 due to the size of the proposed facility.



Kingdom Court (left) and Pentz Road

The development site and proposed retirement living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexander family and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developers met with Mr. and Mrs. McAlexander at their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because senior living communities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

L & L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments. The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

The proposed septic system and leach field is shown on page CS of the Site Plan. Based on data collected, and from water records of like facilities, Rancho Engineering has designed a fully engineered system. An Advantex AX 100 Pod and Recirculation tank system with redundant pressurized distribution lines is proposed for this project. This will provide on site wastewater treatment for a thirty-bedroom facility.

The wastewater leach field location is designed to follow perpendicular to the natural slope of the property, as shown on page CS of the Site Plan. The proposed on-site septic system would be located in the westerly 140 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. The developer will explore cost effective solar energy applications for the residential facility.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

Parking

At this time, twenty (20) parking stalls are shown, including two ADA parking stalls and a commercial loading/unloading zone. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The

developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site. Fire flow tests have been conducted.



Southwest corner of property with fire hydrant on left

Commitment to the Community

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square foot home built in approximately 1940, and a large storage shed.

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightning Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborists for the development are Tom Gomez of Tom's Tree Service and consulting arborist Randolph Vasquez. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'. A full tree report, prepared by Vasquez is submitted with this application.



View from Pentz Road looking west

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and the California Department of Social Services, Community Care Licensing Division Residential Care Facilities for the Elderly (RCFE) and values expressed by the American Assisted Living Association (ALFA). Rancho Engineering has been retained for all design and engineering associated with the project.

The vision for Grand Sierra Lodge of Paradise is to create the atmosphere of an elegant, but comfortable mountain lodge. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards. Specific design features will adhere to State of California RCFE regulations, specifically those under Article 5 Physical Environment and Accommodations. The Grand Sierra Lodge will follow current best practices in senior community design include large private spaces and comfortable rooms for socialization, such as conversation areas, patios and hearth rooms. Facilities will be designed to house the mobility impaired; the majority of private rooms will accommodate the non-ambulatory.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified as a RCFE Administrator Certificate Holder, by the California Department of Social Services, Community Care Licensing Division. Ann has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
 Bill Martin CEO, Builder
 5806 Acorn Ridge Dr. / PO Box 2035
 Paradise, CA 95967
wlmconstructioninc@gmail.com
 (530) 520-5170 Bill

RCFE Consultant: Ann Martin, Ed.D. RCFE Administrator
 Certificate Holder License #6009259740
 CA Dept. of Social Services, Community Care Licensing
 5806 Acorn Ridge Dr. / PO Box 2035
 Paradise, CA 95967
 (530) 520-5178 Ann

Building Engineer: Jarrod Holliday License # 66034
 Frank Sands, Rancho Engineering
 5550 Skyway
 Paradise, CA 95969

Civil Engineer: Jarrod Holliday License # 66034
 Rancho Engineering
 5550 Skyway
 Paradise, CA 95969

Wastewater: Jarrod Holliday License # 66034
 Rancho Engineering
 5550 Skyway
 Paradise, CA 95969

Surveyor: L & L Surveying
 1007 Bille Road
 Paradise, CA 95969
 (530) 877-4300

Arborists: Tom Gomez, Certified Arborist License #1248
 Tom's Tree Service
 6791 Pentz Road
 Paradise, CA 95969
 (530) 877-6055

Randolph Vasquez, Registered Professional Forester #1884
 Randolph Vasquez Forest Management
 1600 Feather River Blvd, Suite B
 Oroville, California 95965
 (530) 534-5229

**TOWN OF PARADISE
PLANNING COMMISSION**

RESOLUTION NO. 12-03

**A RESOLUTION OF THE PARADISE PLANNING COMMISSION RECOMMENDING TOWN
COUNCIL ADOPTION OF A PARADISE GENERAL PLAN LAND USE MAP AMENDMENT
AND REZONING OF CERTAIN REAL PROPERTY WITHIN THE TOWN OF PARADISE
(MARTIN; PL12-00075)**

WHEREAS, the Paradise Planning Commission has conducted a public hearing, pursuant to the California Planning and Zoning Law, concerning a proposed amendment to the Paradise General Plan and property rezone; and

WHEREAS, said public hearing also included review of potential environmental impacts, pursuant to the California Environmental Quality Act; and

WHEREAS, Sections 65353, 65354 and 65854 of the California Government Code require the Planning Commission to conduct a public hearing and notify the Town Council in writing of its recommendation; and

WHEREAS, the Planning Commission has considered the analysis and recommendation of the Development Services Department (planning division) and has considered the comments made at a public hearing conducted by the Planning Commission on July 17, 2012; and

WHEREAS, the Planning Commission has determined that an amendment to the Paradise General Plan Land Use Map for a Community Service (CS) land use designation and its related zone change to a Community Services (CS) zoning district affecting properties located at 6975 and 6983 Pentz Road and further identified as AP Nos. 050-082-105 and 050-082-023, as proposed, is in the public interest.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

SECTION 1. The Planning Commission of the Town of Paradise hereby finds:

- a. That the proposed project will not have a significant effect on the environment, and adopts the negative declaration prepared by staff.
- b. That the general plan land use designation and zoning district requested to be assigned to the project property via the general plan amendment/rezone project application (PL12-00075) is appropriate and reasonable because it would assign a Community

RESOLUTION NO. 12-03

Service (CS) General Plan land use designation and Community Services (CS) zoning to properties that are currently developed and proposed to be further developed with community service-oriented land uses and that are situated at a location and with characteristics that satisfy the 1994 Paradise General Plan policies that are applicable to development of community services land uses.

SECTION 2. The Planning Commission of the Town of Paradise hereby recommends to the Town Council approval of the project application for Paradise General Plan Land Use Map amendment and its related zone change known as the Martin (PL12-00075) application for property identified as AP Nos. 050-082-0105 and 050-082-023 as depicted in Exhibit "A", attached hereto and made a part hereof by reference.

PASSED AND ADOPTED by the Planning Commission of the Town of Paradise this 17th day of July, 2012, by the following vote:

AYES:

NOES:

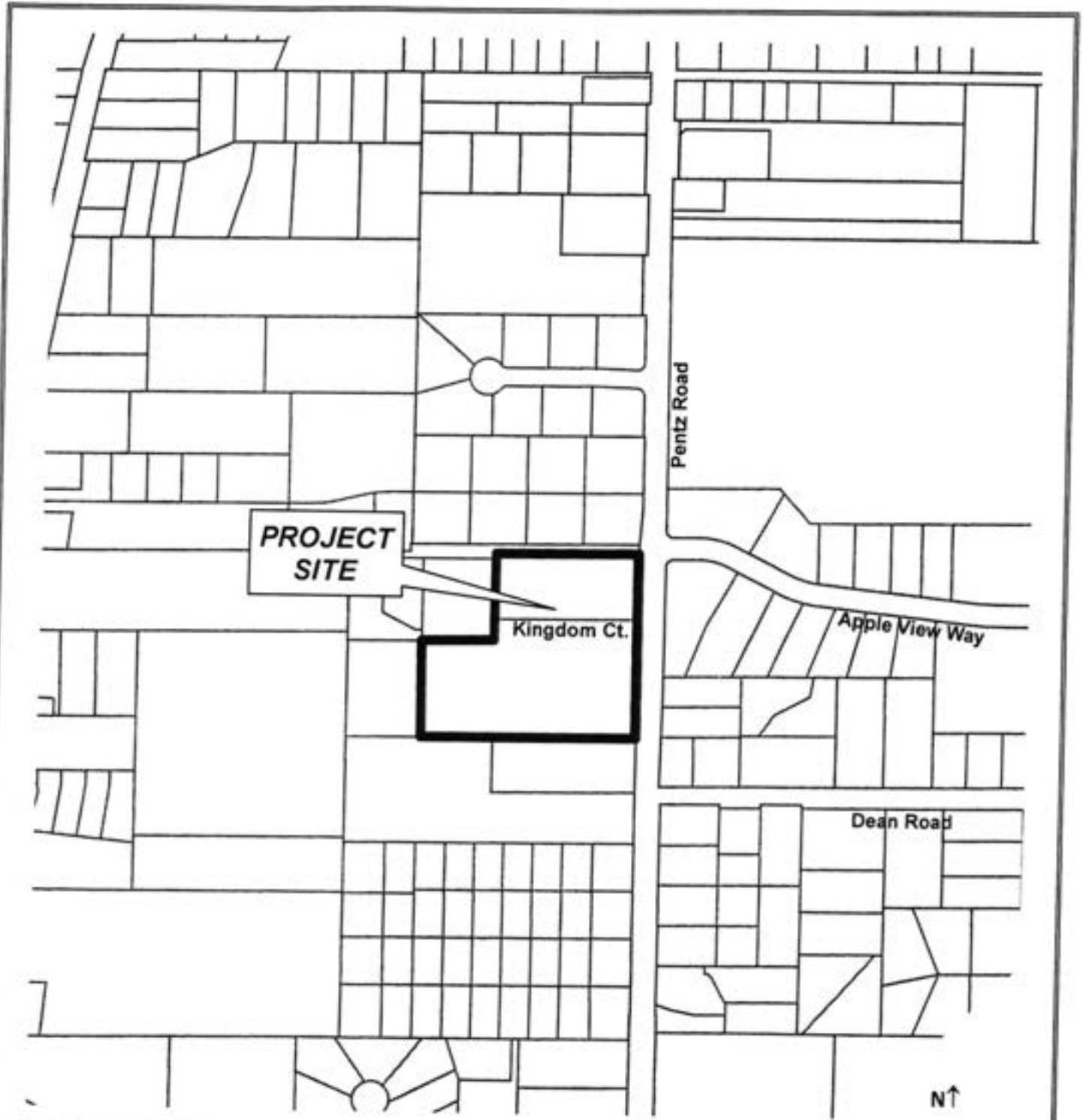
ABSENT:

NOT VOTING:

Planning Commission Chair

ATTEST:

Town Clerk



APPLICANT: BILL AND ANN MARTIN

OWNER: JAY AND JOYCE POWELL

6983 Pentz Road

REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.

Zoning: RR-2/3

GENERAL PLAN: RR

FILE NOS. PL12-00073, PL12-00074, PL12-00075

ASSESSOR PARELS: 050-082-023, 050-082-105

HEARING DATE: 7/17/12

1800-1810

1820-1830

1840-1850

Baker, Craig

From: Skillman, Ken
Sent: Thursday, July 05, 2012 9:41 AM
To: Baker, Craig
Subject: FW: Grand Sierra Lodge Site Drainage Plan Review

Good Morning Craig:

After talking with you and Paul Derr on Tuesday, I have combined a few comments and added others to address the concerns raised in that meeting. These comments should be incorporated into the conditions of approval for this project's CUP:

1. Applicant's Design Engineer shall provide an engineered site plan, grading/drainage plan and utility plan for this project. All pertinent invert and rim elevations shall be depicted thereon to facilitate a thorough review. Include pipe slopes, trench details and any special construction necessary including those for the detention/percolation pipelines. Plot all proposed utilities (water, gas, electric, cableTV) locations for potential conflicts. Check clearance and provide detail, as needed, where conflicts may arise. Design Engineer should review the proposed design of the drainage pipe beneath the building in three locations and ascertain if there are any conflicts with the building plumbing and whether special construction is warranted such as casings or sleeves to facilitate any future repairs. The preliminary onsite hydrology calculations and detention pipeline sizing calculations are acceptable. The final hydrology/hydraulic calculations will be reviewed and approved during plan check by the Town of Paradise Engineering Department.

2. The applicant's Design Engineer shall provide a separate offsite design plan sheet for all work required within the Pentz Road right-of-way. Pentz Road shall be widened to provide deceleration and acceleration lanes along with right in and right out lanes. The southerly driveway along Pentz Road shall be the point of ingress to the site and the northerly driveway along Pentz Road shall be the point of egress from the site with all onsite traffic along that segment being one-way northerly. Utilize the Town's B-2 Road Standard for sectional requirements, AC Dike design and related design parameters for all Pentz Road construction. An appropriately sized culvert should be incorporated into the drainage design beneath the entire frontage along Pentz Road. A sidewalk shall not be required along this frontage. Plot all existing utility poles and trees in the vicinity which may be affected and clearly state proposed removal/protect in place and similar. The 36 inch diameter pine tree approximately 40 feet north of this site shall be removed to provide sight distance for vehicles exiting the site at the northerly driveway. All improvements along Pentz Road shall be completed prior to issuance of a Certificate of Occupancy for the Lodge.

Feel free to contact me should questions arise.

Kenneth G. Skillman III, PE/PLS
Interim Paradise Town Engineer
Rolls Anderson & Rolls
115 Yellowstone Drive
Chico, CA 95973
Phone: (530) 895-1422
Fax: (530) 895-1409
Email: kgs3@rarcivil.com

-----Original Message-----

From: Skillman, Ken
Sent: Thursday, May 17, 2012 7:23 AM
To: Baker, Craig

Cc: Gill, Lauren; 'kgs3@ra. vil.com'
Subject: FW: Grand Sierra Lodge Site Drainage Plan Review

Hi Craig:

The following conditions of approval for this project have been modified to address required improvements along Pentz Road. As always, feel free to call should questions arise.

Ken

-----Original Message-----

From: Ken Skillman [mailto:kgs3@rarcivil.com]
Sent: Monday, May 14, 2012 10:30 AM
To: Baker, Craig
Cc: Skillman, Ken; Gill, Lauren
Subject: Grand Sierra Lodge Site Drainage Plan Review

Good Morning Craig:

I completed my review of the subject drainage plan and have the following comments which should be incorporated into the Applicant's Conditions of Approval for this project:

1. Applicant's Design Engineer should provide pertinent invert and rim elevations to facilitate a thorough review. Include pipe slopes, trench details and any special construction necessary including those for the detention/percolation pipelines.
2. Applicant's Design Engineer should plot all proposed utilities (water, gas, electric, cableTV) locations for potential conflicts. Check clearance and provide detail, as needed, where conflicts may arise.
3. Applicant's Design Engineer should review the design of the drainage pipe beneath the building in three locations and ascertain if there are any conflicts with the building plumbing and whether special construction is warranted such as casings or sleeves to facilitate any future repairs.
4. An appropriately sized culvert should be incorporated into the drainage design beneath the entire frontage along Pentz Road. Pentz Road shall be widened to provide deceleration and acceleration lanes along with right in and right out lanes. Utilize the Town's B-2 Road Standard for sectional requirements, AC Dike design and related design parameters. A sidewalk shall not be required along this frontage. Plot all existing utility poles and trees in the vicinity which may be affected and clearly state proposed removal/protect in place and similar. The 36 inch diameter pine tree approximately 40 feet north of this site shall be removed to provide sight distance for vehicles entering and exiting the site at the northerly driveway. All improvements along Pentz Road shall be completed prior to issuance of a Certificate of Occupancy for the Lodge.
5. The onsite hydrology calculations and detention pipeline sizing calculations are acceptable and will be approved and signed off upon acceptance and approval of the revised site drainage plan sheet.

I am waiting to hear back from the Assistant Town Manager concerning required widening and improvements along Pentz Road along with a Town imposed timeline for installation of these required facilities. My intent is to add those requirements to the front of Condition of Approval #4 above once I receive input from Lauren. Feel free to contact me should questions arise concerning any of my comments.

Kenneth G. Skillman III, PE/PLS
Interim Paradise Town Engineer
Rolls Anderson & Rolls
115 Yellowstone Drive
Chico, CA 95973

WLM Construction, Inc

PO Box 2035

Paradise, CA 95967

grandsierralodge@gmail.com

License No. 901894

June 26, 2012

Subject: Neighborhood Meeting - Grand Sierra Lodge

Dear Neighbor,

You are cordially invited to a neighborhood meeting to discuss plans and ideas on the proposed Grand Sierra Lodge senior living community.

- July 11, 2012
- 6:00 PM
- Town of Paradise Council Chambers
5555 Skyway, in Paradise

We look forward to seeing you there.

Sincerely,



Ann Martin, CFO

WLM Construction, Inc.

PO Box 2035

Paradise CA 95967

grandsierralodge@gmail.com

MEMORANDUM

AGENDA NO. 5(a)

TO: Paradise Planning Commission

FROM: Craig Baker, Community Development Director

SUBJECT: Applicant's Request to Continue a Public Hearing to a Date Certain (Grand Sierra Lodge Use Permit, General Plan Amendment/Property Rezone and Tree Felling Permit Applications)

DATE: June 13, 2012

BACKGROUND

On June 6, 2012, the project applicants for the above-noted proposed development project submitted a written request (attached) for the Planning Commission to continue the scheduled public hearing for the project to a future date. Their stated reason for this request for a continuance is to allow time to accommodate project design changes.

Subsequent to discussions with Town staff, the project applicants have decided to amend their General Plan amendment/property rezone application to a request for a Community Services (CS) land use designation and zoning. As a result of these changes, staff will need to amend and re-circulate the initial study prepared for the project. As such, the mailing of a new notice of availability to nearby property owners will be necessary. In consideration of this circumstance, it will not be necessary to continue the hearing to a date certain, since the new mailing can indicate the date of the continued public hearing.

PLANNING COMMISSION ACTION REQUESTED

If the project applicants or members of the public are in attendance and wish to provide testimony regarding the project, the Planning Commission may choose to open the public hearing to accommodate those in attendance. After accepting any testimony provided, it is staff's recommendation for the Planning Commission to adopt a motion to continue the public hearing for the proposed Grand Sierra Lodge project to a future date, either specific or uncertain, at their discretion.

WLM Construction, Inc

PO Box 2035

Paradise, CA 95967

(530) 520-5170

wlmconstructioninc@gmail.com

License No. 901894

June 6, 2012

Subject: Grand Sierra Lodge

Dear Craig,

Thank you for meeting with Bill and I yesterday. Please convey our request to the Planning Commission to continue our public hearing to a later date. I apologize for any inconvenience. Our goal is to present to the commissioners and public, the most precise plans possible. We have chosen to modify the design slightly so an easement is not required on the north boundary, and to be a better neighbor.

During our discussion, you proposed a more accurate land use/zoning designation for our application: community service 'C-S'. We agree. This designation would be best to describe our intended land use, and that of our neighbor to the south.

While reviewing paperwork on the project, I noticed a mention of five employees. Actually, we estimate the Lodge will employ five staff members per day shift and two overnight; a projected count of twelve (12) employees.

Once again, I apologize for any inconvenience caused by these changes and clarifications. We are excited to build this project, which we believe will be a positive addition to our community.

Sincerely,



Ann Martin, CFO
WLM Construction, Inc.
PO Box 2035
Paradise CA 95967
530 520 5178



WLM Construction, Inc

PO Box 2035

Paradise, CA 95967

(530) 520-5170

wlmconstructioninc@gmail.com

License No. 901894

June 6, 2012

Subject: Grand Sierra Lodge

Dear Craig,

Thank you for meeting with Bill and I yesterday. Please convey our request to the Planning Commission to continue our public hearing to a later date. I apologize for any inconvenience. Our goal is to present to the commissioners and public, the most precise plans possible. We have chosen to modify the design slightly so an easement is not required on the north boundary, and to be a better neighbor.

During our discussion, you proposed a more accurate land use/zoning designation for our application: community service 'C-S'. We agree. This designation would be best to describe our intended land use, and that of our neighbor to the south.

While reviewing paperwork on the project, I noticed a mention of five employees. Actually, we estimate the Lodge will employ five staff members per day shift and two overnight; a projected count of twelve (12) employees.

Once again, I apologize for any inconvenience caused by these changes and clarifications. We are excited to build this project, which we believe will be a positive addition to our community.

Sincerely,



Ann Martin, CFO
WLM Construction, Inc.
PO Box 2035
Paradise CA 95967
530 520 5178

WLM Construction, Inc

PO Box 2035

Paradise, CA 95967

(530) 520-5170

wlmconstructioninc@gmail.com

License No. 901894

cc: file

M E M O R A N D U M

AGENDA NO. 5(a)

TO: Paradise Planning Commission

FROM: Craig Baker, Community Development Director

SUBJECT: Letters of Opposition to Town Approval of Grand Sierra Lodge Use Permit, General Plan Amendment/Property Rezone and Tree Felling Permit Applications

DATE: June 19, 2012

Attached are two letters of opposition to Town approval of the Grand Sierra Lodge project that were submitted to the Town by owners of properties that are located adjacent to the proposed project site.

June 17th 2012

Town of Paradise Town Hall
Development Services Department
555 Skyway, Paradise, Ca 95969

Re: Grand Sierra Lodge General Plan Amendment/Property Rezone(P112-00075),
Conditional use Permit (P112-00073) and Tree Felling Permit (P112-00074)
Applications

Dear Sirs:

I am responding to your letter dated May 29, 2012 in which the above plan is proposed. I currently own the home directly south of the proposed construction and have for the better part of 30 years. I am at this time, lodging a formal objection based on but not limited to the following objections:

Excessive ground saturation due to the tremendous overuse of a 30 bed facility and its septic capability.

Rain water run of which would cause probable flooding of my property

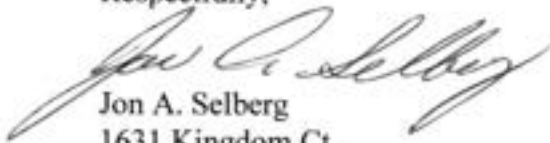
Deflate my already compromised value of my home. This is a single residential neighborhood its value and draw is to families wishing to raise their children in a Quiet and safe neighborhood.

Increased traffic which would put children at risk

Destroying of old and irreplaceable trees for concrete and asphalt

Kingdom Ct is an old and established family neighborhood and it would be a crime to destroy years of continuity and care

Respectfully,



Jon A. Selberg
1631 Kingdom Ct.
Paradise, Ca. 95969
530-518-4117

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

JUN 18 2012

RECEIVED

Charles A. Elder
Barbara Dunivan-Elder
1692 Mulberry Lane
Paradise, CA 95969
530-872-8543

RECEIVED
JUN 11 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

01:45:50 PM

Town of Paradise Town Hall
Development Services Department
5555 Skyway
Paradise, CA 95969

RE: Grand Sierra Lodge General Plan Amendment/Property Rezone and Conditional
Use Permit and Tree Felling Permit (PL12-00075, PL12-0073 and PL12-00074)

Attention: Craig Baker, Planning Director

Dear Mr. Baker,

After a thorough reading of the Negative Declaration Regarding Environmental Effect of the proposed project defined above a meeting of our neighborhood and the Pastor of the Paradise Ridge Southern Baptist Church south of parcel 050-082-083 we have the following concerns.

First and foremost, we are concerned that you have determined that the preparation of an Environmental Impact Report will not be required. The following are the reasons for our concern.

1. Pentz Road has become one of the three main arterial roadways for the Town of Paradise and has subsequently become a very busy street with increased traffic. Drivers speed down Pentz without regard for public safety. We are concerned that the project's access and egress to and from Pentz Road, closely between three other streets (Apple, Mulberry and Kingdom Court) will create a safety issue. There are no shoulders on Pentz Road and there are no sidewalks to mitigate increased dangers. The report states that the facility will be required to prepare and maintain traffic signs regarding vegetation, and dismisses the impact of visitor and employees to an already known speed zone. Twenty parking spaces over the course of a day could add another one hundred cars per day.
2. The commercial loading zone appears on the plan to cover the easement between homes on Mulberry Lane and project. This easement is a dirt road. The garbage pickup is indicated to be located in this same area. There is no paving indicated of the easement which causes concern for winter erosion during the rainy season causing deep ruts and muddy run-off into the street and drains. Further, there is a concern for high levels of dust during the summer which will impact the breathing of those persons residing close to the development that is proposed.
3. We also have concerns that commercial deliveries will impact the increased traffic flow caused by employees, visitors and emergency vehicles. And, that the commercial deliveries will impact the peace and quiet experienced by the nearby residences.
4. The plan does not indicate whether the proposed project has obtained the legal right to encroach on an easement used by all surrounding residences.

Handwritten notes at the top of the page, possibly a title or header.

Handwritten notes on the left side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes spanning across the middle of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

Handwritten notes on the left side of the page.

Handwritten notes on the right side of the page.

5. Further, your assessment does not inform the neighboring residences as to whether or not the discretionary rezone and conditional use permit will prohibit usage change, increase number of estimated employees, or an increase in number of proposed residents.
6. Sewerage/Septic disposal of waste is addressed only briefly and only states that the disposal system will be "engineered" and sufficient for waste water disposal. As a group we are concerned as many leach lines in our area fail due to the lava slab on which the properties sit. The proposed project is in an area that has the Baptist church to the south and several residences to the west as well as the residences to the north. While Mulberry Lane sits to the north and is *only slightly higher in elevation*, there are residences east that abut the project whose leach lines trail down toward their homes. We are looking at a property development project that is requesting to cover more than 40% of the lot (where normal perimeters are 30%) with impervious surfacing to accommodate the structural design. The report states that this will not be "significant", ignoring the need for absorption of snow melt and rain to prohibit flooding issues south of the project and soil erosion. The report itself states that "nearby properties may experience the proposed land use change to some degree, the change and the resulting impacts are not anticipated to approach a level of significance that warrants mitigation." Given that the project will house thirty full time residents, and five employees the caring capacity of the land may not be able to absorb the waste and may cause a health hazard. Thirty-five people per day, approximately five flushes per person, at 2 gallons per flush is 350 gallons of waste per day. Add to that the water used for cooking, cleaning, laundry, outdoor maintenance, we are looking at an increased burden to the surrounding areas of approximately roughly 35,000 gallons per month. This, with the report stating that the covering of the area with impervious surfacing will alter drainage pattern and significantly increase the rate and amount of storm water runoff the potential for environmental issues justifies, in and of itself an Environmental Impact Study.
7. Public Safety and Fire Protection is also an issue. The report addresses current fire protection for the area as adequate, but does not address evacuation plans, increased burden on a town that has limited resources. The report also does not address police protection, ambulance services, or medical service vehicles. In light of the evacuations of 2008 these are issues which should not be left unsaid. In the event of a major evacuation of Paradise, the evacuation of a facility in this location may cause interruption of traffic from Paradise Pines and upper Pentz Road and there are very few arteries flowing across town above Wagstaff.

Additional questions include the subjects below:

1. Will the permit future additional structural additions?
2. If Item 2 states that the proposed project does not entail the establishment of any new housing units, exactly what is a facility "housing" thirty additional persons?
3. *Air quality during and after construction is an issue to be fully addressed and many of the nearby residents are over the age of sixty and have already developed some form of breathing difficulty.*
4. What impact will the facility have to an already ill maintained and/or fragile system of providing electricity to the surrounding area which has had electrical outages of three to five days on numerous occasions over the past three to five years. If the facility will be using natural gas, will that delivery increase significantly to impact the surrounding area?
5. Hazardous waste disposal from medications, dressings needed for residents, needles, etc is not addressed.
6. Increased noise from traffic, commercial delivery, visitors, ambulances, etc is not addressed.
7. The effect of the designation of a Scenic Highway is not addressed if changes are made altering those requirements.
8. Lighting issues addressed as to the parking lot only.

The first part of the document discusses the importance of maintaining accurate records of all transactions and activities. It emphasizes the need for transparency and accountability in financial reporting.

Furthermore, it highlights the role of internal controls in preventing fraud and ensuring the integrity of the financial statements. The document also mentions the importance of regular audits and reviews.

In addition, the document discusses the impact of external factors such as market conditions and regulatory changes on the organization's financial performance. It suggests strategies to mitigate these risks and maintain financial stability.

The document also addresses the importance of communication and collaboration between different departments and stakeholders. It stresses the need for clear reporting lines and regular updates on the organization's financial health.

Overall, the document provides a comprehensive overview of the financial management process and offers practical advice on how to effectively manage the organization's finances. It serves as a valuable resource for anyone involved in financial planning and reporting.

The document also includes a section on the importance of budgeting and forecasting. It explains how these tools can help organizations anticipate future financial needs and make informed decisions about resource allocation.

Finally, the document concludes by reiterating the importance of ongoing monitoring and evaluation of the financial management process. It encourages organizations to stay proactive and adapt to changing circumstances to ensure long-term success.

In conclusion, the document provides a clear and concise guide to financial management, covering all aspects from record-keeping to strategic planning. It is a must-read for anyone responsible for the financial well-being of an organization.

The document also includes a section on the importance of risk management. It discusses various types of risks, such as credit risk, liquidity risk, and operational risk, and provides strategies to identify and manage these risks effectively.

Furthermore, the document touches upon the importance of ethical considerations in financial management. It emphasizes the need for honesty, integrity, and transparency in all financial dealings.

The document also includes a section on the importance of staying up-to-date with the latest financial news and trends. It suggests that organizations should regularly review industry reports and news articles to stay informed about potential opportunities and challenges.

Overall, the document is a comprehensive and practical guide to financial management, providing valuable insights and advice for organizations of all sizes. It is a valuable resource for anyone looking to improve their financial performance and ensure long-term success.

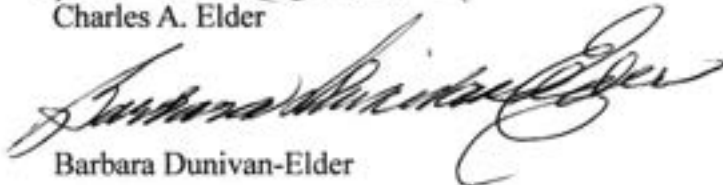
9. Impact on surrounding property values not addressed.

It is because of these concerns and the inadequacy of the "Negative Declaration Regarding Environmental Effect" that we are strongly requesting and suggesting that the Town of Paradise require a complete and comprehensive Environmental Impact Study regarding this project.

Sincerely,



Charles A. Elder



Barbara Dunivan-Elder

Administrative Information

Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____

Date: _____

Signature: _____

Print Name: _____

MEMORANDUM

TO: Craig Baker
FROM: Tony Lindsey Building Official/Fire Marshal
SUBJECT: 6983 Pentz, 050-082-023
DATE: May 30, 2012

Following are my comments relative to the proposed Grand Sierra Lodge project.

- Grand Sierra Lodge, R 2.1 RCFE occupancy, 21,285 SF type V-A structure.
- Building permit application. Three (3) complete, min. 11" X 17", scaled, 2010 California Building Standards compliant plan sets must be submitted for plan review including: Building plans with Architect or Engineer wet signed and stamped, Two (2) sets of wet signed Structural engineering calculations
- The Town of Paradise is located in seismic category D, 85 wind speed, weathering moderate, frost depth line 12". Notable the Town of Paradise is located in a Very-High Fire Hazard Severity Zone, structures shall meet all the requirements of 2010 California Building Code Chapter 7A.
- The minimum design snow load and roof live load for the Town of Paradise shall be thirty (30) pounds per square foot at 1,800 feet and elevations above. 6983 Pentz is located at approximately 2,203ft (Google Earth).
- Please submit a separate Accessibility site plan sheet detailing accessibility requirements of 2010 California Building Code Chapter 11B.
- Please submit a separate plan sheets detailing compliance as per the 2010 California Green Building standards code nonresidential Mandatory Measures within the submittal.

RECEIVED
MAY 30 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

THE UNIVERSITY OF
MICHIGAN LIBRARY
SERIALS ACQUISITION
300 N ZEEB RD
ANN ARBOR MI 48106-1500
TEL: 734 763 5000
FAX: 734 763 5001
WWW.LIBRARY.MICHIGAN.EDU



TOWN OF PARADISE
COMMUNITY SAFETY SERVICES DIVISION
5555 SKYWAY, PARADISE, CALIFORNIA 95969

(530) 872-6268

RECEIVED
MAY 30 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

**COMMERCIAL
FIRE DEPARTMENT CONDITION LETTER**

PERMIT #: _____

APPLICANT: Bill and Ann Martin
Grand Sierra Lodge
6983 Pentz, 050-082-023

REVIEW DATE: 5/30/12
 - APPROVED AS SUBMITTED
 - APPROVED W/ CONDITIONS
 - NOT APPROVED -
RESUBMITTAL REQUIRED

The following conditions have been applied to the above-referenced project pursuant to Town of Paradise Municipal Code, the California Fire Code and applicable standards. Conditions must be complied with as directed by the Town of Paradise Fire Department and shall be inspected, tested and approved in accordance with the requirements set forth.

FIRE DEPARTMENT ACCESS

REQ NR N/A

- X Private residential, public residential, commercial and industrial fire access roads shall provide an access roadway with a minimum unobstructed width of 20 feet wide and a minimum 13'6" vertical clearance. Additional width requirements may be applied to individual projects as determined by the Fire Marshal.
- X Roadways shall be extended to within one hundred and fifty (150) feet of all portions of the exterior walls as measured by an approved path of travel. An approved turn around shall be provided when the roadway exceeds one hundred and fifty (150) feet as directed by the Town of Paradise Fire Department. Fire



Handwritten notes, possibly a list or table, located in the upper left quadrant of the page. The text is faint and difficult to read.

REQ NR N/A

Department turn around requirements shall be installed as directed. See attached turn around requirements.

- X All fire apparatus access roadways must be maintained unobstructed and drivable by fire apparatus throughout the construction process. Access roadways shall be capable of holding an imposed load of 75,000 pounds including in adverse weather conditions. A soils report of the access roadway may be submitted which provides evidence of a 90-95% compaction of the soil along the access roadway. Access roadways that do not meet this requirement could be subject to a stop construction order until the roadway can be maintained.

- X The development and each phase thereof shall have a minimum of 2-points of vehicular access for fire and emergency equipment and for routes of safe egress of citizens regardless of the cul-de-sac length and shall be required as directed by the Town of Paradise Fire Department.

- X Fire lane designations shall be required for all fire access roadways as determined by the Town of Paradise Fire Department. Posted signs which state "FIRE LANE, NO PARKING" shall be installed and curbs painted red and stenciled with white letters indicating the same on the face and top of any curb as directed by the Town of Paradise Fire Department. All fire lanes shall be marked and identified prior to Certificate of Occupancy.

- X Loading zones are required adjacent to loading doors and shall be designated on the Development Site of Plot Plan and shall be marked on the appropriate ground surface. Loading zones shall not interfere with required Fire Lanes or emergency egress capabilities.

- X Roadway design features (speed humps, bumps, speed control dips, etc.) which may interfere with emergency apparatus responses shall not be installed or allowed to remain on the emergency access roadways.

- X Any gate or barrier across a fire access roadway, whether manual or automatic, must meet the Town of Paradise Fire Department requirements and have specific plans and permits approved prior to installation. Gates serving multi-family, assembly, educational, hazardous, institutional, or storage structures must be automatic. Knox brand key-operated electric key switch to the Town of Paradise Fire Department and Police Department specification are required. The Knox switch shall override all gate functions and open the gate.

FIRE PROTECTION SYSTEMS:

- X The required fire flow shall be 2500 gpm for a 2 hour duration at 20 PSI residual operating pressure. Documentation is required from the Water Purveyor verifying that the system is capable of meeting the required fire flow prior to building permit issuance. If the system is not capable of meeting the required fire flow, documentation shall be provided showing financial arrangements have



REQ NR N/A

been made and water system improvement plans approved to upgrade the existing system prior to release of building permits.

- Water improvement plans shall be approved by the Town of Paradise Fire Department. The Developer shall furnish the Town of Paradise Fire Department with three (3) copies of the water improvement plans designed by a Registered Engineer and/or Licensed Contractor. On-site private fire service mains shall have a minimum of eight (8) inch water mains with six (6) inch laterals and risers. Larger pipes may be required to meet required fire flow requirements.
- Fire hydrant water mains that supply two (2) or more private fire hydrants shall be looped to provide adequate supply. Public water main looping is dictated by fire flow requirements and reliability of the public system.
- The existing fire hydrant system is insufficient to provide the required fire flow. This system is required to be upgraded to meet the required fire flow as identified above.
- Prior to combustibles being brought to the site, the developer shall provide written certification from the Water Purveyor, dated within the last thirty (30) days, that:
 - A. All public fire hydrants required of the project have been installed, tested, and approved by the Water Purveyor, and
 - B. Are permanently connected to the public water main system, and
 - C. Are capable of supplying the required fire flow as required by the Town of Paradise Fire Department.
- Fire hydrants shall be painted per the Town of Paradise Fire Department standards and be maintained free of obstructions. Blue reflective raised pavement markers shall be installed on the pavement at approved locations marking each fire hydrant.
- Public and private water utility mains must provide the level of reliability/redundancy determined necessary by the Town of Paradise Fire Department and the Water Purveyor Engineer.
- If any fire hydrant is taken OUT OF SERVICE the Town of Paradise Fire Department shall be notified immediately and the hydrant marked, bagged, or otherwise identified as OUT OF SERVICE as directed by the Fire Marshal.
- Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13 Standard for Automatic Fire Sprinkler Systems. Three (3) sets of plans, hydraulic calculations, and material specification's sheets for equipment used in the system shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.



REQ NR N/A

- X Prior to Fire Department Clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13-R Standard for Automatic Fire Sprinkler Systems-Multi-Family Dwellings. Three (3) sets of plans, hydraulic calculations, and material used in the system shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.
- X A class ____ standpipe system is required. A State of California Licensed Contractor shall submit three (3) sets of plans, specifications, and hydraulic calculations to the Fire Department for review, approval, and permits.
- X Prior to Fire Department Clearance for occupancy, an automatic fire alarm system shall be installed. The system shall comply with NFPA #72 Standard for Fire Alarm Systems. Three (3) sets of plans, material specification's sheets for all equipment used in the system and California State Fire Marshal listings shall be submitted by a State of California Licensed Contractor for review, approval, and permits issued prior to commencing work.
- X Prior to final inspection or occupancy, hand portable fire extinguishers are required to be installed as directed by Town of Paradise Fire Department staff. The size, location, and markings shall be illustrated on the floor plan of the construction documents. Prior to installation the client is directed to request a fire inspection to confirm the locations of the fire extinguishers due to field changes of business systems.
- X An automatic smoke removal system is required. This system shall comply with the California Fire Code, NFPA and all other applicable standards. The applicant shall submit three (3) sets of detailed plans, specifications, and testing criteria to the Town of Paradise Fire Department for review, approval and permit.
- X An automatic smoke removal ventilation system (fusible link type) is required. Roof vents, venting ratios and draft curtains shall be provided in accordance with the California Fire Code, NFPA and all other applicable standards. This information shall be provided in sufficient detail on the building construction drawings and submitted to the Town of Paradise Fire Department.
- X An automatic hood and duct fire suppression system is required. A Licensed Contractor shall submit three (3) sets of detailed plans and specifications to the Town of Paradise Fire Department for review, approval and permit.
- A Class 1 hood and duct system is required. A Licensed Contractor shall submit three (3) sets of detailed plans and specifications to the Town of Paradise Fire Department for review, approval and permit.

STANDARD FIRE CONDITIONS:

- X Permanent commercial/industrial three-dimensional street numbers, minimum twelve (12) inches in height, shall be provided on the address side of the building



77

REQ NR N/A

at the highest point and furthest projection of the structure. The address shall be visible from the street and shall not be obstructed in any manner.

- X Buildings on easement shall have additional street number signs at the intersections of the easement and the roadway, and at additional locations required by the Town of Paradise Fire Department.
- X Address numbers and suite numbers are required to be installed or painted on the rear of access doors to multiple suite facilities. Numbers or letters shall be a minimum of four (4) inches in height and placed on a contrasting background.
- X A lighted directory (site map) meeting the Fire Department specifications is required at each entrance to the complex as directed by the Town of Paradise Fire Department. A site plan with all building locations identified by a number of letter, space numbers, fire protection equipment, etc. shall be reviewed and approved by the Town of Paradise Fire Department prior to installation.
- X All flammable vegetation shall be removed from each building site with slopes less than fifteen percent (15%) at a minimum distance of one hundred (100) feet from all structures or to the property line, whichever is less.
- X A fuel modification plan is required. An approved Fire Protection Consultant that specializes in these types of complex plans shall prepare the plan. Plans shall be submitted, reviewed and approved by the Town of Paradise Fire Department prior to issuance of building construction permits.
- X Knox emergency access key box is required at each building, with specific mounting locations approved by the Town of Paradise Fire Department. Recessed mount key boxes are required. Premise keys for all buildings and areas shall be marked and placed in the box prior to final inspection to ensure emergency access. The building owner/occupants shall provide replacement keys whenever locks are changed.
- X A hazardous materials inventory and disclosure shall be provided with a complete listing of MSDS sheets, storage locations and a technical report shall be submitted for review and approval prior to or as part of the submission for a building permit.
- X The building has the potential for storage of combustible stock in excess of twelve (12) feet in height. Significant modifications to the structure, including but not limited to, smoke and heat vents or mechanical ventilation, draft curtains, special access doors, upgraded sprinkler systems and hose line requirements must be achieved in compliance with the California Fire Code Article 23, should such storage occur. Minimum design densities for fire sprinkler systems within spec. buildings shall be .45/3000. If high piled combustible storage exists plans, specifications, and a technical report shall be submitted with the construction drawings to ensure fire protection requirements. High piles combustible storage requires an annual permit pursuant to the California Fire Code with appropriate fees paid semi-annually.



11



**TOWN OF PARADISE
NEGATIVE DECLARATION REGARDING ENVIRONMENTAL EFFECT**

1. Description of Project:

Grand Sierra Lodge project: Environmental review for the development of a 1.66 acre property with a thirty bedroom community care facility along with related site improvements.

2. Name and Address of Project Applicant:

Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969


3. The Initial Study for this Project was Prepared on: May 25, 2012

4. NOTICE IS HEREBY GIVEN that the Planning Director of the Town of Paradise has reviewed the project described above pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code) and determined that it will not have a significant effect on the environment. Preparation of an Environmental Impact Report will not be required.

5. A copy of the Planning Director's determination regarding the environmental effect of this project is available for public inspection at the Town of Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA. Copies thereof will be provided to any person upon payment of the established fee.

6. Any person wishing to respond to this negative declaration may file written responses no later than June 18, 2012 by 5:00 p.m. with the Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA 95969, (530) 872-6291. The Planning Director or the Planning Commission will review such comments and will either uphold the issuance of a negative declaration or require an environmental impact report to be prepared.

7. If no protest is lodged, the negative declaration may be formally adopted at the conclusion of the review period. Any negative declaration subject to state clearinghouse review shall not be formally adopted until such review has been completed.

By: 
Craig Baker, Planning Director

Date: 5/25/12

**INITIAL STUDY
FOR
GRAND SIERRA LODGE**



**PROJECT DESCRIPTION
AND
ENVIRONMENTAL SETTING**

**GRAND SIERRA LODGE USE PERMIT, GENERAL PLAN AMENDMENT AND TREE-FELLING
PERMIT APPLICATIONS**

PROJECT DESCRIPTION

The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a 1.66 acre property with a 21,285 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit.

ENVIRONMENTAL SETTING

Location

The project site is located at 6983 Pentz Road, a two-lane arterial public street situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel No. 050-082-023 and is located within the southeast ¼ of Section 1, T22N, R3E, MDB&M.

Land Use

The 1.66 acre project site is situated within the Rural Residential-2/3 acre (RR-2/3) zoning district and is currently vacant. Properties to the north and west are developed for single family residential land uses. Abutting property to the south is developed with a paved private road (Kingdom Court) and beyond that, the facilities of the Paradise Ridge Southern Baptist Church. Pentz Road abuts the site along its entire east boundary. Town-assigned zoning in the area is predominately residential, allowing for medium to low-density residential land uses and various community service-oriented uses.

Topography and Soils

The property is situated at an approximate elevation of 2,190 feet above sea level and slopes gently to

Soils on the project site belong to the Aiken Very Deep (AVD) soil series. These soils are well-drained, well-structured clay loam and generally exceed five feet in depth. Aiken Very Deep soils are considered to be well-suited for on-site wastewater treatment and disposal.

Public Services

Services and facilities presently available or potentially available to the project site include but are not limited to the following listing:

Access:	Pentz Road (public street)
Communications:	AT&T Telephone/Comcast Cable Services
Electricity:	Pacific Gas and Electric Company
Public Safety:	Town of Paradise
Recreation:	Paradise Recreation and Park District
Schools:	Paradise Unified School District
Sewage Disposal:	Engineered on-site wastewater disposal system
Water Supply:	Paradise Irrigation District

PROJECT DETAILS

The permit applicant/property owner is requesting approval from the Town of Paradise to establish a development project consisting of a single-story, 19,972 square foot Community Care (assisted living) facility accompanied by an on-site paved parking facility containing twenty parking spaces, an engineered on-site wastewater treatment and disposal system, a subsurface storm water detention system, driveway access connecting to Pentz Road and on-site landscaping.

Pursuant to the Town's zoning ordinance regulations, a conditional use permit is required to establish a community care facility in Town-assigned residential zoning districts. Accordingly, the project developer has included a conditional use permit application with project application materials submitted to the Town.

Due to the design of the project relative to building coverage and impervious coverage limitations in the RR-2/3 zoning district, the project developer has also included an application requesting a General Plan amendment/property rezone from the current RR-2/3 zoning to a land use designation and zoning of Community Services (CS).

Construction and installation of proposed project improvements will result in the felling and removal of approximately thirteen pine, fir and oak trees large enough to be subject to the issuance of a Town of Paradise tree felling permit. Accordingly, the project applicants have also included a completed tree felling permit application with other project application materials.

The proposed hours of operation for the community care facility is twenty-four hours per day, seven days per week, including holidays. The estimated maximum number of employees in the proposed complex is five during the day shift and two overnight, for a total of twelve employees. The estimated number of clients expected to be cared for at the facility is thirty.

The project applicant is proposing to establish contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors. Please refer to the proposed project site plan, building elevations and floor plan following this discussion.

In consideration of the existing pattern of zoning classifications and land uses in the area, the Town Planning Director, on behalf of the Town of Paradise, is recommending a proposed expansion of the request for a land use and zoning designation change to CS to include one other abutting parcel currently zoned RR-2/3. This abutting parcel is presently developed with the facilities of the Paradise Ridge Southern Baptist Church. It is the opinion of the Planning Director that the established land use and substantial improvements on the 4.16 acre site oriented toward religious worship would benefit from a change from residential zoning to a zoning classification that is more accommodating for such land uses. If approved, the expanded property rezone would consist of a 5.82 acre land area. There are no current plans to expand the existing church facilities on the site.

TOWN OF PARADISE
ENVIRONMENTAL CHECKLIST FORM

I. BACKGROUND

- | | |
|--|--|
| 1. Name of Proponent | Bill and Ann Martin |
| 2. Address and phone number of proponent | 5806 Acom Ridge Drive, Paradise, CA 95969; (530) 520-5170 |
| 3. Date of checklist | May 22, 2012 |
| 4. Zoning and general plan designation | Rural Residential-2/3 acre minimum (RR-2/3) Zone; Rural Residential (RR) Land Use Designation |
| 5. Name of proposal, if applicable | Grand Sierra Lodge Use Permit (PL12-00073), General Plan Amendment/Rezone (PL12-00075) and Tree Felling Permit (PL12-00074) Applications |

II. ENVIRONMENTAL IMPACTS

Issues (and Supporting Information Sources):

	<u>SOURCE</u> <u>NO.</u>	<u>POTENTIALLY</u> <u>SIGNIFICANT</u> <u>IMPACT</u>	<u>POTENTIALLY</u> <u>SIGNIFICANT</u> <u>UNLESS</u> <u>MITIGATION</u> <u>INCORPORATED</u>	<u>LESS THAN</u> <u>SIGNIFICANT</u> <u>IMPACT</u>	<u>NO</u> <u>IMPACT</u>
1. LAND USE AND PLANNING. Would the proposal:					
a. Conflict with general plan designation or zoning?	1			<u>X</u>	
b. Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project?	1				<u>X</u>
c. Be incompatible with existing land use in the vicinity?	8			<u>X</u>	
d. Affect agricultural resources or operations (e.g. impacts to soils or farmlands, or impacts from incompatible land uses)?	8				<u>X</u>
e. Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	8				<u>X</u>
2. POPULATION AND HOUSING. Would the proposal:					

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	<u>NO</u> <u>IMPACT</u>
a. Cumulatively exceed official regional or local population projects?	1				<u>X</u>
b. Induce substantial growth in an area either directly or indirectly (e.g. through projects in an undeveloped area or extension of major infrastructure)?	1				<u>X</u>
c. Displace existing housing, especially affordable housing?	1				<u>X</u>
3. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:					
a. Fault rupture?	1				<u>X</u>
b. Seismic ground shaking	1				<u>X</u>
c. Seismic ground failure, including liquefaction?	1				<u>X</u>
d. Seiche, Tsunami or volcanic hazard?	1, 8				<u>X</u>
e. Landslides or mudflows?	1, 6				<u>X</u>
f. Erosion, changes in topography or unstable soil conditions from excavation, grading or fill?	1, 6			<u>X</u>	
g. Subsidence of the land?	1, 6				<u>X</u>
h. Expansive soils?	1, 6				<u>X</u>
i. Unique geologic or physical features?	8				<u>X</u>
4. WATER. Would the proposal result in:					
a. Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff?	3, 9			<u>X</u>	
b. Exposure of people or property to water related hazards such as flooding?	1, 3				<u>X</u>
c. Discharge into surface waters or other alteration of surface water quality (e.g. temperature, dissolved oxygen or turbidity)?	9				<u>X</u>
d. Changes in the amount of surface water in any water body?	3				<u>X</u>
e. Changes in currents, or the course or direction of water movements?	3				<u>X</u>
f. Change in the quantity of groundwater, either through direct	9				<u>X</u>

		SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
	additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability?					
	g. Altered direction or rate of flow of groundwater?	9				<u>X</u>
	h. Impacts to groundwater quality?	9			<u>X</u>	
	i. Substantial reduction in the amount of groundwater otherwise available for public water supplies?	9				<u>X</u>
5.	AIR QUALITY. Would the proposal:					
	a. Violate any air quality standard or contribute to an existing or projected air quality violation?	1			<u>X</u>	
	b. Expose sensitive receptors to pollutants?				<u>X</u>	
	c. Alter air movement, moisture, or temperature, or cause any change in climate?	9				<u>X</u>
	d. Create objectionable odors?	12				<u>X</u>
6.	TRANSPORTATION/CIRCULATION. Would the proposal result in:					
	a. Increased vehicle trips or traffic congestion?	1			<u>X</u>	
	b. Hazards to safety from design features (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	9				<u>X</u>
	c. Inadequate emergency access or access to nearby uses?	1				<u>X</u>
	d. Insufficient parking capacity onsite and offsite?	9				<u>X</u>
	e. Hazards or barriers for pedestrians or bicyclists	9				<u>X</u>
	f. Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?	1				<u>X</u>
	g. Rail, waterborne or air traffic impacts?	8, 9				<u>X</u>
7.	BIOLOGICAL RESOURCES. Would the proposal result in impacts to:					
	a. Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals and birds)?	7				<u>X</u>

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
b. Locally designated species (e.g. heritage trees)?	8				<u>X</u>
c. Locally designated natural communities (e.g. oak forest, coastal habitat, etc.)?	1				<u>X</u>
d. Wetland habitat (e.g. marsh, riparian and vernal pool)?	6, 7				<u>X</u>
e. Wildlife dispersal or migration corridors?	1				<u>X</u>
8. ENERGY AND MINERAL RESOURCES. Would the proposal:					
a. Conflict with adopted energy conservation plans?	1				<u>X</u>
b. Use nonrenewable resources in a wasteful and inefficient manner?	9				<u>X</u>
c. Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the state?	9				<u>X</u>
9. HAZARDS. Would the proposal involve:					
a. A risk of accidental explosion or release of hazardous substances (including, but not limited to, oil, pesticides, chemicals or radiation)?	12				<u>X</u>
b. Possible interference with an emergency response plan or emergency evacuation plan?	1				<u>X</u>
c. The creation of any health hazard or potential health hazard?	12				<u>X</u>
d. Exposure of people to existing sources of potential health hazards?	12				<u>X</u>
e. Increased fire hazard in areas with flammable brush, grass or trees?	1				<u>X</u>
10. NOISE. Would the proposal result in:					
a. Increases in existing noise levels?	12			<u>X</u>	
b. Exposure of people to severe noise levels?	11, 12			<u>X</u>	
11. PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:					
a. Fire protection?	12			<u>X</u>	

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	<u>NO</u> <u>IMPACT</u>
b. Police protection?	12			<u>X</u>	
c. Schools?	12				<u>X</u>
d. Maintenance of public facilities, including roads?	12			<u>X</u>	
e. Other governmental services?	12			<u>X</u>	
12. UTILITIES AND SERVICE SYSTEMS. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:					
a. Power or natural gas?	12			<u>X</u>	
b. Communications systems?	12			<u>X</u>	
c. Local or regional water treatment or distribution facilities?	4			<u>X</u>	
d. Sewer or septic tanks?	12			<u>X</u>	
e. Storm water drainage?	3			<u>X</u>	
f. Solid waste disposal?	12			<u>X</u>	
g. Local or regional water supplies?	12			<u>X</u>	
13. AESTHETICS. Would the proposal:					
a. Affect a scenic vista or scenic highway?	1, 8			<u>X</u>	
b. Have a demonstrable negative aesthetic effect?	1, 9			<u>X</u>	
c. Create light or glare?	9			<u>X</u>	
14. CULTURAL RESOURCES. Would the proposal:					
a. Disturb paleontological resources?	2				<u>X</u>
b. Disturb archaeological resources?	2			<u>X</u>	
c. Affect historical resources?	8				<u>X</u>
d. Have the potential to cause a physical change which would affect unique ethnic cultural values?	2				<u>X</u>
e. Restrict existing religious or sacred uses within the potential impact area?	8				<u>X</u>
15. RECREATION. Would the proposal:					

	SOURCE <u>NO.</u>	POTENTIALLY SIGNIFICANT <u>IMPACT</u>	POTENTIALLY SIGNIFICANT UNLESS MITIGATION <u>INCORPORATED</u>	LESS THAN SIGNIFICANT <u>IMPACT</u>	<u>NO</u> <u>IMPACT</u>
a. Increase the demand for neighborhood or regional parks or other recreational facilities?	1				<u>X</u>
b. Affect existing recreational opportunities?	1				<u>X</u>
16. MANDATORY FINDINGS OF SIGNIFICANCE.					
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?					<u>X</u>
b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?					<u>X</u>
c. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connect with the effects of past projects, the effects of other current projects, and the effects of probable future projects).					<u>X</u>
d. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?					<u>X</u>

INITIAL STUDY
STATEMENT OF ENVIRONMENTAL EVALUATION
FOR
GRAND SIERRA LODGE

III. DISCUSSION OF ENVIRONMENTAL EVALUATION

1. **General Evaluation.** Potential environmental impacts associated with the proposed project have been identified upon the preceding environmental review checklist form. It has been determined that the proposed project will not result in a significant adverse effect on the environment because no significant adverse environmental impacts have been identified that are associated with the project. No mitigation measures are contained within this Initial Study because none appear to be warranted. The text that follows identifies and evaluates potential impacts (or the lack thereof) that are associated with the project.

- a. **Item No. 1 - Land Use and Planning.** If approved and established, the project shall result in an alteration of the existing undeveloped land usage to a community care facility on a year-round basis. This land use alteration is not in and of itself deemed a significant adverse change, since the Paradise General Plan land use map and the Paradise Zoning Districts map identifies the project site as a site that is designated and zoned in a manner that provides for the potential establishment of the proposed type land use, subject to Town approval and issuance of a conditional use permit. The Paradise General Plan and zoning districts maps have been formally and publicly reviewed and adopted subsequent to broad based community exposure and participation. The proposed project is designed in a manner that is consistent with the Paradise General Plan land use designation for the site. In addition, eventual approval and issuance of construction permits will be contingent upon assured compliance with all applicable zoning and land use/development regulations.

Existing zoning in the project area is residential in nature, roughly evenly divided by Rural Residential and Town Residential zoning districts. Residential properties abutting the site along its north side are zoned TR-1/3. The project site itself is currently zoned RR-2/3, which allows up to thirty percent of the site (+/-21,692 sq. ft.) to be covered with impervious surfacing. However, the design of the project would result in the establishment of impervious area that would exceed this limitation. As a consequence, the project developer has filed a General Plan amendment/property rezone application to change the General Plan land use designation from RR to TR and the zoning for the site from RR-2/3 to TR-1/3. If the application is approved by the Town, up to forty percent of the site can be covered with impervious surfacing, which will accommodate the

design of the project.

The project site is currently characterized open areas of seasonal grass and widely-spaced trees. Though the site is currently vacant, it has been developed for residential use in the recent past. Existing properties developed and approved for development with residential land uses are located along the north and west side of the project site and across Pentz Road to the east. By its nature as a community care facility for the elderly, the proposed land use is not expected to be incompatible with adjacent and nearby land uses, either visually or operationally. Though nearby properties may experience the proposed land use change to some degree, the change and the resulting impacts is not anticipated approach a level of significance that warrants mitigation.

- b. **Item No. 2 - Population and Housing.** The proposed project does not entail the establishment of any new housing units nor the displacement or demolition of existing housing units. Moreover, the proposed location and design features of the Grand Sierra Lodge project will not necessitate any extension of major infrastructure improvements and thereby not induce substantial population growth in areas of the community that are currently not well served by such improvements. Therefore, no impact is expected to population and housing and no mitigation is warranted.
- c. **Item No. 3 - Geologic Problems.** The project site is located in an area of relatively low seismic activity and consequently has been accorded a category of low potential earthquake hazard (Paradise General Plan, Volume III, 1994). In addition, the gentle slopes and well-structured soils on the project site do not pose a significant threat of landslides, mudflows or subsidence. Therefore, no geologic problems are anticipated and no mitigation is warranted.
- d. **Items 4 and 12 – Ground Water, Surface Water, Erosion and Drainage.** No areas of surface water or areas subject to flooding exist on or adjacent to the project site. The Town Onsite Sanitary Official has carefully reviewed the proposed project and its environs and has found that the project design preliminarily meets the requirements of town sewage disposal ordinance regulations. Therefore, no adverse impacts to surface waters or groundwater are expected as a result of project approval and the resulting construction of a proposed on-site wastewater treatment and disposal system.

Land clearing, grading and excavation work for purposes of site development, construction of roadway access, parking improvements, drainage improvements, etc., will disturb the physical environment of the project site. Such physical changes can result in improper drainage, soils erosion and/or wind-borne dust. However, detailed and engineered grading, drainage, dust/erosion control and site development

improvement plans, all designed satisfactory to the Town Engineer, shall be required to be submitted and approved by the town and/or the Butte County Air Quality Management District prior to commencement of project construction.

The project site is currently vacant and undeveloped. Development of the site with areas of impervious surfacing will alter drainage patterns and significantly increase the rate and amount of storm water runoff. An engineered drainage analysis proposing an on-site subsurface storm water detention system and submitted to the Town of Paradise by the project applicant's engineer has been reviewed by the Town Engineer. The proposed drainage analysis (and its engineered solution) and has revealed that existing downstream and off-site drainage facilities are adequately sized to accommodate the increased volume of storm water during periods of heavy precipitation. If approved by the Town of Paradise, the proposed project shall be conditioned to be designed and constructed in a manner that shall include establishment of all necessary drainage facilities, located on and possibly off-site to accommodate existing and project-induced storm water drainage in accordance with the town's interim drainage guidelines and in accordance with the requirements of the Town Engineer without generating any offsite adverse environmental effects.

In accordance with the circumstances and safeguards outlined above, no significant adverse environmental effects related to surface water, ground water, erosion or drainage are anticipated as a result of project approval and no mitigation measures related thereto appear to be warranted.

- e. **Item No. 5 - Air Quality**. A certain amount of dust will be generated during activities associated with construction of site improvements. However, this impact is expected to be temporary in nature. Further, as outlined within Item (d) above, an engineer-prepared dust/erosion control plan shall be required to be approved by the Town Engineer and implemented prior to commencement of construction activities for the project. Therefore, no significant impacts to adjacent residents are anticipated and no mitigation appears to be warranted.

- f. **Item No. 6 - Transportation/Circulation**. The proposed Grand Sierra Lodge project is located along the west side of Pentz Road (a public street) at its intersection with Kingdom Court, a paved private road. Pentz Road is a two lane collector street serving the predominantly residential east side of the Paradise community.

The proposed design of the project includes the establishment of two driveway access points connecting to Pentz Road. The driveway connections are designed to accommodate two-way traffic and provide access to a proposed paved parking facility containing twenty spaces.

The Town Engineer has not identified any concerns regarding the existing design of the driveway access points or their proposed positions relative to other nearby encroachments onto Pentz Road. The potential increase in the volume of vehicle trips affecting this portion of Pentz Road as a result of project approval is not expected to be significant, given the size of the proposed community care facility and the frequency of trips customarily associated with such facilities. Traffic sight distances in the vicinity of the project site can be improved upon via minor vegetation trimming and removal within the existing Pentz Road public right-of-way. If the project is approved, the developer will be required by the Town of Paradise to establish and maintain adequate traffic sight distances accordingly.

In summary, no potentially significant impacts related to traffic or transportation have been identified and, accordingly, no mitigation measures appear to be warranted.

- g. **Item No. 7 - Biological Resources**. Review of the California DFG natural diversity data base information for the Paradise area reveals that no known rare, endangered or sensitive plant or animal species exist or inhabit the project site or its immediate vicinity. Although the area may contain some animal habitat values, the project site and the general area has been disturbed repeatedly by various land use activities that have taken place over several decades. In addition, the site is relatively small and probably has little value as important wildlife habitat. Accordingly, the potential impacts upon local endangered, rare or sensitive plant and animal populations should not be significant as a result of the proposed project.

Approximately twelve trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate the proposed development. Accordingly, the project developer has submitted a Town tree felling permit application along with other project application materials. The Tree Felling permit application was accompanied by a report prepared by a Registered Professional Forester certifying that all trees proposed for felling would otherwise be adversely affected by the development or would substantially interfere with the design of the project. The application was also accompanied by a tree protection plan prepared by a Certified Arborist for trees that will remain and be incorporated into the design of the project. The project will be subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. Further, all qualifying trees felled and removed from the site will be required to be replaced on-site at a one-to-one ratio with fifteen gallon-sized trees native to Northern California. Required landscape plans for the Grand Sierra Lodge project shall be reviewed and approved by the Town of Paradise in the context of required tree replacement, consideration for the protection of adjacent and nearby land uses and general aesthetics. Therefore, the magnitude of impact foreseen upon vegetation and

wildlife is deemed to be less than significant and no mitigation measures appear to be necessary.

- h. **Item No. 8 - Energy and Mineral Resources.** The proposed project entails the construction of +21,285 square feet of new building area, a paved parking facility and an on-site wastewater treatment and disposal facility. It is not anticipated that a project of this magnitude would threaten the availability of any known mineral resource. Similarly, no significant use of non-renewable resources is expected as a result of project approval and construction. Project construction plans will be required to comply with current Uniform Building Code energy-efficiency and construction waste reduction standards. Accordingly, no adverse impacts related to energy and mineral resources are anticipated and no mitigation measures appear to be required.

- i. **Item No. 9 - Hazards.** Since no known areas of toxic contamination exist on or in the vicinity of the project site, the project should not involve exposure of people to potential health hazards. In addition, the conventional construction techniques likely to be involved with establishment of the proposed facility should not pose health risks associated with explosions or the release of toxic substances. Therefore, no mitigation measures related to hazards appear to be warranted.

- j. **Item No. 10 - Noise.** The proposed project will result in a moderate increase of existing noise levels that shall predominantly occur during the project's construction. Such impact will be relatively short term and will not be substantially adverse provided permissible community noise levels as established by the town's noise ordinance are not exceeded. Therefore, the magnitude of impact foreseen upon surrounding properties as a result of noise impacts is deemed to be less than significant and no mitigation measures appear to be necessary.

- k. **Item No. 11 - Public Services. Fire Protection:** A review of Paradise Irrigation District comments received for the project reveals existing fire flows appear to be adequate to provide fire protection to the project site. Normal Fire Department response time to the site is well within established Town standards. The Paradise Fire Department will review the proposed project in the context of locally adopted provisions of the California Fire Code (CFC) to determine if any additional fire hydrants will be required and the Town of Paradise will condition the project accordingly. As with any development project, adopted CFC requirements will be required to be incorporated into the project's final design, including standards for minimum fire flows, fire hydrant placement, access, interior automatic fire sprinkler systems, fire alarm systems, smoke and heat detectors, etc. If the project is approved, the Town of Paradise shall condition the project in a manner deemed satisfactory to the Town Fire Chief to insure the

provision of adequate fire protection in compliance with Town-adopted UFC requirements. Therefore, fire protection impacts are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

- l. **Item No. 12 - Utilities and Service Systems.** Sewage Disposal - Comments generated by staff of the Town of Paradise Development Services Department onsite sanitation division indicate that existing soils and the project's proposed means of sewage treatment and disposal can be designed and constructed in a manner that legally satisfies the town's applicable onsite subsurface sewage disposal system development requirements.

Water Supply - Comments received from Paradise Irrigation District (PID) staff relative to the proposed project have not revealed a concern regarding the cumulative impact of recent and similar development upon the district's water supply service capacity. Until the PID reports otherwise, it is understood that domestic water supply is available to serve this proposed project.

- m. **Item 13 - Aesthetics.** Approximately twelve trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate all elements of the proposed development.

The project applicants, a registered professional forester and a certified arborist retained by the project applicants have made efforts to carefully design proposed project improvements with an eye toward tree retention and protection. As designed and proposed, installation of proposed project improvements will result in the retention of approximately five native trees. While attempts have been made to retain trees where possible, the nature of proposed improvements are not always conducive to tree retention.

The project is located along the west side of Pentz Road. Pentz Road is designated within the 1994 Paradise General Plan as a scenic highway embodied within a scenic highway corridor measured 100 feet from its centerline. Scenic highway corridors are subject to scenic highway corridor regulations contained within Title 17 of the Paradise Municipal Code (PMC). Certain land uses are statutorily prohibited (e.g., swap meets automobile sales lots, billboards, etc.) within the corridor. However, no such land uses are proposed to be established in association with the project.

All non-residential development projects are subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. The project's required landscape plans shall be designed to mitigate the loss of trees and conditioned by the town. In addition, the proposed

architectural design of the proposed community care facility is characterized by contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors not unlike existing residential structure designs in the project area.

The proposed project may produce new sources of light and potential glare associated with the eventual construction of parking facility lighting fixtures associated with the establishment of the proposed community care facility and related improvements. However, the Paradise Municipal Code contains provisions that prohibit unshielded lighting fixtures from projecting light directly upon adjacent properties within 200 feet of the light source. In addition, the Town will limit any project-related lighting to be no more than 16 to 18 feet above finished grade. Therefore, it is unlikely that these potential new light sources would be out of character with the existing surrounding residential setting to the extent that a significantly adverse environmental effect upon existing residences in the area would result. Accordingly, the magnitude of impact foreseen upon aesthetics is deemed to be less than significant and no mitigation appears to be warranted.

- n. **Item 14 - Cultural Resources**. The project site is located within an area that has been repeatedly disturbed and developed for various purposes over several decades. In addition, the site itself has been previously developed and significantly disturbed. Included with project application materials submitted to the Town was a written report prepared by a professional archaeologist and outlining the results of an archaeological survey of the site. The survey of the site did not reveal the presence of any archaeological or cultural resources on the site. Though it appears that the proposed project would have no significant adverse impacts on archaeological cultural resources, the possibility exists that such resources could be discovered during subsurface construction activities. As a result of this slight possibility, the Town of Paradise will condition any project approval to require all work to stop in the area of any discovery of archaeological resources until a qualified archaeologist provides an appropriate evaluation of the discovery. Therefore, no significant impact is expected and no mitigation measure appears to be warranted.

- o. **Item No. 15 - Recreation**. It is not anticipated that the proposed Grand Sierra Lodge project would have a significant adverse impact upon recreational resources in the Paradise Community, since the facility will not in and of itself provide additional housing opportunities for families. Therefore, impacts to recreational facilities are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

2. **Mitigation Monitoring**

Since the preparation of this initial study did not result in the necessity for the development and application of mitigation measures, no mitigation monitoring program for the project developer and/or the Town of Paradise to administer is necessary.

IV. DETERMINATION

On the basis of this initial evaluation:

1. I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
2. I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described in this document shall be added to the project. **A NEGATIVE DECLARATION WILL BE PREPARED.**
3. I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
4. I find that the proposed project **MAY** have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
5. I find that although the proposed project could have a significant effect on the environment, there **WILL NOT** be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR, including revisions or mitigation measures that are imposed upon the proposed project.



Craig Baker, Planning Director
Town of Paradise


Date

5/25/12

V. REFERENCES

1. Town of Paradise 1994 General Plan, Volumes I-III, Town of Paradise Community Development Department and Quad Consultants, October 1994.
2. Town of Paradise inventory map of archaeologically sensitive areas 1987, CSUC Anthropology Department.
3. Master storm drainage study and facilities plan, Paradise, California, 1980, McCain Associates.
4. Paradise Irrigation District water distribution map, 1993.
5. USGS topographic map: Paradise East Quadrangle, 1994.
6. The California natural diversity database, state Department of Fish and Game, 1988 and 1990.
7. "Soils of Paradise and Their Ability to Treat Domestic Wastewater," Wert and Associates, 1992.
8. Town of Paradise General Plan Land Use Designation Map; October, 1994.
9. Town of Paradise Zoning Ordinance (Title 17 of the Paradise Municipal Code).
10. Town of Paradise General Plan Land Use Constraints Diagram; October, 1994.
11. Field Inspection of the project Site by planning staff, March 28, 2012.
12. Grand Sierra Lodge project materials submitted to the Town of Paradise on March 21, 2012.

Initial Study
Prepared by:


Craig Baker
Community Development Director/Planning Director
Town of Paradise

TOWN OF PARADISE COMMUNITY DEVELOPMENT DEPARTMENT

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *[Signature]*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: **April 5, 2012**

DATE DISTRIBUTED: March 22, 2012

RECEIVED
APR 05 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

STREET STANDARD R-2 WITH ADDITIONAL WIDTH ALONG PROPERTY
FRONTAGE - SEE PLAN MARK UP. DRAINAGE ANALYSIS
(PTD)

NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.

Handwritten text, possibly a signature or name, located in the lower-left quadrant of the page.

ATTN: CHIEF BUZZARD

PROJECT NOS. PL12-00073, PL12-00074, PL12-00075

PROJECT NAME: Martin Use Permit, General Plan Amendment, Rezone and Tree Felling Permit

TOWN OF PARADISE COMMUNITY DEVELOPMENT DEPARTMENT

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *[Signature]*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.
MAR 27 2012
RECEIVED

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

Chief Chris M. Buzzard
Paradise Police Department *[Signature]* *3/24/12*

NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.

Baker, Craig

From: Tim Velkonja [TimV@NorthernRecycling.biz]
Sent: Tuesday, March 27, 2012 11:18 AM
To: Baker, Craig
Cc: Hartman, Susan; Doug Speicher
Subject: Grand Sierra Lodge

We have a few questions and concerns in our ability to safely service this project.

The first is the size of the enclosure, it appears to be quite small, more detail would be needed to guarantee, adequate room for trash, mixed recycling and cardboard containers. Second is the surface in which our trucks would need to drive on to service the containers. We are not sure of the type of surface indicated (impermeable), the containers will need to be pulled out of the enclosure to the truck and the surface would need to be a concrete slab or asphalt to roll on, also the parking lot shows storm water detention pipes, we possibly would need to use the parking lot as a turn around to safely make the container pickups, will the size of our trucks do any damage? Please pass on our concerns.

Tim Velikonja
Operations Manager
Northern Recycling & Waste Services
920 American Way
Paradise, CA 95969
530 876-3340
530 624-9790 cell

PROJECT NAME: Martin Use Permit, General Plan Amendment, Rezone and Tree Felling Permit

TOWN OF PARADISE COMMUNITY DEVELOPMENT DEPARTMENT

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *CB*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

MAR 26 2012

RECEIVED

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

See 3/19/12 LUR Approval letter to Bill Martin, WLM Construction
Approved 30 Beds maximum. *[Signature]* 3/26/12

NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.





TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

March 19, 2012

Bill Martin WLM Construction
Jay and Joyce Powell Family Trust
PO Box 2035
Paradise CA 95967

Re: Land Use Approval for 6983 Pentz Rd. Paradise. Onsite Wastewater System for an Assisted Care Facility, APN 050-082-023

Dear Mr. Martin,

Soil and groundwater data have been provided as well as calculations from Rancho Engineering that demonstrates that this parcel is suitable for the construction of a facility that produces volumetric flows of 3281 gallons per day of wastewater that has undergone secondary treatment as per standards found in Town of Paradise Manual for the Onsite Treatment of Wastewater. The dispersal area for the onsite wastewater system must be in the western half of the parcel as indicated on soil permeability, profiling and groundwater monitoring well maps provided. This approval allows no dispersal fields on the eastern half of this parcel.

Therefore, land use review approval is given for this parcel to receive up to 3280 gallons per day of secondary treated wastewater meeting standards in the Town of Paradise. A proposed assisted care facility that will have up to 30 beds has been shown to be an acceptable development for this parcel. Information provided demonstrates that the care facility will produce a wastewater flow estimated of 2400 gpd and this estimation is approved.

Furthermore, some of the design components for the intended onsite sewage treatment system have been provided and are also approved. Those components are; a septic tank total retention volume of 7500 gallons, a grease interceptor sized at 1500 gallons, an Orenco AX100 filter media pod that will provide all necessary treatment to the anticipated wastewater flows and a dispersal field layout of original and replacement trenches as per submitted site map. Further engineered design plans are required for the construction application and approval portion of this project.

Please call us with any questions you may have.

Doug Danz
Onsite Sanitary Official
Town of Paradise
530-872-6239

Cc: Jarrod Holliday, P.E., Rancho Engineering
Craig Baker, Town of Paradise Community Development Director



Baker, Craig

From: Danz, Doug
Sent: Friday, March 23, 2012 8:06 AM
To: Baker, Craig; Hartman, Susan
Cc: Larson, Bob
Subject: FW: Martin assisted care facility

From: Jarrod Holliday [<mailto:ranchoengineering@hotmail.com>]
Sent: Friday, March 23, 2012 7:10 AM
To: Danz, Doug
Subject: RE: Martin assisted care facility

Doug,

After speaking with both Bill and Ann martin on conference phone they have agreed to reduce the loading of the facility to 30 beds for all application purposes. If in the future they decide that they want to expand the facility the will reevaluate the project and reapply to onsite and planning to do so. Please feel free to redline the submitted files to reflect the change from 60 beds to 30 beds for the facility loading.

Thank you,

Jarrold Holliday, P.E.
Rancho Engineering
Phone/Fax. (530) 877-3700

> From: ddanz@townofparadise.com
> To: ranchoengineering@hotmail.com
> CC: cbaker@townofparadise.com; shartman@townofparadise.com
> Subject: Martin assisted care facility
> Date: Thu, 22 Mar 2012 23:57:55 +0000

>
> Hey Jarrod, just listened to your message regarding adjusting the Planning submittal to be adjusted to 30 beds. Would you mind giving us that message in email so we have some documented form we can file?

> Thanks - Doug

>
> Doug Danz
> Onsite Sanitary Official
> Town of Paradise
> 530-872-6239

>



PARADISE IRRIGATION DISTRICT

6332 Clark Road, Paradise CA 95969 | Phone (530)877-4971 | Fax (530)876-0483

March 22, 2012

Town of Paradise
Attn: Susan Hartman
5555 Skyway
Paradise, CA 95969

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

MAR 22 2012

RECEIVED

Subject: William & Ann Martin Development Review Request, 6983 Pentz Road, APN 050-082-023.

Dear Susan,

Thank you for the opportunity to review the above referenced development review materials. The following comments and conditions apply to the project, as proposed.

1. A 3/4-inch water meter currently serves the property. This meter will not have sufficient capacity to serve the proposed project. PID will review the building plans in light of the plumbing code and the project owner will be required to have the appropriate size water meter for the facility. A service capacity fee and meter installation charge will apply.
2. Fire suppression sprinklers for this facility can be supplied by the domestic meter (if it has sufficient capacity) or by a separate fire service connection. Fire service connections do not require the payment of a service capacity fee. The installation cost for a fire service connection is the responsibility of the project owner.
3. A backflow prevention assembly will be required at each service connection. An "RP" assembly will provide the appropriate level of protection.
4. A 12-inch water main is located in Pentz Road. A 6-inch water main is located in Kingdom Court along the south side of the subject property.
5. Static pressure at the project site is approximately 80 psi.
6. Paradise Fire Department will review the fire flows available at nearby fire hydrants to determine their adequacy for the proposed project. If available fire flow is not sufficient for the proposed project a water main upgrade may be necessary. The project owner will be responsible for the cost of a water main upgrade and the upgrade project will need to be approved by the District Board of Directors.

Please contact me at 876-2037 if you have any questions or comments regarding this matter.

Sincerely,

Neil J. Essila
Assistant Engineer

cc: William and Ann Martin

MEMORANDUM

TO: Craig Baker, Assistant Community Development Director

FROM: Dennis J. Schmidt, Public Works Director/Town Engineer

SUBJECT: Preliminary Development Review, 10,000 sf Assisted Living Facility,
6983 Pentz Road, APN 050-082-023

DATE: June 15, 2011

Following are my comments relative to this proposed project.

STREETS/ACCESS:

1. Construct all interior roadways/parking areas to the A-3a road standard minimum (20 ft wide, 2" AC, 6" AB, curb/gutter or a/c dike). Areas subject to truck and heavy loading should have the structural section designed accordingly.
2. Please verify both driveways allow for the largest design vehicle that will be utilizing the facility – such as food delivery trucks, ambulances and fire trucks for emergency medicals.
3. Due to the low traffic volumes generated by these types of facilities, my recommendation is to not require a traffic impact report.
4. Due to the lack of existing infrastructure in the area, and the low anticipated pedestrian volume generated by this proposed usage, construction of frontage improvements may be deferred by the developer until such time as the town initiates a project to construct curb, gutter and sidewalk on Pentz Road.

STORM DRAINAGE:

1. Provide a drainage analysis as the new impervious area exceeds 5,000 square feet (planning process reforms No. 11). The engineer should analyze the point of connection into the storm drain system, and check pipe/channel capacity out to the discharge point. If any point downstream is under capacity, then consider detention to mitigate the increased drainage flows.
2. Carefully manage the amount of drainage that is released to the west. It appears that there are no formal channels or defined facilities to pick up any additional drainage.
3. Engineer should verify that all drainage is picked up by the storm drainage improvements, and does not create negative drainage impacts for any of the adjoining properties.
4. Verify that septic setbacks from storm drainage and potable water systems are maintained.

GRADING:

1. If cut and fill volumes exceed 5,000 cubic feet, "Engineered Grading" Requirements will be triggered (Geo-technical report, etc.). Engineered grading may also be triggered if the building is proposed to be placed on fill material.



2. Grading design should allow for the minimum property line setbacks as specified in the building code (2-foot minimum). Also verify how the grading plan "conforms" to existing ground.
3. Check for grading in the onsite sanitation disposal area. More than 1 foot of cut or fill will render the area unusable for onsite sanitation.
4. This project will likely trigger a SWPPP and submittal of an NOI to the CRWQCB since it exceeds one acre. In addition, an erosion and dust control plan must be prepared and submitted to the Town of Paradise prior to initiation of grading activities.

UTILITIES:

1. Recommend that all utilities be underground (Electric, Cable TV and Phone).
2. Have utilities been contacted regarding new electrical/gas/phone service?
3. Pentz Road received a major rehabilitation in 2010. There is a 3 year moratorium on cutting a newly repaved street. If utility connections in the roadway are necessary, the permit to cut the new street will need to be approved by the Town Council.

SITE DESIGN, PERMITS AND APPROVALS:

1. Submit engineered plans for all proposed project improvements (water, storm drain, etc).
2. Carefully verify that septic system and water line/storm drain line setbacks are maintained.
3. Confirm that all any easements that affect the property have been identified.
4. Development impact fees are required at time of building permit issuance.
5. This project will require an erosion control plan as well as a SWPPP.
6. Project signage will be subject to the 50 foot building setback line, as well as other discretionary approvals.
7. Interior landscaping is required, as is a 5 foot minimum landscape area at all locations where parking lots meet property lines.
8. Confirm that parking stalls and aisle widths comply with Section 17.38 of the Paradise Municipal Code
9. Signage must comply with all applicable guidelines.
10. Verify with Fire Department the requirement for sprinklers and new hydrants.
11. Verify with final site design that total impervious area is less than 30% (RR 2/3 zoning requirement).
12. Verify that maximum building height is less than 35 feet (RR 2/3 zoning requirement).

ENGINEERING DIVISION APPROVALS REQUIRED:

1. Street and Frontage Plan Approval (Pentz Road Driveways)
2. Encroachment Permit for all work in the public right of way.
3. Erosion Control Plan Review
4. Grading Permit (Fees based upon total cut/fill volume).
5. Drainage Analysis Review.
6. Engineered Site Plan

**TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPARTMENT**

DEVELOPMENT REVIEW REQUEST

TO: Engineering, Wastewater, CSS, Police, PID, CSUC, PG&E, NRWS, Bus./Housing

FROM: Craig Baker, Community Development Director *CJB*

REQUEST: Review and Comment

DESCRIPTION OF PROJECT: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.

LOCATION: 6983 Pentz Road

AP NO.: 050-082-023

APPLICANT: Bill and Ann Martin

CONTACT PHONE: 520-5170

RETURN DATE REQUESTED: April 5, 2012

DATE DISTRIBUTED: March 22, 2012

DOES YOUR AGENCY HAVE THE CAPACITY TO SERVE THIS PROJECT?

YES YES, WITH CONDITIONS NO (EXPLAIN BELOW)

COMMENTS AND/OR RECOMMENDED CONDITIONS:

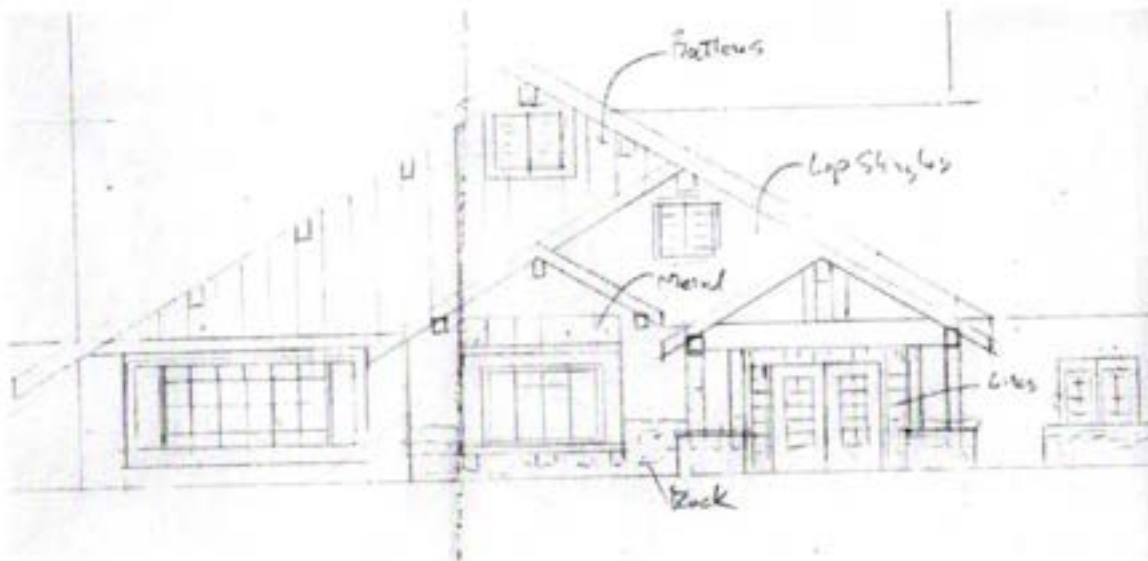
NO RESPONSE FROM YOUR AGENCY MAY BE CONSTRUED THAT YOUR AGENCY HAS THE ABILITY TO SERVE THIS PROJECT.

PLEASE MAKE A COPY FOR YOUR RECORDS.

GRAND SIERRA LODGE

RESIDENTIAL RETIREMENT COMMUNITY

PARADISE, CA



Prepared by

WLM CONSTRUCTION, INC.

WILLIAM & ANN MARTIN

FOR

JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Letter of Authorization p 3

Project Summary p 4

Site Analysis p 5

Zoning and Land Use p 6

Neighborhood Support p 7

Wastewater p 8

Site Drainage p 8

Utilities p 8

Traffic p 8

Parking p 8

Fire Department p 9

Commitment to the Community p 9

Hospital p 10

Trees p 10

Development Design p 11

Development Team Bios p 11

Development Team Contact Information p 12

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1624 SOUTH COURT
VISALIA, CALIFORNIA 93277

TELEPHONE: (559) 625-4343

FAX: (559) 625-4346

May 9, 2011

TO THE TOWN OF PARADISE:

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA. A.P.N. NUMBER 050-082-023-000.

WILLIAM L. MARTIN AND/OR ANN MARTIN ARE AGENTS FOR THE TRUST IN ALL MATERS CONCERNING THE SAID REAL PROPERTY, INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE, CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Grand Sierra Lodge of Paradise is to create, in a residential retirement community, the atmosphere of an elegant and comfortable mountain lodge. The proposed development is for a moderately sized, thirty-bedroom senior housing community; the average size in the U.S. is 58 units. The philosophy of Grand Sierra Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. The Grand Sierra Lodge retirement living philosophy embraces community, quality of life as well as quality of care, and supports the resident's decision to live with companionship and increasing levels of supportive services in the place they call home.

The terms used to describe senior communities differs across the country; in California senior communities are identified as independent living, assisted living and skilled nursing. Independent living is for seniors in good health, who desire the convenience and safety of a retirement living community. Assisted living provides seniors with assistance with one or more 'activities of daily living' (ADL). Skilled nursing is for individuals who require total care. The mission of the Grand Sierra Lodge is to offer a continuum of care from independent to assisted living, so as residents need more assistance, it can be provided.

The Grand Sierra Lodge will be prepared to undergo a licensure process to become a licensed assisted living facility. In California, the State Department of Social Services (DSS) conducts the licensure process. Also described as Residential Care Facility for the Elderly (RCFE) in the California Codes, assisted living communities are required to provide a number of services to residents, including 24-hour supervision, three meals per day plus snacks in a group dining room, as well as a range of services that promote resident quality of life and independence. Staff job descriptions and training requirements are defined by the DSS, and reflect the responsibilities of each position according to professional standards, with emphasis on observation, communication and care. Unlike nursing facilities where skilled medical care is provided on site, assisted living offers transportation to medical professionals. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Grand Sierra Lodge.

Regulations specific to construction of senior living facilities are detailed in the California Health and Safety Code. Senior communities range in size from a small residential house, with 6 or fewer residents, up to very large facilities providing services to hundreds of residents. Current best practices in senior community design include large studios for private living, and comfortable spaces for socialization, such as conversation areas, patios and hearth rooms. This enables residents to maintain a private lifestyle, while enjoying socialization at their leisure. Facilities are designed for the mobility impaired.

Site Analysis

The proposed development site is a unique infill location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

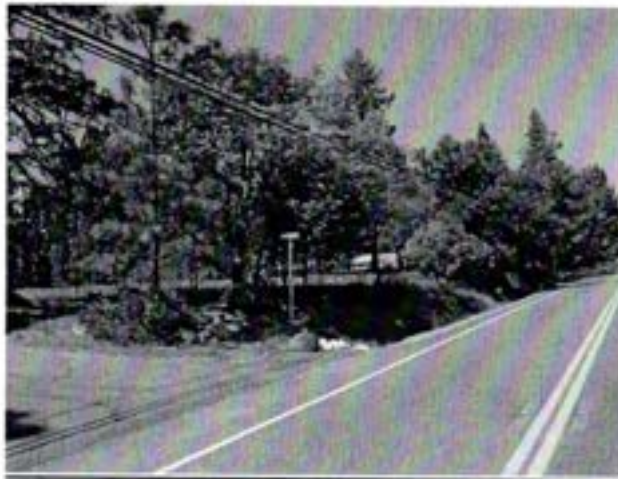
Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road												
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	21242

Traffic System Version 5.4 (c) 1991 DA Licensed to Dowling Associates

Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses. It is recommended the applicant apply for a zone change to TR 1/3 due to the size of the proposed facility.



Kingdom Court (left) and Pentz Road

The development site and proposed retirement living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexander family and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developers met with Mr. and Mrs. McAlexander at their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because senior living communities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

L &L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments. The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

The proposed septic system and leach field is shown on page CS of the Site Plan. Based on data collected, and from water records of like facilities, Rancho Engineering has designed a fully engineered system. An Advantex AX 100 Pod and Recirculation tank system with redundant pressurized distribution lines is proposed for this project. This will provide on site wastewater treatment for a thirty-bedroom facility.

The wastewater leach field location is designed to follow perpendicular to the natural slope of the property, as shown on page CS of the Site Plan. The proposed on-site septic system would be located in the westerly 140 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. The developer will explore cost effective solar energy applications for the residential facility.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

Parking

At this time, twenty (20) parking stalls are shown, including two ADA parking stalls and a commercial loading/unloading zone. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The

developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site. Fire flow tests have been conducted.



Southwest corner of property with fire hydrant on left

Commitment to the Community

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square feet home built in approximately 1940, and a large storage shed.

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightning Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborists for the development are Tom Gomez of Tom's Tree Service and consulting arborist Randolph Vasquez. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'. A full tree report, prepared by Vasquez is submitted with this application.



View from Pentz Road looking west

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and the California Department of Social Services, Community Care Licensing Division Residential Care Facilities for the Elderly (RCFE) and values expressed by the American Assisted Living Association (ALFA). Rancho Engineering has been retained for all design and engineering associated with the project.

The vision for Grand Sierra Lodge of Paradise is to create the atmosphere of an elegant, but comfortable mountain lodge. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards. Specific design features will adhere to State of California RCFE regulations, specifically those under Article 5 Physical Environment and Accommodations. The Grand Sierra Lodge will follow current best practices in senior community design include large private spaces and comfortable rooms for socialization, such as conversation areas, patios and hearth rooms. Facilities will be designed to house the mobility impaired; the majority of private rooms will accommodate the non-ambulatory.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified as a RCFE Administrator Certificate Holder, by the California Department of Social Services, Community Care Licensing Division. Ann has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
Bill Martin CEO, Builder
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
wlmconstructioninc@gmail.com
(530) 520-5170 Bill

RCFE Consultant: Ann Martin, Ed.D. RCFE Administrator
Certificate Holder License #6009259740
CA Dept. of Social Services, Community Care Licensing
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
(530) 520-5178 Ann

Building Engineer: Jarrod Holliday License # 66034
Frank Sands, Rancho Engineering
5550 Skyway
Paradise, CA 95969

Civil Engineer: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Wastewater: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Surveyor: L & L Surveying
1007 Bille Road
Paradise, CA 95969
(530) 877-4300

Arborists: Tom Gomez, Certified Arborist License #1248
Tom's Tree Service
6791 Pentz Road
Paradise, CA 95969
(530) 877-6055

 Randolph Vasquez, Registered Professional Forester #1884
Randolph Vasquez Forest Management
1600 Feather River Blvd, Suite B
Oroville, California 95965
(530) 534-5229



100-100000

Baker, Craig

From: Ken Skillman [kgs3@rarcivil.com]
Sent: Monday, May 14, 2012 10:30 AM
To: Baker, Craig
Cc: Skillman, Ken; Gill, Lauren
Subject: Grand Sierra Lodge Site Drainage Plan Review

Good Morning Craig:

I completed my review of the subject drainage plan and have the following comments which should be incorporated into the Applicant's Conditions of Approval for this project:

1. Applicant's Design Engineer should provide pertinent invert and rim elevations to facilitate a thorough review. Include pipe slopes, trench details and any special construction necessary including those for the detention/percolation pipelines.
2. Applicant's Design Engineer should plot all proposed utilities (water, gas, electric, cableTV) locations for potential conflicts. Check clearance and provide detail, as needed, where conflicts may arise.
3. Applicant's Design Engineer should review the design of the drainage pipe beneath the building in three locations and ascertain if there are any conflicts with the building plumbing and whether special construction is warranted such as casings or sleeves to facilitate any future repairs.
4. Appropriately sized culverts should be incorporated into the drainage design beneath the two entrances/exits along Pentz Road.
5. The onsite hydrology calculations and detention pipeline sizing calculations are acceptable and will be approved and signed off upon acceptance and approval of the revised site drainage plan sheet.

I am waiting to hear back from the Assistant Town Manager concerning required widening and improvements along Pentz Road along with a Town imposed timeline for installation of these required facilities. My intent is to add those requirements to the front of Condition of Approval #4 above once I receive input from Lauren. Feel free to contact me should questions arise concerning any of my comments.

Kenneth G. Skillman III, PE/PLS
Interim Paradise Town Engineer
Rolls Anderson & Rolls
115 Yellowstone Drive
Chico, CA 95973
Phone: (530) 895-1422
Fax: (530) 895-1409
Email: kgs3@rarcivil.com



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

May 18, 2012

TO: Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

FROM: Craig Baker, Assistant Community Development Director

SUBJECT: Grand Sierra Lodge Use Permit Application (PL12-00073), General Plan Amendment/Rezone Application (PL12-00075) and Tree Felling Permit Application (PL12-00074); APN 050-082-023

Section 65943 of the California Government Code requires that no later than 30 calendar days after receipt of the above-noted application, the Town of Paradise shall determine in writing whether such application is complete or incomplete and transmit such determination to the applicant. In the event that your application is determined not to be complete, the Town of Paradise shall specify those parts of your application which are incomplete and specify the manner in which they can be made completed.

Please note that the following determination(s) have been made:

Your application is complete.

Your application is incomplete and the following information is requested.

NOTE: COMPLETE APPLICATIONS WILL BE SCHEDULED FOR PUBLIC DECISION PENDING COMPLETION OF ENVIRONMENTAL REVIEW AND STAFF RECOMMENDATIONS. YOU WILL RECEIVE FURTHER NOTICE AT THAT TIME.

cc: Jay and Joyce Powell, 1624 S. Court Street, Visalia, CA 93277
Rancho Engineering, 5550 Skyway, Paradise, CA 95969

SEAN JENSEN

Archaeological Consulting

7053 MOLOKAI DRIVE
PARADISE, CALIFORNIA 95969
(530) 680-6170 VOX
(530) 876-8650 FAX
seanjensen@comcast.net

April 30, 2012

WLM Construction, Inc.

Attn.: Bill and Ann Martin
P.O. Box 2035
Paradise, California 95967
wlmconstructioninc@gmail.com

Subject: *Archaeological Survey, 6983 Pentz Road Development Project, 1.66-acres,
Town of Paradise, Butte County, California.*

Dear Mr. and Mrs. Martin:

Per request, I conducted a complete coverage, intensive-level archaeological survey of the above referenced property, which consists of a residential parcel totaling approximately 1.66-acres located adjacent to the west side of Pentz Road, in the Town of Paradise, Butte County, California. Lands affected are located within a portion Section 1 of Township 22 North, Range 3 East, as shown on the USGS Paradise East, California, 7.5' series quadrangle (see attached *Project Location Map*).

According to public agency definitions, proposed further development of this property constitutes a "project" per CEQA that could impact various types of resources located within the Area of Potential Effect (APE), which consists of the 1.66-acre land area itself. Evaluation of effects to such resources, including cultural resources, must be undertaken in conformity with Town of Paradise and Butte County rules and regulations, and in compliance with requirements of the California Environmental Quality Act of 1970, Public Resources Code, Section 21000, et seq. (CEQA), and The California Environmental Quality Act Guidelines, California Administrative Code, Section 15000 et seq. (Guidelines, as amended October 1998).

As part of the CEQA requirements, an archaeological records search was conducted by the Northeast Information Center at CSU-Chico (I.C. File No. O12-1, dated April 9, 2012). These records document the following existing conditions for the subject property:

- None of the project area has been subjected to previous archaeological survey.
- No cultural resources have been identified within or adjacent to the project area. While several cultural resources have been documented within the general vicinity of the subject property, none of these will be affected by the project, as presently proposed.

RECEIVED
MAY 02 2012

TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

- In view of moderate to high archaeological sensitivity of at least portions of this area for cultural resources the Information Center recommended an appropriate level of pedestrian survey prior to approval of any ground disturbing activities and/or any primary changes in land use.

In addition to the official Butte County archaeological records maintained by the Northeast Information Center, the following documents were also reviewed in an effort to recover additional relevant cultural data:

- The National Register of Historic Places (2011).
- OHP Historic Property Directory (2011).
- The California Inventory of Historical Resources (1976).
- The California Register of Historical Resources (2011).
- California Points of Historical Interest (State of California 1992).
- California Historical Landmarks (State of California 1996).
- Handbook of North American Indians, Vol. 8, California (1978).
- Historic Spots in California (2002).
- Gold Districts of California (1970).
- USGS Paradise, 15', 1953.

With this information in hand, Sean Jensen proceeded to the project site on April 28, 2012, and completed a pedestrian survey by walking systematic transects back and forth across the property, with transect spacing at 10 meter intervals. Property boundaries were easily determined on the basis of Pentz Road to the east, Kingdom Court to the south, private parcels to the north and west, and fencing which surrounds the property.

All of the APE has been subjected to intensive past disturbance as a result of past residential construction and subsequent demolition.

Specific findings from the pedestrian field survey are as follows:

Prehistoric Resources: No evidence of prehistoric activity or occupation was observed during the pedestrian survey. These negative results may be at least partially explained by the absence of a suitable source of surface water within, or near the subject property, and partially to the prior impacts to which all of the project area has been subjected.

Historic Resources: No evidence of early historic use was observed within the project area.

In view of the negative results achieved during both the records search and pedestrian survey, archaeological clearance is recommended for the proposed septic replacement project within this land area, although the following general provision remains appropriate:

The present evaluation and recommendations are based on the findings of an archaeological inventory-level surface survey only. There is always the possibility that significant unidentified cultural material could be encountered on or below the surface during the course of future development or construction activities. This is particularly relevant considering the constraints generally to archaeological field survey and especially in areas where past land clearing, residential development and

other land modifications have occurred, as in the present case. In the event of an inadvertent discovery of previously unidentified cultural material, archaeological consultation should be sought immediately.

In view of the negative findings of the records search and pedestrian field survey, the present letter is intended as a Final Report for this project.

If you, the Town of Paradise, or other review agencies have any questions concerning our survey findings or recommendations, please don't hesitate to contact me at your earliest convenience.

Sincerely Yours,

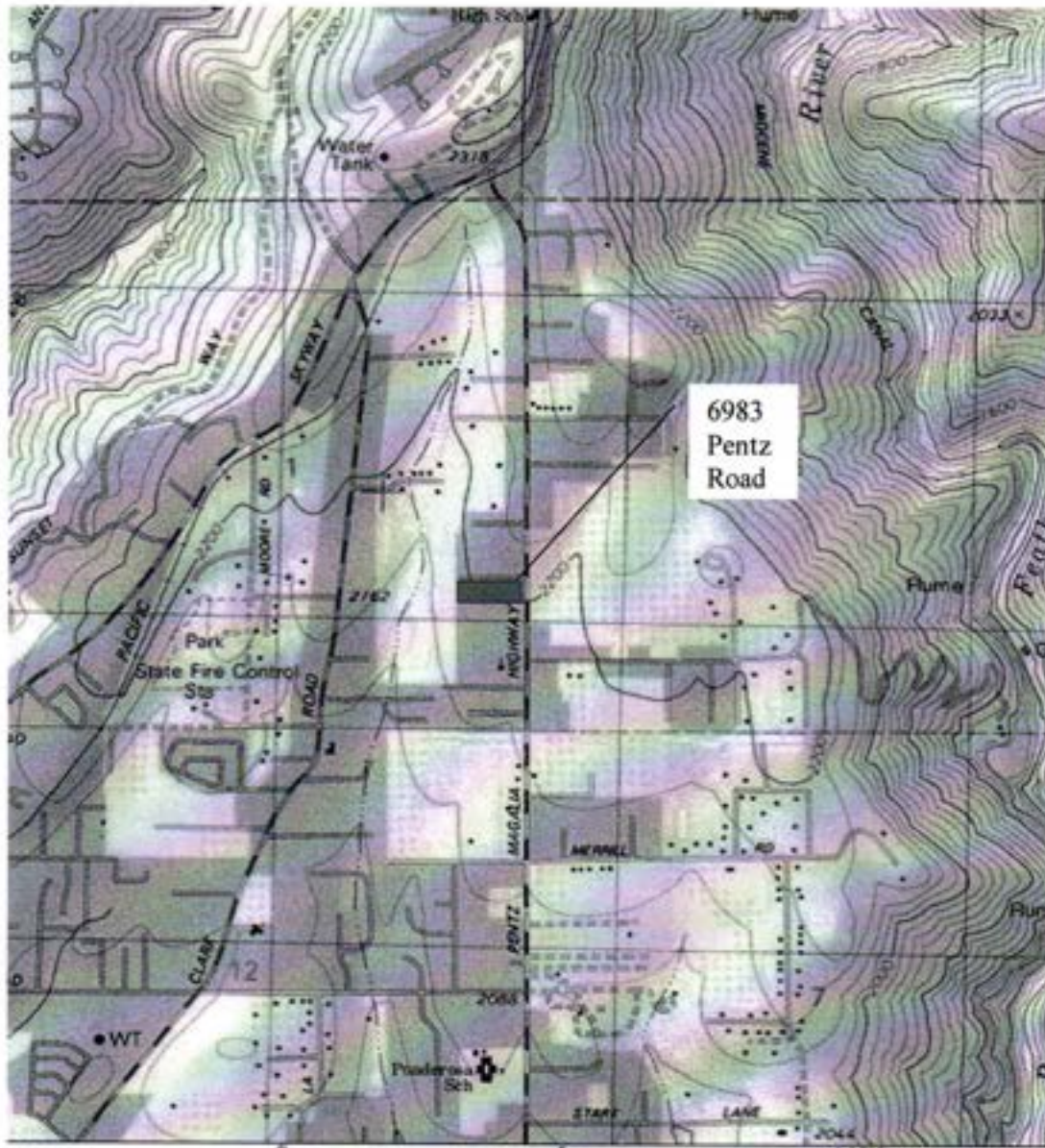
A handwritten signature in black ink that reads "Sean Jensen". The signature is written in a cursive style with a large, stylized "S" and "J".

Sean Jensen, M.A.

KEYWORDS *for Information Center Use:*

Inventory Survey, Paradise, Butte County, 1.66-acre, USGS Paradise East, California, 7.5' Series Quad, CEQA, No Historic Properties/Significant Historical Resources/Unique Archaeological Resources

PROJECT LOCATION and SURVEY AREA MAP
6983 Pentz Road Project, Town of Paradise, Butte County, California.
Portion of Section 1, T22N, R3E.
USGS Paradise East, California, 7.5' Quad.



MN
15°

0 1000 FEET 0 500 1000 METERS 1 MILE
Map created with TOPO!® ©2003 National Geographic (www.nationalgeographic.com/topo)

SEAN JENSEN
ARCHAEOLOGICAL CONSULTING

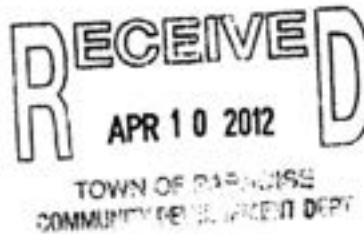
Northeast Center of the
California Historical Resources
Information System

BUTTE
GLENN
LASSEN
MODOC
PLUMAS
SHASTA

SIERRA
SISKIYOU
SUTTER
TEHAMA
TRINITY

123 West 6th Street, Suite 100
Chico CA 95928
Phone (530) 898-6256
neinfocntr@csuchico.edu

Town of Paradise
Public Works Department
5555 Skyway
Paradise, CA 95969
ATTN: Mr. Craig Baker



April 9, 2012

**I.C. File # O12-1
Project Review**

RE: PL12-00073, PL12-00074, PL12-00075/ Grand Sierra Lodge Residential
Retirement Community/APN: 050-082-023
T22N, R3E, Section 1
USGS Paradise East 7.5' and Paradise 15' quads
1.66 acres (Butte County)

Dear Mr. Baker,

In response to your request, a project review for the project cited above was conducted by examining the official maps and records for archaeological sites and surveys in Butte County.

RESULTS:

Prehistoric Resources: According to our records, no prehistoric sites have been recorded in the project area. However, two prehistoric sites have been recorded in the project vicinity, consisting of bedrock mortars and midden deposits. The project area is located in a region utilized by Konkow Maidu populations. Unrecorded prehistoric cultural resources may be located in the project area.

Historic Resources: According to our records, no historic sites have been recorded in the project area. However, six historic sites have been recorded in the project vicinity, consisting of a dry pond, an old road swale with axe cut blazes and stumps, earthen ditches, a mine tunnel (collapsed), and tailing piles. Unrecorded historic cultural resources may be located in the project area.

The USGS Paradise 15' (1953) quad map indicates that the project is located in Paradise, while, a church, Dry Creek, Little Butte Creek, Pentz Road, Skyway, Southern Pacific Railroad, roads, structures, and West Branch Feather River are located in the project vicinity. The project is located near the historic Butte Creek gold mining district. The Office of Historic Preservation lists 18 historic properties in and near the community Paradise in its Historic Property Data File for Butte County.

The town of Paradise was established in the 1860s by William Leonard and the construction of his sawmill. Not experiencing much growth until the turn of the century, lumber operations and the creation of the two powerhouses at Centerville and De Sabla brought residents to the area. The Diamond Match Company established a sawmill at Stirling City, and created the Butte County Railroad, purchased by Southern Pacific in 1907, to connect it with the main plant in Chico. Paradise was known as a leading center for the apple industry in the region.

Previous Archaeological Investigations: According to our records, the project area has not been previously surveyed for cultural resources by a professional archaeologist.

Literature Search: The official records and maps for archaeological sites and surveys in Butte County were reviewed. Also reviewed: National Register of Historic Places - Listed properties and Determined Eligible Properties (2011); California Register of Historical Resources (2011); California Points of Historical Interest (2011); California Inventory of Historic Resources (2011); California Historical Landmarks (2011); Handbook of North American Indians, Vol. 8, California (1978); Historic Spots in California (2002); Gold Districts of California (1970); Directory of Properties in the Historic Property Data File for Butte County (2011).

RECOMMENDATIONS:

Based upon the above information, the project appears to be located in an area considered to be sensitive for prehistoric and historical resources. Konkow Maidu populations used the local region for seasonal and permanent settlement, as well as for the gathering of roots and seeds, fishing, and hunting seasonal waterfowl and game. Most plants and animals had multiple uses, serving subsistence, religious, and material necessities. Historically, the region was utilized for farming, logging, mining, and water diversion operations.

Therefore, we recommend that a professional archaeologist be contacted to conduct a cultural resources survey of the project area. The project archaeologist will be able to offer

recommendations for protection or mitigation of any new cultural resources that may be encountered as a result of field survey. The project archaeologist should also contact the appropriate local Native American representatives for information regarding traditional cultural properties that may be located within project boundaries. This person may also want to consult historic General Land Office (GLO) plat maps in order to aid in the identification of unrecorded historic sites, which may be located within project boundaries. A list of qualified consultants is available online at <http://www.chrisinfo.org>.

During any phase of parcel development, if any potential prehistoric, protohistoric, and/or historic cultural resources are encountered, all work should cease in the area of the find pending an examination of the site and materials by the project archaeologist. This request to cease work in the area of a potential cultural resource find should be made a condition of project approval. This condition is intended for accidental discoveries made during construction activities, and does not replace the need for a Phase I investigation that assists planners and developers in meeting California Environmental Quality Act (CEQA) obligations during the Initial Study planning phase. The recommendation for a Phase I Cultural Resource Evaluation enables the lead agency to fulfill their obligations under CEQA to identify potentially significant historical resources. A Phase I investigation includes background research (record search), a field inspection, and report documenting the presence or absence of prehistoric or historic features, buildings, or archaeological sites. If potentially significant sites are identified during the Phase I investigation, further work may be necessary to determine site significance as well as appropriate protection or mitigation measures.

The fee for this project review is \$75.00 (1 hour Project Review Time @ \$75.00 per hour). Payment for this project review was received on March 30, 2012 (Check #2092). Thank you for your dedication in preserving Butte County and California's irreplaceable cultural heritage. Please feel free to contact us if you have any questions or need any further information or assistance.

Sincerely,


Jessica Sharp
NEIC Staff



NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 364
SACRAMENTO, CA 95814
(916) 653-8251
Fax (916) 657-5390



April 26, 2012

Sean Michael Jensen
Sean Jensen Archaeological Consulting
7053 Molokai Drive
Paradise, CA 95969

Sent by Fax: 530-876-8650
Number of Pages: 3

Re: 6983 Pentz Road Development Project, Butte County.

Dear Mr. Jensen:

A record search of the sacred land file has failed to indicate the presence of Native American cultural resources in the immediate project area. The absence of specific site information in the sacred lands file does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Enclosed is a list of Native Americans individuals/organizations who may have knowledge of cultural resources in the project area. The Commission makes no recommendation or preference of a single individual, or group over another. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated, if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe or group. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from any of these individuals or groups, please notify me. With your assistance we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact me at (916) 653-4038.

Sincerely,

A handwritten signature in black ink, appearing to read "Debbie Rilas-Treadway".

Debbie Rilas-Treadway
Environmental Specialist III

**Native American Contacts
Butte County
April 26, 2012**

April Wallace Moore
19630 Placer Hills Road
Colfax , CA 95713
530-637-4279

Nisenan - So Maidu
Konkow
Washoe

Enterprise Rancheria of Maidu Indians
Glenda Nelson, Chairperson
2133 Monta Vista Ave
Oroville , CA 95966
Info@enterpriserancheria.com
(530) 532-9214
(530) 532-1768 FAX

Berry Creek Rancheria of Maidu Indians
Cultural Resources Rep
#5 Tyme Way
Oroville , CA 95966
gmix@berrycreekrancheria.com
(530) 534-3859
(530) 534-1151 FAX

Tyme-Maidu

Greenville Rancheria of Maidu Indians
Kyle Self, Chairperson
PO Box 279
Greenville , CA 95947
ksself@greenvillierancheria.com
(530) 284-7990
(530) 284-6612 - Fax

Berry Creek Rancheria of Maidu Indians
Jim Edwards, Chairperson
#5 Tyme Way
Oroville , CA 95966
gmix@berrycreekrancheria.com
(530) 534-3859
(530) 534-1151 FAX

Tyme Maidu

KonKow Valley Band of Maidu
Patsy Seek, Chairperson
1706 Sweem Street
Oroville , CA 95965
(530) 533-1504
KonKow / Concow
Maidu

Butte Tribal Council
Ren Reynolds
1693 Mt. Ida Road
Oroville , CA 95966
(530) 589-1571

Maidu

Maidu Cultural and Development Group
Lorena Gorbet
PO Box 426
Greenville , CA 95947
(530) 284-1601

Maidu

Enterprise Rancheria of Maidu Indians
Art Angle, Vice Chairperson
2133 Monta Vista Avenue
Oroville , CA 95966
eranch@cncnet.com
(530) 532-9214
(530) 532-1768 FAX

Maidu

Maidu Nation
Clara LeCompte
P.O Box 204
Susanville , CA 96130

Maidu

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed 6983 Pentz Road Development Project, c. 1.66-acres, Butte County

**Native American Contacts
Butte County
April 26, 2012**

Mechoopda Indian Tribe of Chico Rancheria
Dennis E. Ramirez, Chairperson
125 Mission Ranch Blvd Mechoopda Maidu
Chico , CA 95926 Concow
dramirez@mechoopda-nsn.gov
(530) 899-8922 ext 215
(530) 899-8517 - Fax

Mechoopda Indian Tribe of Chico Rancheria
Mike DeSpain, Director - OEPP
125 Mission Ranch Blvd Mechoopda Maidu
Chico , CA 95926 Concow
mdespain@mechoopda-nsn.gov
(530) 899-8922 ext 219
(530) 899-8517 - Fax

Mooretown Rancheria of Maidu Indians
Gary Archuleta, Chairperson
#1 Alverda Drive Maidu
Oroville , CA 95966 KonKow / Concow
frontdesk@mooretown.org
(530) 533-3625
(530) 533-3680 Fax

Mooretown Rancheria of Maidu Indians
James Sanders, Tribal Administrator
#1 Alverda Drive Maidu
Oroville , CA 95966 KonKow/Concow
(530) 533-3625
(530) 533-3680 FAX

T si-Akim Maidu
Eileen Moon, Vice Chairperson
1239 East Main St. Maidu
Grass Valley , CA 95945
(530) 477-0711

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed 6983 Pentz Road Development Project, c. 1.66-acres, Butte County

Baker, Craig

From: Bill Martin [wlmconstructioninc@gmail.com]
Sent: Wednesday, May 02, 2012 10:36 AM
To: Baker, Craig
Cc: Sean Jensen; Jarrod Holliday
Subject: Grand Sierra Lodge CUP
Attachments: archaeological pentz.pdf

Hello Craig! I submitted a hard copy of the Archaeological report by Sean Jensen this morning. Debbie said she'd put it on your desk, and I promised I'd email you a copy. Please see attached. The drainage report by Rancho Engineering will be ready next week, perhaps by Monday. We're looking forward to working with you. Let us know if you need anything else.

Thanks,

Ann
Ann Martin, CFO
WLM Construction



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

April 13, 2012

TO: Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

FROM: Craig Baker, Community Development Director

SUBJECT: Martin Use Permit (PL12-00073), General Plan Amendment/Rezone (PL12-00075) and Tree Felling Permit (PL12-00074) Applications; AP No. 050-082-023

Section 65943 of the California Government Code requires that no later than 30 calendar days after receipt of the above-noted application, the Town of Paradise shall determine in writing whether such application is complete or incomplete and transmit such determination to the applicant. In the event that your application is determined not to be complete, the Town of Paradise shall specify those parts of your application which are incomplete and specify the manner in which they can be made complete.

Please note that the following determination(s) have been made:

Your applications are complete.

Your application is incomplete and the following information is requested.

1. Submit an engineered drainage analysis that meets the requirements of the Town Engineer. Your engineer should analyze the point of connection to the storm drain system and check pipe/channel capacity out to the discharge point. If any point downstream is under capacity, then consider detention to mitigate the increased drainage flows.

NOTE: COMPLETE APPLICATIONS WILL BE SCHEDULED FOR DECISION ACTION PENDING COMPLETION OF ENVIRONMENTAL REVIEW AND STAFF RECOMMENDATIONS. YOU WILL RECEIVE FURTHER NOTICE AT THAT TIME. ENCLOSED FOR YOUR REVIEW ARE COPIES OF COMMENTS RECEIVED TO DATE FROM VARIOUS TOWN DEPARTMENTS AND OTHER AGENCIES REGARDING YOUR PROPOSED PROJECT.

cc: Jay and Joyce Powell, 1624 S. Court St., Visalia, CA 93277 (w/out encl.)
Rancho Engineering, 5550 Skyway, Paradise, CA 95969 (w/out encl.)
Ken Skillman, Town Engineer (w/out encl.)

Northeast Center of the
California Historical Resources
Information System

BUTTE
GLENN
LASSEN
MODOC
PLUMAS
SHASTA

SIERRA
SISKIYOU
SUTTER
TEHAMA
TRINITY

123 West 6th Street, Suite 100
Chico CA 95928
Phone (530) 898-6256
neinfoctr@csuchico.edu

Town of Paradise
Public Works Department
5555 Skyway
Paradise, CA 95969
ATTN: Mr. Craig Baker



April 9, 2012

**I.C. File # O12-1
Project Review**

RE: PL12-00073, PL12-00074, PL12-00075/ Grand Sierra Lodge Residential
Retirement Community/APN: 050-082-023
T22N, R3E, Section 1
USGS Paradise East 7.5' and Paradise 15' quads
1.66 acres (Butte County)

Dear Mr. Baker,

In response to your request, a project review for the project cited above was conducted by examining the official maps and records for archaeological sites and surveys in Butte County.

RESULTS:

Prehistoric Resources: According to our records, no prehistoric sites have been recorded in the project area. However, two prehistoric sites have been recorded in the project vicinity, consisting of bedrock mortars and midden deposits. The project area is located in a region utilized by Konkow Maidu populations. Unrecorded prehistoric cultural resources may be located in the project area.



Page 1

Historic Resources: According to our records, no historic sites have been recorded in the project area. However, six historic sites have been recorded in the project vicinity, consisting of a dry pond, an old road swale with axe cut blazes and stumps, earthen ditches, a mine tunnel (collapsed), and tailing piles. Unrecorded historic cultural resources may be located in the project area.

The USGS Paradise 15' (1953) quad map indicates that the project is located in Paradise, while, a church, Dry Creek, Little Butte Creek, Pentz Road, Skyway, Southern Pacific Railroad, roads, structures, and West Branch Feather River are located in the project vicinity. The project is located near the historic Butte Creek gold mining district. The Office of Historic Preservation lists 18 historic properties in and near the community Paradise in its Historic Property Data File for Butte County.

The town of Paradise was established in the 1860s by William Leonard and the construction of his sawmill. Not experiencing much growth until the turn of the century, lumber operations and the creation of the two powerhouses at Centerville and De Sabla brought residents to the area. The Diamond Match Company established a sawmill at Stirling City, and created the Butte County Railroad, purchased by Southern Pacific in 1907, to connect it with the main plant in Chico. Paradise was known as a leading center for the apple industry in the region.

Previous Archaeological Investigations: According to our records, the project area has not been previously surveyed for cultural resources by a professional archaeologist.

Literature Search: The official records and maps for archaeological sites and surveys in Butte County were reviewed. Also reviewed: **National Register of Historic Places - Listed properties and Determined Eligible Properties** (2011); **California Register of Historical Resources** (2011); **California Points of Historical Interest** (2011); **California Inventory of Historical Resources** (2011); **California Historical Landmarks** (2011); **Handbook of North American Indians, Vol. 8, California** (1978); **Historic Spots in California** (2002); **Gold Districts of California** (1970); **Directory of Properties in the Historic Property Data File for Butte County** (2011).

RECOMMENDATIONS:

Based upon the above information, the project appears to be located in an area considered to be sensitive for prehistoric and historical resources. Konkow Maidu populations used the local region for seasonal and permanent settlement, as well as for the gathering of roots and seeds, fishing, and hunting seasonal waterfowl and game. Most plants and animals had multiple uses, serving subsistence, religious, and material necessities. Historically, the region was utilized for farming, logging, mining, and water diversion operations.

Therefore, we recommend that a professional archaeologist be contacted to conduct a cultural resources survey of the project area. The project archaeologist will be able to offer

recommendations for protection or mitigation of any new cultural resources that may be encountered as a result of field survey. The project archaeologist should also contact the appropriate local Native American representatives for information regarding traditional cultural properties that may be located within project boundaries. This person may also want to consult historic General Land Office (GLO) plat maps in order to aid in the identification of unrecorded historic sites, which may be located within project boundaries. A list of qualified consultants is available online at <http://www.chrisinfo.org>.

During any phase of parcel development, if any potential prehistoric, protohistoric, and/or historic cultural resources are encountered, all work should cease in the area of the find pending an examination of the site and materials by the project archaeologist. This request to cease work in the area of a potential cultural resource find should be made a condition of project approval. This condition is intended for accidental discoveries made during construction activities, and does not replace the need for a Phase I investigation that assists planners and developers in meeting California Environmental Quality Act (CEQA) obligations during the Initial Study planning phase. The recommendation for a Phase I Cultural Resource Evaluation enables the lead agency to fulfill their obligations under CEQA to identify potentially significant historical resources. A Phase I investigation includes background research (record search), a field inspection, and report documenting the presence or absence of prehistoric or historic features, buildings, or archaeological sites. If potentially significant sites are identified during the Phase I investigation, further work may be necessary to determine site significance as well as appropriate protection or mitigation measures.

The fee for this project review is \$75.00 (1 hour Project Review Time @ \$75.00 per hour). Payment for this project review was received on March 30, 2012 (Check #2092). Thank you for your dedication in preserving Butte County and California's irreplaceable cultural heritage. Please feel free to contact us if you have any questions or need any further information or assistance.

Sincerely,



Jessica Sharp
NEIC Staff

TOV OF PARADISE PROJECT CONTI L SHEET

PROJECT # PL12-0073 AP# 050-082-023 RECEIPT NO. 8148 \$ 1,180.48

PROJECT/APPLICANT NAME: BILL + ANN MARTIN (GRAND SIERRA LODGE)

CONTACT PERSON: BILL MARTIN

PHONE: 520-5170 FAX: _____ EMAIL: _____

APPLICANT ADDRESS: 5806 ACORN RIDGE DR., PARADISE, CA 95969

OWNER NAME: JAY AND JOYCE POWELL PHONE: _____

OWNER ADDRESS: 1624 S. COURT ST., VISALIA, CA 93277

ENGINEER NAME: RANCHO ENGINEERING PHONE: 877-3700

ENGINEER ADDRESS: 5550 SKYWAY, PARADISE, CA 95969

DATE APP. REC'D 3/21/12 DATE DEEMED COMPLETE: _____ INCOMPLETE: 4/13/12

DRR'S	SENT	RECD	SENT	RECD	DRR'S	SENT	RECD	SENT	RECD
Eng	<u>3/22</u>	<u>4/5</u>	_____	_____	SBC	_____	_____	_____	_____
Onsite	<u>3/22</u>	<u>3/26</u>	_____	_____	PUSD	_____	_____	_____	_____
CSS	<u>3/22</u>	_____	_____	_____	Fish & Game	_____	_____	_____	_____
Fire	_____	_____	_____	_____	Cal Trans	_____	_____	_____	_____
Police	<u>3/22</u>	<u>3/27</u>	_____	_____	CDD/PW Coord	_____	_____	_____	_____
PID	<u>3/22</u>	<u>3/22</u>	_____	_____	Recreation	_____	_____	_____	_____
CSUC	_____	_____	_____	_____	Bus./Housing	<u>3/22</u>	_____	_____	_____
PG&E	<u>3/22</u>	_____	_____	_____	BCAG	_____	_____	_____	_____
NRWS	<u>3/22</u>	<u>3/27</u>	_____	_____	_____	_____	_____	_____	_____
BCAQMD	_____	_____	_____	_____	_____	_____	_____	_____	_____

DATE NOTICE PUBLISHED: 6/2/12

DATE PROPERTY OWNERS NOTIFIED: 6/26/12

HEARING BODY: PC PD TC

DATE AGENDA PACKETS SENT: _____

NEG. DEC. MAILED: _____

ENVIRONMENTAL EIR _____ NEGATIVE DEC. MITIGATED NEGATIVE _____
 DETERMINATION: EXEMPT _____ SECTION _____ CLASS _____

DECISION PUBLIC HEARING/ACTION: DATE: 6/19/12 ACTION: CONTINUED
 DATE: 7/12/12 ACTION: Comp. Approval

TO TOWN COUNCIL: DATE: _____ ACTION: _____
 DATE: _____ ACTION: _____

COMMENTS: _____

EXPIRATION DATE: _____ STAFF PERSON: _____

DEPARTMENTAL USE ONLY:

Receipt No. 8148 Fee 1180.48
Project No. PL12-00073

**TOWN OF PARADISE
APPLICATION FOR CONDITIONAL USE PERMIT**

Applicant BILL MARTIN, WLM CONSTRUCTION INC. Phone 520-5170

Applicant's Mailing Address 5806 ACORN RIDGE, PARADISE, CA 95969

Applicant's email address wlmconstructioninc@gmail.com Fax -

Applicant's Interest in Property (Owner, Lessee*, Other*) AGENT FOR THE TRUST

*If applicant is NOT the property owner, the owner's signature or owner-signed letter of authorization MUST accompany this application.

Owner's Name JAY & JOYCE POWELL Phone _____

Owner's Mailing Address 1624 S. COURT ST. VISALIA, CA 93277

Property Address 6983 FENTZ RD. Parcel Size _____

Engineer (Name, Address) RANCHO ENGINEERING

Engineer Phone 877-3700 Fax 877-3700 Email ranchoengineering@hotmail.com

AP Number(s) 050-082-023 Zone RR 2/3 Existing Use UNIMPROVED

Detailed project description: (attach additional sheets if necessary) SEE ATTACHED DESCRIPTION.

Purpose of project: SENIOR RETIREMENT FACILITY

Radial distance to the nearest billboard N/A

Sq. ft. of proposed structure/project 21,285 Approx. no. yards of cut/fill 2,800 CUT (BALANCED)

Percentage increase in area of structures on site (example: A 250 sq. ft. addition to a 1,000 sq. ft. building = 25%) 100%

Distance to nearest fire hydrant 92' Distance from centerline 93'

Days/hours of operation: Days 7 Hours 24 Proposed no. of employees MAX 5

Residential Density - Max. occupancy 60 Max. height of proposed structure/project 29'

Describe exterior design and exterior finish (Attach additional sheet(s) if necessary.): SEE ATTACHED COLOR ELEVATIONS.

Method of sewage disposal? ONSITE, ADVANCED TREATMENT.

Is the proposed project site considered sensitive for archaeological resources? Yes No (Please consult staff.)

NOTE: IF YES, PLEASE SUBMIT PAYMENT OF FEES TO "NORTHEASTERN INFORMATION CENTER" FOR ARCHAEOLOGICAL RECORDS INVENTORY SEARCH.

I HEREBY DECLARE UNDER PENALTY OF PERJURY THAT THE ABOVE STATEMENTS AND ATTACHED PLOT PLAN ARE TRUE, ACCURATE, COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant's Signature [Signature] Date 2-10-12

Property Owner Signature _____ Date _____
(If applicable)

PLEASE ALLOW 6-8 WEEKS FOR PROCESSING; LONGER IF THE PROJECT IS SUBJECT TO ENVIRONMENTAL REVIEW.

NOTE: By signing this application form, the applicant is indicating that the project site is not included on any state or local list of hazardous waste sites compiled pursuant to California Government Code Section 65962.5, effective July 1, 1987.

RECEIPT

PARADISE
PARADISE
5555 SKYWAY
PARADISE

Application: PL12-00073
Application Type: Planning/Entitlement/NA/NA
Address: 6983 PENTZ RD , PARADISE, CA 95969

Receipt No.	8148					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Check	2077	\$1,180.48	03/21/2012	SHARTMAN		050-082-023. PAID BY WLM CNST.

Owner Info.: POWELL JAY & JOYCE FAMILY TRUST
C/O POWELL JAY & JOYCE TRUSTEES
VISALIA, CA 93277

Work Description: USE PMT CLASS B - ASSISTED LIVING FACILITY

TOWN OF PARADISE

Date: June 25, 2012

**NOTICE OF REVISED ENVIRONMENTAL DOCUMENT AVAILABILITY AND PUBLIC HEARING
PARADISE PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN by the Paradise Planning Commission that a public hearing will be held on Tuesday, July 17, 2012 at 6:00 p.m. in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following project:

Project Title: Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications

Project Location: The project site is located at 6983 Pentz Road, situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel Nos. 050-082-023 and 050-082-105 and is located within the southeast ¼ of Section 1, T22N, R3E, MDB&M.

Description of Project: The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.

Address where document

may be reviewed:

Town of Paradise Town Hall
Development Services Department
5555 Skyway, Paradise, CA 95969

Public review period:

From June 26, 2012
To July 16, 2012 at 5:00 p.m.

The environmental document for the project (Initial Study and proposed negative declaration) and project file are available for public inspection at the Community Development Department, Town Hall. Any person wishing to respond to the proposed environmental document may file written responses no later than **July 16, 2012, at 5:00 p.m.** with the Paradise Development Services Department.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Development Services Department, (530) 872-6291 ext. 111.

CRAIG BAKER
Planning Director

Publish: 6/30/12



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931
TELEPHONE (530) 872-6291 FAX (530) 877-5059
www.townofparadise.com

AFFIDAVIT OF MAILING NOTICE

I, the undersigned Assistant Town Clerk of the Town of Paradise, California, do hereby certify that a copy of the Notice of Public Hearing before the Planning Commission of the Town of Paradise, in conjunction with the Vicinity Map (RE:) **Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications**, 6983 Pentz Road further identified by Assessor Parcel Nos. 050-082-023 and 050-082-105, The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit, was mailed to each and every person set forth on the attached list on the 26th day of June, 2012. A copy of said Notice is attached hereto.

Said mailing was completed by placing a copy of said Notice in a sealed envelope, with postage prepaid, and depositing same in the U.S. Mail at 5555 Skyway, Paradise California.

I declare under penalty of perjury, under the Laws of the State of California, that the foregoing is true and correct.

Executed at Paradise, California this 26th day of June, 2012.

Dina A. Volenski, Assistant Town Clerk



TOWN OF PARADISE

Date: June 25, 2012

**NOTICE OF REVISED ENVIRONMENTAL DOCUMENT AVAILABILITY AND PUBLIC HEARING
PARADISE PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN by the Paradise Planning Commission that a public hearing will be held on Tuesday, July 17, 2012 at 6:00 p.m. in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following project:

Project Title: Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications

Project Location: The project site is located at 6983 Pentz Road, situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel Nos. 050-082-023 and 050-082-105 and is located within the southeast ¼ of Section 1, T22N, R3E, MDB&M.

Description of Project: The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.

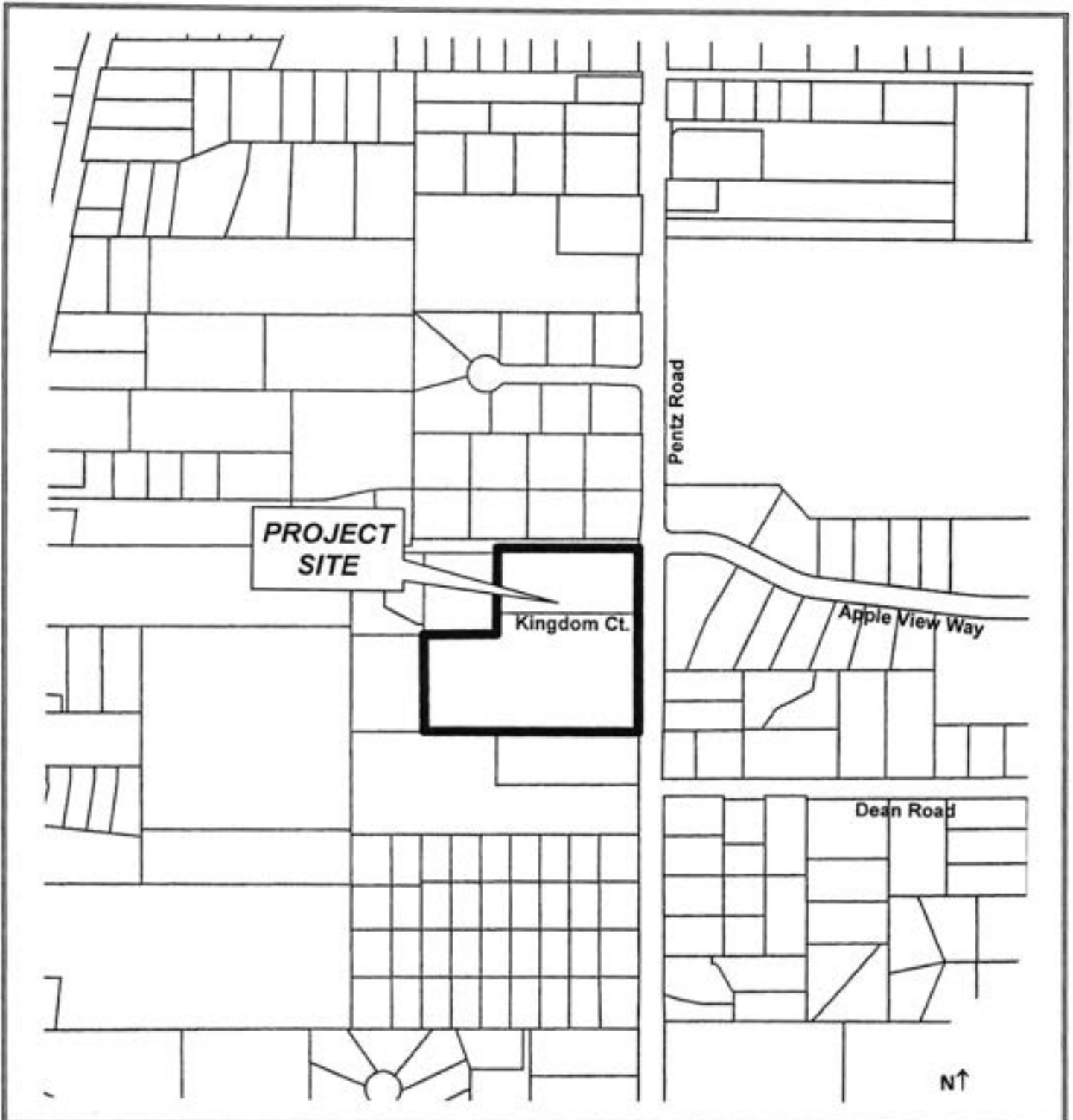
Address where document may be reviewed: Town of Paradise Town Hall
Development Services Department
5555 Skyway, Paradise, CA 95969

Public review period: From June 26, 2012
To July 16, 2012 at 5:00 p.m.

The environmental document for the project (initial Study and proposed negative declaration) and project file are available for public inspection at the Community Development Department, Town Hall. Any person wishing to respond to the proposed environmental document may file written responses no later than **July 16, 2012, at 5:00 p.m.** with the Paradise Development Services Department.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Development Services Department, (530) 872-6291 ext. 111.

CRAIG BAKER
Planning Director



APPLICANT: BILL AND ANN MARTIN		6983 Pentz Road
OWNER: JAY AND JOYCE POWELL		
REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.		
Zoning: RR-2/3	GENERAL PLAN: RR	FILE NOS. PL12-00073, PL12-00074, PL12-00075
ASSESSOR PARELS: 050-082-023, 050-082-105		HEARING DATE: 7/17/12

052-023

Sierra
Loose



050-052-056-000
BUJOR GREG & MELISSA
1664 EAGLET LN
PARADISE, CA 95969

050-052-044-000
HUGHES ROBERT A & SHIRLEY R
REV LIVING TRUST
1655 EAGLET WAY
PARADISE, CA 95969

050-052-035-000
MANSON RICHARD R III & JENNIFER
L
1693 MULBERRY LN
PARADISE, CA 95969

050-052-036-000
HUNTER TRUST
4610 WATERBURY DR
CLARSTON, MI 48348

050-052-048-000
VANDUZER VERNE & BETTY F
1675 MULBERRY
PARADISE, CA 95969

050-052-046-000
DICKSON RAY FAMILY REVOCABLE
TRUST
2831 ORTHELLO WAY
SANTA CLARA, CA 95051

050-052-051-000
ELDER CHARLES A & BARBARA
DUNIVAN
1692 MULBERRY LN
PARADISE, CA 95969

050-052-050-000
GADBURY FAMILY TRUST
1684 MULBERRY LN
PARADISE, CA 95969

050-110-029-000
NOBLE FAMILY TRUST ESTATE
9272 TURNER LN
DURHAM, CA 95938

050-052-049-000
KLAVES FAMILY TRUST
1667 MULBERRY LANE
PARADISE, CA 95969

050-430-008-000
WALL JIM & SHIRLEY FAMILY
TRUST
1801 APPLEVIEW WAY
PARADISE, CA 95969

050-052-047-000
OSTRANDER SANDRA F TRUST
1676 MULBERRY LN
PARADISE, CA 95969

050-082-023-000
POWELL JAY & JOYCE FAMILY
TRUST
1624 S COURT ST
VISALIA, CA 93277

050-082-102-000
SELBERG JON
PO BOX 371
DOBBINS, CA 95935

050-082-104-000
MCALEXANDER ROBERT &
CLAUDEAN
7006 CLARK RD
PARADISE, CA 95969

050-430-001-000
HOOPER FAMILY TRUST
1800 APPLE VIEW WAY
PARADISE, CA 95969

050-082-093-000
SELBERG JON A
PO BOX 371
DOBBINS, CA 95935

050-430-002-000
WESTRA EARL H & FRANCES
FAMILY TRUST
1806 APPLE VIEW WY
PARADISE, CA 95969

050-082-105-000
PARADISE RIDGE SOUTHERN
BAPTIST CHURCH
6975 PENTZ RD
PARADISE, CA 95969

050-082-095-000
FREDERICK GAIL T REVOCABLE
LIVING TRUST
1694 KINGDOM CT
PARADISE, CA 95969

050-120-004-000
HEGENBART PAUL A & JULIE R
6962 PENTZ RD
PARADISE, CA 95969

050-120-003-000
HUSS RENEE M
6216 CANNON CT
MAGALIA, CA 95954

050-082-103-000
SEELEY TIMOTHY C & ANNE M ETAL
4819 FOX GLOVE CT
SANTA ROSA, CA 95405

Bill & Ann Martin
5806 Acorn Ridge Dr.
Paradise, CA 95969

Rancho Engineering
5550 Skyway
Paradise, CA 95969



050-082-088-000
RIESS KAZUKO
3353 CONEJO DR
SAN BERNARDINO, CA 92404

050-082-089-000
REISCHMAN JOHN D ETAL
P O BOX 1744
PARADISE, CA 95967

050-082-087-000
GARCIA MARTIN & TELMA
5 STERLING CT
CHICO, CA 95928

050-082-047-000
HEWSTON LES & ENID
1631 TIMBER LN
PARADISE, CA 95969

050-082-049-000
GRANADOS HAROLD & MARLENE
LIVING TRUST
22385 GERALDINE CIRCLE
SONORA, CA 95370

050-052-057-000
DORSEY PATRICIA A
1658 EAGLET WAY
PARADISE, CA 95969

050-052-056-000
BUJOR GREG & MELISSA
1664 EAGLET LN
PARADISE, CA 95969

050-052-046-000
DICKSON RAY FAMILY REVOCABLE
TRUST
2831 ORTHELLO WAY
SANTA CLARA, CA 95051

050-052-051-000
ELDER CHARLES A & BARBARA
DUNIVAN
1692 MULBERRY LN
PARADISE, CA 95969

050-052-050-000
GADBURY FAMILY TRUST
1684 MULBERRY LN
PARADISE, CA 95969

050-430-008-000
WALL JIM & SHIRLEY FAMILY
TRUST
1801 APPLEVIEW WAY
PARADISE, CA 95969

050-052-047-000
OSTRANDER SANDRA F TRUST
1676 MULBERRY LN
PARADISE, CA 95969

050-082-023-000
POWELL JAY & JOYCE FAMILY
TRUST
1624 S COURT ST
VISALIA, CA 93277

050-082-102-000
SELBERG JON
PO BOX 371
DOBBINS, CA 95935

050-082-104-000
MCALEXANDER ROBERT &
CLAUDEAN
7006 CLARK RD
PARADISE, CA 95969

050-430-001-000
HOOPER FAMILY TRUST
1800 APPLE VIEW WAY
PARADISE, CA 95969

050-082-093-000
SELBERG JON A
PO BOX 371
DOBBINS, CA 95935

050-430-002-000
WESTRA EARL H & FRANCES
FAMILY TRUST
1806 APPLE VIEW WY
PARADISE, CA 95969

050-430-003-000
DAY RUSSELL A & D SHARON TRUST
1812 APPLE VIEW WAY
PARADISE, CA 95969

050-082-105-000
PARADISE RIDGE SOUTHERN
BAPTIST CHURCH
6975 PENTZ RD
PARADISE, CA 95969

050-082-095-000
FREDERICK GAIL T REVOCABLE
LIVING TRUST
1694 KINGDOM CT
PARADISE, CA 95969

050-120-004-000
HEGENBART PAUL A & JULIE R
6962 PENTZ RD
PARADISE, CA 95969

050-120-003-000
HUSS RENEE M
6216 CANNON CT
MAGALIA, CA 95954

050-120-126-000
CHRISTIANSON ROY R
6720 BARNABY CT
PARADISE, CA 95969

050-120-124-000
BASS MARVIN K & CONNIE L
1763 DEAN RD
PARADISE, CA 95969

050-082-017-000
COVERT REVOCABLE INTER VIVOS
TRUST
6947 PENTZ RD
PARADISE, CA 95969

050-082-018-000
CHRISTIAN CHURCH OF PARADISE
6933 PENTZ RD
PARADISE, CA 95969

050-120-050-000
ENGLANT LISA A
6930 PENTZ RD
PARADISE, CA 95969

050-082-058-000
ANDERSON CARL D & GRETCHEN L
1651 TIMBER LANE
PARADISE, CA 95969

050-082-059-000
SMITH RUSSELL W & EVELYN M REV
LIVING TR
1641 TIMBER LANE
PARADISE, CA 95969

050-082-048-000
HARRIS DAVID
1611 TIMBER LN
PARADISE, CA 95969

050-082-103-000
SEELEY TIMOTHY C & ANNE M ETAL
4819 FOX GLOVE CT
SANTA ROSA, CA 95405

050-082-107-000
FREDERICK GAIL T REVOCABLE
LIVING TRUST
1314 MILTON AVE
WALNUT CREEK, CA 94596

050-120-046-000
JONES REVOCABLE LIVING TRUST
6016 CYPRESS POINT DR
BAKERSFIELD, CA 93309

050-120-047-000
SUIHKONEN OWEN V & PHYLLIS K
6942 PENTZ RD
PARADISE, CA 95969

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Paradise Irrigation District
P.O. Box 2409
Paradise, CA 95967-2409

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
5550 Skyway
Paradise, CA 95969

Paradise Board of Realtors
6178 Center Street
Paradise, CA 95969

Paradise Downtown Business
Association
c/o Fir Street Gallery/Pam Funk
6256 Skyway
Paradise, CA 95969

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
116 W. 2nd Street #3
Chico, CA 95928

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

Paradise Irrigation Dist.
6332 Clark Road
Paradise, CA 95969

Go to paragraph – Insert gpt
Type first line – Change P back to 0

APN	Owner	Owner_Add	CityStZIP
050-052-057-000	DORSEY PATRICIA A	1658 EAGLET WAY	PARADISE CA 95969
050-052-056-000	BUJOR GREG & MELISSA	1664 EAGLET LN	PARADISE CA 95969
050-052-046-000	DICKSON RAY FAMILY REVOCABLE TRUST	2831 ORTHELLO WAY	SANTA CLARA CA 95051
050-052-051-000	ELDER CHARLES A & BARBARA DUNIVAN	1692 MULBERRY LN	PARADISE CA 95969
050-052-050-000	GADBURY FAMILY TRUST	1684 MULBERRY LN	PARADISE CA 95969
050-430-008-000	WALL JIM & SHIRLEY FAMILY TRUST	1801 APPLEVIEW WAY	PARADISE CA 95969
050-052-047-000	OSTRANDER SANDRA F TRUST	1676 MULBERRY LN	PARADISE CA 95969
050-082-023-000	POWELL JAY & JOYCE FAMILY TRUST	1624 S COURT ST	VISALIA CA 93277
050-082-102-000	SELBERG JON	PO BOX 371	DOBBINS CA 95935
050-082-104-000	MCALEXANDER ROBERT & CLAUDEAN	7006 CLARK RD	PARADISE CA 95969
050-430-001-000	HOOPER FAMILY TRUST	1800 APPLE VIEW WAY	PARADISE CA 95969
050-082-093-000	SELBERG JON A	PO BOX 371	DOBBINS CA 95935
050-430-002-000	WESTRA EARL H & FRANCES FAMILY TRUST	1806 APPLE VIEW WY	PARADISE CA 95969
050-430-003-000	DAY RUSSELL A & D SHARON TRUST	1812 APPLE VIEW WAY	PARADISE CA 95969
050-082-105-000	PARADISE RIDGE SOUTHERN BAPTIST CHURCH	6975 PENTZ RD	PARADISE CA 95969
050-082-095-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1694 KINGDOM CT	PARADISE CA 95969
050-120-004-000	HEGENBART PAUL A & JULIE R	6962 PENTZ RD	PARADISE CA 95969
050-120-003-000	HUSS RENEE M	6216 CANNON CT	MAGALIA CA 95954
050-120-126-000	CHRISTIANSOY ROY R	6720 BARNABY CT	PARADISE CA 95969
050-120-124-000	BASS MARVIN K & CONNIE L	1763 DEAN RD	PARADISE CA 95969
050-082-017-000	COVERT REVOCABLE INTER VIVOS TRUST	6947 PENTZ RD	PARADISE CA 95969
050-082-018-000	CHRISTIAN CHURCH OF PARADISE	6933 PENTZ RD	PARADISE CA 95969
050-120-050-000	ENGLANT LISA A	6930 PENTZ RD	PARADISE CA 95969
050-082-058-000	ANDERSON CARL D & GRETCHEN L	1651 TIMBER LANE	PARADISE CA 95969
050-082-059-000	SMITH RUSSELL W & EVELYN M REV LIVING TR	1641 TIMBER LANE	PARADISE CA 95969
050-082-048-000	HARRIS DAVID	1611 TIMBER LN	PARADISE CA 95969
050-082-103-000	SEELEY TIMOTHY C & ANNE M ETAL	4819 FOX GLOVE CT	SANTA ROSA CA 95405
050-082-107-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1314 MILTON AVE	WALNUT CREEK CA 94596
050-120-046-000	JONES REVOCABLE LIVING TRUST	6016 CYPRESS POINT DR	BAKERSFIELD CA 93309
050-120-047-000	SUIHKONEN OWEN V & PHYLLIS K	6942 PENTZ RD	PARADISE CA 95969
050-082-088-000	RIESS KAZUKO	3353 CONEJO DR	SAN BERNARDINO CA 92404
050-082-089-000	REISCHMAN JOHN D ETAL	P O BOX 1744	PARADISE CA 95967
050-082-087-000	GARCIA MARTIN & TELMA	5 STERLING CT	CHICO CA 95928

050-082-047-000
050-082-049-000

HEWSTON LES & ENID
GRANADOS HAROLD & MARLENE LIVING TRUST

1631 TIMBER LN
22385 GERALDINE CIRCLE

PARADISE CA 95969
SONORA CA 95370

APN	Owner	Owner_Add	CityStZIP
050-052-056-000	BUJOR GREG & MELISSA	1664 EAGLET LN	PARADISE CA 95969
050-052-044-000	HUGHES ROBERT A & SHIRLEY R REV LIVING TRUST	1655 EAGLET WAY	PARADISE CA 95969
050-052-035-000	MANSON RICHARD R III & JENNIFER L	1693 MULBERRY LN	PARADISE CA 95969
050-052-036-000	HUNTER TRUST	4610 WATERBURY DR	CLARSTON MI 48348
050-052-048-000	VANDUZER VERNE & BETTY F	1675 MULBERRY	PARADISE CA 95969
050-052-046-000	DICKSON RAY FAMILY REVOCABLE TRUST	2831 ORTHELLO WAY	SANTA CLARA CA 95051
050-052-051-000	ELDER CHARLES A & BARBARA DUNIVAN	1692 MULBERRY LN	PARADISE CA 95969
050-052-050-000	GADBURY FAMILY TRUST	1684 MULBERRY LN	PARADISE CA 95969
050-110-029-000	NOBLE FAMILY TRUST ESTATE	9272 TURNER LN	DURHAM CA 95938
050-052-049-000	KLAVES FAMILY TRUST	1667 MULBERRY LANE	PARADISE CA 95969
050-430-008-000	WALL JIM & SHIRLEY FAMILY TRUST	1801 APPLEVIEW WAY	PARADISE CA 95969
050-052-047-000	OSTRANDER SANDRA F TRUST	1676 MULBERRY LN	PARADISE CA 95969
050-082-023-000	POWELL JAY & JOYCE FAMILY TRUST	1624 S COURT ST	VISALIA CA 93277
050-082-102-000	SELBERG JON	PO BOX 371	DOBBINS CA 95935
050-082-104-000	MCALEXANDER ROBERT & CLAUDEAN	7006 CLARK RD	PARADISE CA 95969
050-430-001-000	HOOPER FAMILY TRUST	1800 APPLE VIEW WAY	PARADISE CA 95969
050-082-093-000	SELBERG JON A	PO BOX 371	DOBBINS CA 95935
050-430-002-000	WESTRA EARL H & FRANCES FAMILY TRUST	1806 APPLE VIEW WY	PARADISE CA 95969
050-082-105-000	PARADISE RIDGE SOUTHERN BAPTIST CHURCH	6975 PENTZ RD	PARADISE CA 95969
050-082-095-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1694 KINGDOM CT	PARADISE CA 95969
050-120-004-000	HEGENBART PAUL A & JULIE R	6962 PENTZ RD	PARADISE CA 95969
050-120-003-000	HUSS RENEE M	6216 CANNON CT	MAGALIA CA 95954
050-082-103-000	SEELEY TIMOTHY C & ANNE M ETAL	4819 FOX GLOVE CT	SANTA ROSA CA 95405

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1825 NORTH COVILL
VIA VALLEY CATHEDRAL

TEL: (916) 941-1111

FAX: (916) 941-1100

May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL
PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, U.S.
NUMBER 055-082-021-000.

WILLIAM MARTIN AND/OR ANN MARTIN ARE AGENTS OF THE
TRUST IN ALL MATTERS CONCERNING THE SAID REAL PROPERTY,
INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR
PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE,
CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

TOWN OF PARADISE

Date: May 29, 2012

**NOTICE OF ENVIRONMENTAL DOCUMENT AVAILABILITY
AND PUBLIC HEARING
PARADISE PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN by the Paradise Planning Commission that a public hearing will be held on Tuesday, June 19, 2012 at 6:00 p.m. in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following project:

Project Title: Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications

Project Location: The project site is located at 6983 Pentz Road, situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel No. 050-082-023 and is located within the southeast ¼ of Section 1, T22N, R3E, MDB&M.

Description of Project: The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 21,285 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit.

Address where document can be reviewed: Town of Paradise Town Hall
Development Services Department
5555 Skyway, Paradise, CA 95969

Public view period: From May 30, 2012
To June 18, 2012 at 5:00 p.m.

The environmental document for the project (initial Study and proposed negative declaration) and project file are available for public inspection at the Community Development Department, Town Hall. Any person wishing to respond to the proposed environmental document may file written responses no later than **June 18, 2012, at 5:00 p.m.** with the Paradise Development Services Department.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Development Services Department, (530) 872-6291 ext. 111.

CRAIG BAKER
Planning Director

PUBLISH: 06/02/2012



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931

TELEPHONE (530) 872-6291 FAX (530) 877-5059

www.townofparadise.com

AFFIDAVIT OF MAILING NOTICE

I, the undersigned Assistant Town Clerk of the Town of Paradise, California, do hereby certify that a copy of the Notice of Public Hearing before the Planning Commission of the Town of Paradise, in conjunction with the Vicinity Map (RE:) Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Application, with the project site located at 6983 Pentz Road, situated in the northern portion of the Paradise community, further identified by Assessor Parcel No. 050-082-023 and is located within the southeast $\frac{1}{4}$ of Section 1, T22N, R3E, MDB&M, was mailed to each and every person set forth on the attached list on the 30th day of May, 2012. A copy of said Notice is attached hereto.

Said mailing was completed by placing a copy of said Notice in a sealed envelope, with postage prepaid, and depositing same in the U.S. Mail at 5555 Skyway, Paradise California.

I declare under penalty of perjury, under the Laws of the State of California, that the foregoing is true and correct.

Executed at Paradise, California this 30th day of May, 2012.


Dina A. Volenski, Assistant Town Clerk



TOWN OF PARADISE

Date: May 29, 2012

NOTICE OF ENVIRONMENTAL DOCUMENT AVAILABILITY AND PUBLIC HEARING
PARADISE PLANNING COMMISSION

NOTICE IS HEREBY GIVEN by the Paradise Planning Commission that a public hearing will be held on Tuesday, June 19, 2012 at 6:00 p.m. in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following project:

Project Title: Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications

Project Location: The project site is located at 6983 Pentz Road, situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel No. 050-082-023 and is located within the southeast ¼ of Section 1, T22N, R3E, MDB&M.

Description of Project: The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 21,285 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit.

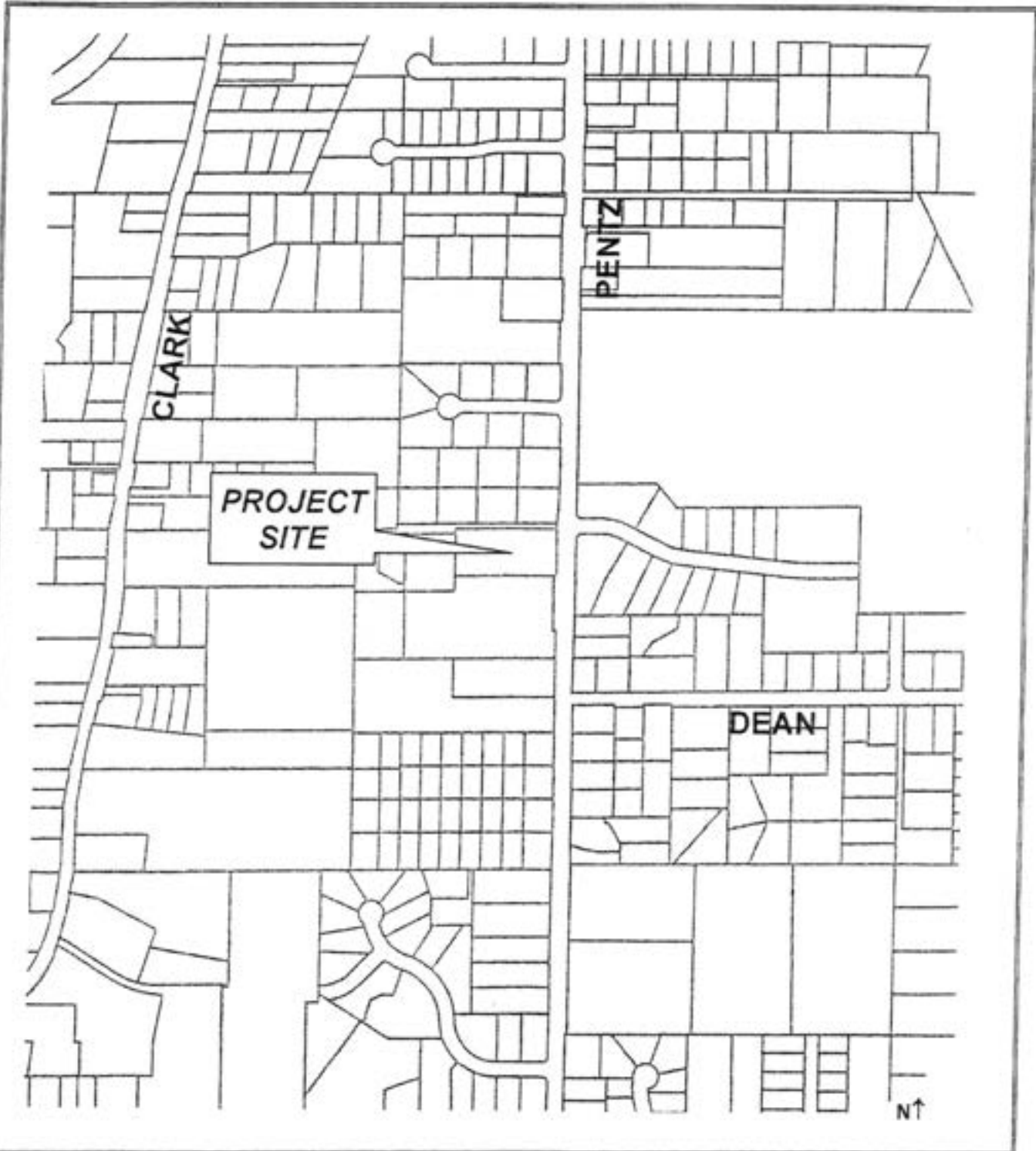
Address where document can be reviewed: Town of Paradise Town Hall
Development Services Department
5555 Skyway, Paradise, CA 95969

Public view period: From May 30, 2012
To June 18, 2012 at 5:00 p.m.

The environmental document for the project (initial Study and proposed negative declaration) and project file are available for public inspection at the Community Development Department, Town Hall. Any person wishing to respond to the proposed environmental document may file written responses no later than **June 18, 2012, at 5:00 p.m.** with the Paradise Development Services Department.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Development Services Department, (530) 872-6291 ext. 111.

CRAIG BAKER
Planning Director



APPLICANT: BILL AND ANN MARTIN		6983 Pentz Road
OWNER: JAY AND JOYCE POWELL		
REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property.		
Zoning: RR-2/3	GENERAL PLAN: RR	FILE NOS. PL12-00073, PL12-00074, PL12-00075
ASSESSOR PAREL: 050-082-023	HEARING DATE: JUNE 19, 2012	

Greg & Melissa Bujor
050-052-056
1664 Eaglet Ln
Paradise, CA 95969

Robert & Shirley Hughes
050-052-044
1655 Eaglet Way
Paradise, CA 95969

Richard & Jennifer Manson
050-052-035
1693 Mulberry Ln
Paradise, CA 95969

Kathleen Hunter
050-052-036
4610 Waterbury Dr
Clarston, MI 48348

Verne & Betty Vanduzer
050-052-048
1675 Mulberry Ln
Paradise, CA 95969

Howard Dickson & Shirley Ray
050-052-046
2831 Orthello Way
Santa Clara, CA 95051

Charles & Barbara Elder
050-052-051
1692 Mulberry Ln
Paradise, CA 95969

Gerald & Marilyn Gadbury
050-052-050
1684 Mulberry Ln
Paradise, CA 95969

Gerald Noble
050-110-029
9272 Turner Ln
Durham, CA 95938

Roger & Judith Klaves
050-052-049
1667 Mulberry Ln
Paradise, CA 95969

Jim & Shirley Wall
050-430-008
1801 Applevue Way
Paradise, CA 95969

Sandra Ostrander
050-052-047
1676 Mulberry Ln
Paradise, CA 95969

Jay & Joyce Powell
050-082-023
1624 S Court St
Visalia, CA 93277

Jon Selberg
050-082-102
PO Box 371
Dobbins, CA 95935

Robert & Claudean McAlexander
050-082-104
7006 Clark Rd
Paradise, CA 95969

Charles & Michelle Hooper
050-430-001
1800 Applevue Way
Paradise, CA 95969

Earl & Frances Westra
050-430-002
1806 Applevue Way
Paradise, CA 95969

Paradise Ridge So. Baptist Church
050-082-105
6975 Pentz Rd
Paradise, CA 95969

Gail Frederick
050-082-095
1694 Kingdom Ct
Paradise, CA 95969

Paul & Julie Hegenbart
050-120-004
6962 Pentz Rd
Paradise, CA 95969

Renee Huss
050-120-003
6216 Cannon Ct
Magalia, CA 95954

Timothy & Anne Seeley
050-082-103
4819 Fox Glove Ct
Santa Rosa, CA 95405

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Paradise Irrigation District
P.O. Box 2409
Paradise, CA 95967-2409

Paradise Recreation & Park Dist.
6626 Skyway
Paradise, CA 95969

Paradise Ridge Chamber of
Commerce
5550 Skyway
Paradise, CA 95969

Paradise Board of Realtors
6178 Center Street
Paradise, CA 95969

Paradise Downtown Business
Association
c/o Fir Street Gallery/Pam Funk
6256 Skyway
Paradise, CA 95969

Butte County Planning
Courier

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Butte Co. Air Quality Mgmt. Dist.
629 Entler Ave., Suite 15
Chico, CA 95928

Butte Environmental Council
116 W. 2nd Street #3
Chico, CA 95928

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem St.
Chico, CA 95928

APN	Owner	Owner_Add	CityStZIP
050-052-056-000	BUJOR GREG & MELISSA	1664 EAGLET LN	PARADISE CA 95969
050-052-044-000	HUGHES ROBERT A & SHIRLEY R REV LIVING TRUST	1655 EAGLET WAY	PARADISE CA 95969
050-052-035-000	MANSON RICHARD R III & JENNIFER L	1693 MULBERRY LN	PARADISE CA 95969
050-052-036-000	HUNTER TRUST	4610 WATERBURY DR	CLARSTON MI 48348
050-052-048-000	VANDUZER VERNE & BETTY F	1675 MULBERRY	PARADISE CA 95969
050-052-046-000	DICKSON RAY FAMILY REVOCABLE TRUST	2831 ORTHELLO WAY	SANTA CLARA CA 95051
050-052-051-000	ELDER CHARLES A & BARBARA DUNIVAN	1692 MULBERRY LN	PARADISE CA 95969
050-052-050-000	GADBURY FAMILY TRUST	1684 MULBERRY LN	PARADISE CA 95969
050-110-029-000	NOBLE FAMILY TRUST ESTATE	9272 TURNER LN	DURHAM CA 95938
050-052-049-000	KLAVES FAMILY TRUST	1667 MULBERRY LANE	PARADISE CA 95969
050-430-008-000	WALL JIM & SHIRLEY FAMILY TRUST	1801 APPLEVIEW WAY	PARADISE CA 95969
050-052-047-000	OSTRANDER SANDRA F TRUST	1676 MULBERRY LN	PARADISE CA 95969
050-082-023-000	POWELL JAY & JOYCE FAMILY TRUST	1624 S COURT ST	VISALIA CA 93277
050-082-102-000	SELBERG JON	PO BOX 371	DOBBINS CA 95935
050-082-104-000	MCALEXANDER ROBERT & CLAUDEAN	7006 CLARK RD	PARADISE CA 95969
050-430-001-000	HOOPER FAMILY TRUST	1800 APPLE VIEW WAY	PARADISE CA 95969
050-082-093-000	SELBERG JON A	PO BOX 371	DOBBINS CA 95935
050-430-002-000	WESTRA EARL H & FRANCES FAMILY TRUST	1806 APPLE VIEW WY	PARADISE CA 95969
050-082-105-000	PARADISE RIDGE SOUTHERN BAPTIST CHURCH	6975 PENTZ RD	PARADISE CA 95969
050-082-095-000	FREDERICK GAIL T REVOCABLE LIVING TRUST	1694 KINGDOM CT	PARADISE CA 95969
050-120-004-000	HEGENBART PAUL A & JULIE R	6962 PENTZ RD	PARADISE CA 95969
050-120-003-000	HUSS RENEE M	6216 CANNON CT	MAGALIA CA 95954
050-082-103-000	SEELEY TIMOTHY C & ANNE M ETAL	4819 FOX GLOVE CT	SANTA ROSA CA 95405



TOWN OF PARADISE

5555 SKYWAY • PARADISE, CALIFORNIA 95969-4931
TELEPHONE (530) 872-6291 FAX (530) 877-5059
www.townofparadise.com

March 19, 2012

Bill Martin WLM Construction
Jay and Joyce Powell Family Trust
PO Box 2035
Paradise CA 95967

Re: Land Use Approval for 6983 Pentz Rd, Paradise, Onsite Wastewater System for an Assisted Care Facility, APN 050-082-023

Dear Mr. Martin,

Soil and groundwater data have been provided as well as calculations from Rancho Engineering that demonstrates that this parcel is suitable for the construction of a facility that produces volumetric flows of 3281 gallons per day of wastewater that has undergone secondary treatment as per standards found in Town of Paradise Manual for the Onsite Treatment of Wastewater. The dispersal area for the onsite wastewater system must be in the western half of the parcel as indicated on soil permeability, profiling and groundwater monitoring well maps provided. This approval allows no dispersal fields on the eastern half of this parcel.

Therefore, land use review approval is given for this parcel to receive up to 3280 gallons per day of secondary treated wastewater meeting standards in the Town of Paradise. A proposed assisted care facility that will have up to 30 beds has been shown to be an acceptable development for this parcel. Information provided demonstrates that the care facility will produce a wastewater flow estimated of 2400 gpd and this estimation is approved.

Furthermore, some of the design components for the intended onsite sewage treatment system have been provided and are also approved. Those components are; a septic tank total retention volume of 7500 gallons, a grease interceptor sized at 1500 gallons, an Orenco AX100 filter media pod that will provide all necessary treatment to the anticipated wastewater flows and a dispersal field layout of original and replacement trenches as per submitted site map. Further engineered design plans are required for the construction application and approval portion of this project.

Please call us with any questions you may have.

Doug Danz
Onsite Sanitary Official
Town of Paradise
530-872-6239

Cc: Jarrod Holliday, P.E., Rancho Engineering
Craig Baker, Town of Paradise Community Development Director

PARADISE FIRE & RESCUE
767 Birch Street



FAID
1832
520.5170

FIRE FLOW/HYDRANT LOCATION REQUEST FORM

Fire Flow/Hydrant Location

Request for Commercial Building Permits/Land Use Entitlements

DATE: 8-17-11 () CASH (X) CHECK NO. 1832

SITE ADDRESS: 6983 Route 20 Ed

ASSESSOR PARCEL NUMBER: 050-082

Construction Commercial Type of Construction: Wood Stucco Other

Total Size of Construction: Square Feet 10,000 (including all stories, attached structures and structures that are within 20 feet of each other)

Building permit already applied for Land Use Entitlement Minor Land Division and/or parcel map Ready to apply for Building Permit Must have site map submitted with this request Must have a site map submitted with this request

Important Note: Access ways more than 150 feet in length will require a turn-a-round in accordance with the Town of Paradise Road Standards. Commercial developments will need to meet the requirements of the Town of Paradise Road Standards and the fire code for accessibility.

I understand that the information herein provides only the fire flow for this site and does not address the specific requirements for a certain project on the site, including access. Since the Fire Department does not have a site plans showing access to my property it is my responsibility to ensure that access is provided as required by the code.

Any changes to the above listed total square footage or construction type will require that the Fire Department be notified to re-evaluate the fire flow.

THIS INFORMATION IS GOOD FOR ONE YEAR AND EXPIRES ON 8/17/12 APPLICANT WILL BE REQUIRED TO APPLY AGAIN FOR THE FIRE FLOW INFORMATION AFTER THIS EXPIRATION DATE.

AUTOMATIC SPRINKLER SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED BEFORE INSTALLATION OF THE SYSTEM OR ANY SITE INSPECTIONS. APPLICANT ALSO NEEDS TO CONTACT PARADISE IRRIGATION DISTRICT FOR BACK FLOW PREVENTION DEVICE INSTALLATION REQUIREMENTS.

Person/Agency Requesting Flow: Bill Martin Went Coast, Inc.
(Please print)

Signature: [Signature] Phone: 520 5170 cell: 520 5170

Mailing Address (Required): PO Box 2035
Paradise CA 95967

THE PERSON REQUESTING THIS REPORT IS RESPONSIBLE FOR GIVING THE INFORMATION IN THIS REPORT TO THE OWNER/CONTACTOR/PERMIT HOLDER.

OFFICIAL INFORMATION

Hydrant# _____ Hydrant Flow _____ located at _____

The current fire flow is: _____ 50% reduction for automatic sprinkler system required flow is: _____ @ 20psi.

____ Hydrant is within the required distance of the structure.

____ Requires _____ fire hydrants.

____ Water flow is adequate for total square footage.

____ Water flow is not adequate for total square footage.

Additional water main and fire hydrant(s) will be required for this project or construction.

Fire Hydrant(s) required to be installed in a location(s) approved by Fire Department.

To meet the required water flow for fire protection an automatic sprinkler system will have to be installed.

____ Water flow less than required minimum for proposed land use entitlement.

____ Water flow not adequate for proposed land use entitlements.

____ Water flow in area is adequate.

____ Additional fire hydrants and water mains may be required, this will be determined when you submit the formal map for approval. You will be required to meet with the hydrant spacing and fire flow requirements for your project.

Inspected and Reviewed by: B. PARROTT Date: 8/24/11

Comments: ALL HYDRANTS WERE TESTED 9/13/11 - SEE ATTACHED TEST SHEETS

Additional Hydrant(s) Within Area: _____

Fire Flow for commercial projects is required to meet the California Fire code Appendix A-11-A-1.

cc: Town of Paradise Building Official Date Sent: 9/15/11
Person/Agency Requesting Flow Date Sent: 9/15/11

Test Date: 09/08/2011 Duration: 0.00		Shift Station Apparatus	Officer In Charge:			
Primary Hydrant Tested: S447 Test Method: Pitot Results in GPM/LPM: G	S447 PENTZ MULBERRY	Static 86	Residual 71	Pressure Drop 15		
Flow Meter Method		0.00				
Base Cap Method		Hydrant Coefficient: 0	Diameter of Hydrant Port: 0			
Pitot Method	Hydrant	Pitot	Opening	Hydrant Coefficient	Outlet Coefficient	Discharge
	S447	24.00	3.362	1.00	1	1651.78
		0.00	0.000	0.70	0.00	0.00
		0.00	0.000	0.70	0.00	0.00
		0.00	0.000	0.70	0.00	0.00
	Total Discharge						1651.78
Total Flow: 1651		Flow at 20 psi: 3676		Flow at 10 psi: 3967		

APPROX. 406 FT FROM HYDRANT

Test Date: 09/08/2011 Duration: 0.00		Shift Officer In Charge:	Station	Apparatus		
Primary Hydrant Tested: S832 Test Method: Pitot <i>PENTZ</i> Results in GPM/LPM: G <i>KINCOON 11.</i>	Static 78	Residual 56	Pressure Drop 22			
Flow Meter Method		0.00				
Base Cap Method		Hydrant Coefficient: 0	Diameter of Hydrant Port: 0			
Pitot Method	Hydrant	Pitot	Opening	Hydrant Coefficient	Outlet Coefficient	Discharge
	S832	24.00	3.360	1.00	1	1644.91
		0.00	0.000	0.70	0.00	0.00
		0.00	0.000	0.70	0.00	0.00
		0.00	0.000	0.70	0.00	0.00
	Total Discharge						1644.91
Total Flow: 1644		Flow at 20 psi: 2776		Flow at 10 psi: 3025		

APPROX 220 FT. FROM X.L.D.

HYDRANT FLOW TEST

Test Date: 09/08/2011 Duration: 0.00		Shift Station Apparatus	Officer In Charge:			
Primary Hydrant Tested: S827 Test Method: Pitot Results in GPM/LPM: G 1431 KINABOOM	Static 80	Residual 58	Pressure Drop 22			
Flow Meter Method		0.00				
Base Cap Method		Hydrant Coefficient: 0	Diameter of Hydrant Port: 0			
Pitot Method	Hydrant	Pitot	Opening	Hydrant Coefficient	Outlet Coefficient	Discharge
	S827	30.00	2.500	0.78	1	796.50
		0.00	0.000	0.70	0.00	0.00
		0.00	0.000	0.70	0.00	0.00
		0.00	0.000	0.70	0.00	0.00
Total Discharge						796.50
Total Flow: 796		Flow at 20 psi: 1369		Flow at 10 psi: 1488		

**CUSTOMER COPIES
FOR YOUR REVIEW
ORDER # 00243304**



THANK YOU FOR USING
BIDWELL TITLE & ESCROW COMPANY

Assessment Year As of Date Owner
 050-082-023-000 2011 POWELL JAY & JOYCE FAMILY TRUST

Desc Situs1 6983 PENTZ RD
 Situs2 PARADISE CA
Address C/O POWELL JAY & JOYCE TRUSTEES
 1624 S COURT ST
 VISALIA CA 93277

Fee Parcel 050-082-023-000
 Orig Asmt 050-082-023-000

Supplemental Count
 A00 - 0.00 rate - (0%)

Cortac
Loan #
Name
Phone
Status C
Bill Type SP
Taxability 800
Roll Type S
TRA
Event Dt
Printed Dt
Lot SqFt
 005-001
 09/20/2011
 1.66

Taxes	1	2	Total
	PAID	PAID	
Date	12/08/2011	12/08/2011	
Total Due	\$677.32	\$677.32	\$1,354.64
Total Paid	\$677.32	\$677.32	\$1,354.64
Balance	\$0.00	\$0.00	\$0.00

ADD NOTE

Asmt Owners Values Tax Codes Taxes Part Pays Coll. Refunds R/C Refunds Supl Index

Summary

Find

1 Record(s) found.

2011

Assessment	Year	As of Date	Owner
050-082-023-000	2011		POWELL JAY & JOYCE FAMILY TRUST

Name	Pct
JAY & JOYCE FAMILY TRUST POWELL	100

Tc0100inq - Megabyte Property Tax System - County of BUTTE

File Edit View Help

TC0100INQv095: Main

Current Secured [A,B,S]

Jan 12, 2012 04:48 pm

Assessment Year As of Date Owner
 050-082-023-000 2011 POWELL JAY & JOYCE FAMILY TRUST

C...	Descr	Base	Rate	TaxAmt1	PenAmt1	TaxAmt2	PenAmt2
79003	ANNUAL SEPTIC OP PERM FEE	1	0	\$15.76	\$1.57	\$15.76	\$1.57
79002	PARADISE ANIMAL CONTROL	1	0	\$6.00	\$0.60	\$6.00	\$0.60
26500	BUTTE COLLEGE DEBT 2002 C	7	0.005368	\$3.36	\$0.33	\$3.36	\$0.33
26300	BUTTE COLLEGE DEBT 2002 B	7	0.007756	\$4.85	\$0.48	\$4.85	\$0.48
25800	BUTTE COLLEGE DEBT 2002 A	7	0.007756	\$4.85	\$0.48	\$4.85	\$0.48
19900	PID BOND	5	0.028	\$17.50	\$1.75	\$17.50	\$1.75
00001	LOCAL AGENCY, GENERAL	7	1	\$625.00	\$62.52	\$625.00	\$62.52

TRA	005-001	Total Taxes	\$655.56	\$65.58	\$655.58	\$65.58
		Total Direct Charges	\$21.76	\$2.17	\$21.76	\$2.17
		Total Taxes + Direct Charges	\$677.32	\$67.73	\$677.32	\$67.73

Ready.

2011

Assessment Year As of Date Owner
 050-082-023-000 2011 POWELL JAY & JOYCE FAMILY TRUST

Value Base:	Rate	Value		1	2	Total
2-Land (no mineral rts)	0		Due Date	12/12/2011	04/10/2012	
3-Land/impr (no min)	0		Tax	\$677.32	\$677.32	\$1,354.64
4-Land/impr/PP (no min)	0		Penalty			
5-Land w/mineral rts	0.028	125,000	Cost			
6-Land/impr w/min	0		Fees	\$0.00	\$0.00	\$0.00
7-Net of all	1.02088	125,000	Delq. Pen.			
Non-Tax Deductible		\$0.00	Total Due	\$677.32	\$677.32	\$1,354.64
Asmt Roll Year		2011	Armt Paid	\$677.32	\$677.32	\$1,354.64
Ownership			Balance	\$0.00	\$0.00	\$0.00
Event Date	Days		Date Paid	12/08/2011	12/08/2011	
Pro. Factor	0 Pct.	0	Trans. Date	12/08/2011	12/08/2011	
From	Thru		Collection #	0897 081 00001	0697 081 00001	
Days to Fiscal Year End			Carry over	\$0.00	<input type="checkbox"/> %s Carry over paid	

Pmt Info 1

Asmt Owners Values Tax Codes Taxes Part Pays Coll. Refunds R/C Refunds Supl Index

Summary

Find

ready.

2011

Tc0100inq - Megabyte Property Tax System - County of BUTTE

TC0100INQv095: FeeSum Parcel Summary Jan 12, 2012 04:48 pm

Summary for: 050-082-023-000
 Mail Address: C/O POWELL JAY & JOYCE TRUSTEES 1624 S COURT ST VISALIA CA 93277
 Situs: 6983 PENTZ RD PARADISE CA

Asmt	Ta..	Roll	Owner	TotalDue	TotalPaid	Balance
050-082-023-000	2011	CS	POWELL JAY & JOYCE FAMILY	\$1,354.64	\$1,354.64	\$0.00

Total \$1,354.64 \$1,354.64 \$0.00

Ready.

2011

14
Par/c

RECORDING REQUESTED BY
Mid Valley Title & Escrow Company

AND WHEN RECORDED MAIL TO:
The Powell Family Trust
1624 S. Court St.
Visalia, Ca. 93277

2005-0075096

Recorded	REC FEE	18.00
Official Records	TAX	330.00
County of		
Butte		
CANDACE J. GRUBBS		
County Clerk-Recorder		
	MZ	
09:00AM 12-Dec-2005	Page 1 of 2	



Space Above This Line for Recorder's Use Only

A.P.N.: 050-082-023-000

File No.: 0402-2164310 (VG)

GRANT DEED

MZ

The Undersigned Grantor(s) Declare(s): DOCUMENTARY TRANSFER TAX \$330.00; CITY TRANSFER TAX \$0.00;
SURVEY MONUMENT FEE \$

- computed on the consideration or full value of property conveyed, OR
- computed on the consideration or full value less value of liens and/or encumbrances remaining at time of sale,
- unincorporated area; Town of Paradise, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Gary Wayne Modrell, surviving joint tenant.

hereby GRANTS to Jay W. Powell and Joyce L. Powell, Trustees of the Jay and Joyce Powell Family Trust created January 22, 2002.

the following described property in the Town of Paradise, County of Butte, State of California:

A PORTION OF LOT 41, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "OFFICIAL MAP OF THE SUBDIVISION OF SECTION 1, TOWNSHIP 22 NORTH, RANGE 3 EAST, MDM", WHICH MAP WAS RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF BUTTE, STATE OF CALIFORNIA, ON JUNE 12, 1922, IN BOOK "A" OF MAPS, AT PAGE(S) 12 AND 13, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 41; THENCE SOUTH 89 DEG. 40' WEST, 30 FEET TO A POINT IN THE WESTERLY LINE OF PENTZ ROAD, AS SHOWN ON SAID MAP AND THE TRUE POINT OF BEGINNING FOR THE PARCEL TO BE DESCRIBED; THENCE SOUTH 0 DEG. 09' EAST ALONG THE WESTERLY LINE OF SAID ROAD, A DISTANCE OF 185.0 FEET; THENCE LEAVING SAID ROAD, SOUTH 89 DEG. 40' WEST, 392.0 FEET; THENCE NORTH 0 DEG. 09' WEST, A DISTANCE OF 185.0 FEET TO A POINT IN THE NORTHERLY LINE OF SAID LOT 41; THENCE NORTH 89 DEG. 40' EAST ALONG SAID NORTHERLY LINE, A DISTANCE OF 392.0 FEET TO THE POINT OF BEGINNING.

Dated: 11/23/2005

Gary Wayne Modrell

Mail Tax Statements To: SAME AS ABOVE

15

STATE OF Arizona)
County of Maricopa)ss.

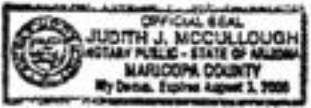
On Nov. 29, 2005, before me, the undersigned Notary Public, personally appeared _____

Haris Wayne Medrell - personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

My Commission Expires: 8.03.06

Judith J. McCullough
Notary Public
Judith J. McCULLOUGH



NONE

For value received COY OSCAR MATLOCK and PEARL ROSA MATLOCK
husband and wife

GRANT to CLAUDE C. MATLOCK and JENNIE E. MATLOCK,
husband and wife

as Joint Tenants, all that real property situate in the

County of Butte State of California, described as follows:

A right of way for road purposes over the following described parcel of land:

Beginning at the Northeast corner of Lot 41, as shown on that certain map entitled, "Official Map of the Subdivision of Section 1, T. 22 N., R. 3 E., M.D.M.", which map was recorded in the office of the recorder of the County of Butte, State of California, June 12, 1922 in Book "A" of Maps, at pages 12 and 13; thence South 89° 40' East 10 feet to a point in the westerly boundary line of Pentz Road; thence North 0° 09' West along said westerly boundary 20 feet to the true point of beginning of the land described herein; thence from said true point of beginning, South 89° 40' West 630.0 feet to a point in the westerly line of Lot 38 as shown on said Map; thence South 0° 09' East 20 feet to the Southwest corner of said Lot 38; thence South 89° 40' West, 165 feet to the Northeast corner of Lot 43, as shown on said Map; thence South 0° 09' East along the East line of said Lot 43 a distance of 20 feet to the Northwest corner of that parcel of land described in deed from Coy Oscar Matlock et ux, to Harry M. Rainville et al, recorded April 4, 1957 under Butte County Recorder's Serial No. 19713; thence North 89° 40' East, along the most northerly line of said Rainville parcel and the Easterly projection of said most northerly line a distance of 796.00 feet to a point in the westerly boundary line of said Pentz Road; thence North 0° 09' West along said westerly boundary line of the Pentz Road 40 feet to the true point of beginning.

Said right of way is for the benefit of and appurtenant to the North 220.0 feet of Lot 43 as shown on the above mentioned Map of Section 1, and shall inure to the benefit of and may be used by all persons who may hereafter become the owners of said appurtenant property or any parts or portions thereof.

out and 3 R/W
11/30/12
for benefit
of Pearl Rosa
Coy Oscar Matlock
Pearl Rosa Matlock

Dated January 12 1960

STATE OF CALIFORNIA

County of Butte

On January 12 1960

before me, Isabel Bronley a Notary Public
in and for said County and State, personally appeared
Coy Oscar Matlock

Pearl Rosa Matlock

Known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

Isabel Bronley Notary Public

My Commission expires July 17, 1963

Appl. No.

14:597 Recorder's Use Only

RECORDED AT THE REQUEST OF
GROVILLE TITLE COMPANY

JAN 14 1960

at 27 min past 12 o'clock

M. Val.

OFFICIAL RECORDS OF
BUTTE COUNTY, CALIFORNIA
ETHEL M. ESTES, County Recorder

By

Fee \$ 2.00

JAN 14 1960
14397



*

[Faint, illegible handwritten text]

[A large, dark, wavy scribble or mark, possibly a signature or a large mark, spanning across the lower half of the page.]

8/7/12
TC
Hearing

050-052-057-000
DORSEY PATRICIA A
1658 EAGLET WAY
PARADISE, CA 95969

050-052-056-000
BUJOR GREG & MELISSA
1664 EAGLET LN
PARADISE, CA 95969

050-052-046-000
DICKSON RAY FAMILY REVOCABLE
TRUST
2831 ORTHELLO WAY
SANTA CLARA, CA 95051

050-052-051-000
ELDER CHARLES A & BARBARA
DUNIVAN
1692 MULBERRY LN
PARADISE, CA 95969

050-052-050-000
GADBURY FAMILY TRUST
1684 MULBERRY LN
PARADISE, CA 95969

050-430-008-000
WALL JIM & SHIRLEY FAMILY
TRUST
1801 APPLEVIEW WAY
PARADISE, CA 95969

050-052-047-000
OSTRANDER SANDRA F TRUST
1676 MULBERRY LN
PARADISE, CA 95969

050-082-023-000
POWELL JAY & JOYCE FAMILY
TRUST
1624 S COURT ST
VISALIA, CA 93277

050-082-102-000
SELBERG JON
PO BOX 371
DOBBINS, CA 95935

050-082-104-000
MCALEXANDER ROBERT &
CLAUDEAN
7006 CLARK RD
PARADISE, CA 95969

050-430-001-000
HOOPER FAMILY TRUST
1800 APPLE VIEW WAY
PARADISE, CA 95969

050-082-093-000
SELBERG JON A
PO BOX 371
DOBBINS, CA 95935

050-430-002-000
WESTRA EARL H & FRANCES
FAMILY TRUST
1806 APPLE VIEW WY
PARADISE, CA 95969

050-430-003-000
DAY RUSSELL A & D SHARON TRUST
1812 APPLE VIEW WAY
PARADISE, CA 95969

050-082-105-000
PARADISE RIDGE SOUTHERN
BAPTIST CHURCH
6975 PENTZ RD
PARADISE, CA 95969

050-082-095-000
FREDERICK GAIL T REVOCABLE
LIVING TRUST
1694 KINGDOM CT
PARADISE, CA 95969

050-120-004-000
HEGENBART PAUL A & JULIE R
6962 PENTZ RD
PARADISE, CA 95969

050-120-003-000
HUSS RENEE M
6216 CANNON CT
MAGALIA, CA 95954

050-120-126-000
CHRISTIANSON ROY R
6720 BARNABY CT
PARADISE, CA 95969

050-120-124-000
BASS MARVIN K & CONNIE L
1763 DEAN RD
PARADISE, CA 95969

050-082-017-000
COVERT REVOCABLE INTER VIVOS
TRUST
6947 PENTZ RD
PARADISE, CA 95969

050-082-018-000
CHRISTIAN CHURCH OF PARADISE
6933 PENTZ RD
PARADISE, CA 95969

050-120-050-000
ENGLANT LISA A
6930 PENTZ RD
PARADISE, CA 95969

050-082-058-000
ANDERSON CARL D & GRETCHEN L
1651 TIMBER LANE
PARADISE, CA 95969

050-082-059-000
SMITH RUSSELL W & EVELYN M REV
LIVING TR
1641 TIMBER LANE
PARADISE, CA 95969

050-082-048-000
HARRIS DAVID
1611 TIMBER LN
PARADISE, CA 95969

050-082-103-000
SEELEY TIMOTHY C & ANNE M ETAL
4819 FOX GLOVE CT
SANTA ROSA, CA 95405

050-082-107-000
FREDERICK GAIL T REVOCABLE
LIVING TRUST
1314 MILTON AVE
WALNUT CREEK, CA 94596

050-120-046-000
JONES REVOCABLE LIVING TRUST
6016 CYPRESS POINT DR
BAKERSFIELD, CA 93309

050-120-047-000
SUIHKONEN OWEN V & PHYLLIS K
6942 PENTZ RD
PARADISE, CA 95969

050-052-056-000
BUJOR GREG & MELISSA
1664 EAGLET LN
PARADISE, CA 95969

050-052-044-000
HUGHES ROBERT A & SHIRLEY R
REV LIVING TRUST
1655 EAGLET WAY
PARADISE, CA 95969

050-052-035-000
MANSON RICHARD R III & JENNIFER
L
1693 MULBERRY LN
PARADISE, CA 95969

050-052-036-000
HUNTER TRUST
4610 WATERBURY DR
CLARSTON, MI 48348

050-052-048-000
VANDUZER VERNE & BETTY F
1675 MULBERRY
PARADISE, CA 95969

050-052-046-000
DICKSON RAY FAMILY REVOCABLE
TRUST
2831 ORTHELLO WAY
SANTA CLARA, CA 95051

050-052-051-000
ELDER CHARLES A & BARBARA
DUNIVAN
1692 MULBERRY LN
PARADISE, CA 95969

050-052-050-000
GADBURY FAMILY TRUST
1684 MULBERRY LN
PARADISE, CA 95969

050-110-029-000
NOBLE FAMILY TRUST ESTATE
9272 TURNER LN
DURHAM, CA 95938

050-052-049-000
KLAVES FAMILY TRUST
1667 MULBERRY LANE
PARADISE, CA 95969

050-430-008-000
WALL JIM & SHIRLEY FAMILY
TRUST
1801 APPLEVIEW WAY
PARADISE, CA 95969

050-052-047-000
OSTRANDER SANDRA F TRUST
1676 MULBERRY LN
PARADISE, CA 95969

050-082-023-000
POWELL JAY & JOYCE FAMILY
TRUST
1624 S COURT ST
VISALIA, CA 93277

050-082-102-000
SELBERG JON
PO BOX 371
DOBBINS, CA 95935

050-082-104-000
MCALEXANDER ROBERT &
CLAUDEAN
7006 CLARK RD
PARADISE, CA 95969

050-430-001-000
HOOPER FAMILY TRUST
1800 APPLE VIEW WAY
PARADISE, CA 95969

050-082-093-000
SELBERG JON A
PO BOX 371
DOBBINS, CA 95935

050-430-002-000
WESTRA EARL H & FRANCES
FAMILY TRUST
1806 APPLE VIEW WY
PARADISE, CA 95969

050-082-105-000
PARADISE RIDGE SOUTHERN
BAPTIST CHURCH
6975 PENTZ RD
PARADISE, CA 95969

050-082-095-000
FREDERICK GAIL T REVOCABLE
LIVING TRUST
1694 KINGDOM CT
PARADISE, CA 95969

050-120-004-000
HEGENBART PAUL A & JULIE R
6962 PENTZ RD
PARADISE, CA 95969

050-120-003-000
HUSS RENEE M
6216 CANNON CT
MAGALIA, CA 95954

050-082-103-000
SEELEY TIMOTHY C & ANNE M ETAL
4819 FOX GLOVE CT
SANTA ROSA, CA 95405

050-082-088-000
RIESS KAZUKO
3353 CONEJO DR
SAN BERNARDINO, CA 92404

050-082-089-000
REISCHMAN JOHN D ETAL
P O BOX 1744
PARADISE, CA 95967

050-082-087-000
GARCIA MARTIN & TELMA
5 STERLING CT
CHICO, CA 95928

050-082-047-000
HEWSTON LES & ENID
1631 TIMBER LN
PARADISE, CA 95969

050-082-049-000
GRANADOS HAROLD & MARLENE
LIVING TRUST
22385 GERALDINE CIRCLE
SONORA, CA 95370

Paradise Unified School District
6696 Clark Road
Paradise, CA 95969

Butte County Air Quality
Management District
629 Entler Avenue Suite 15
Chico, CA 95928

Paradise Ridge Chamber of
Commerce
5550 Skyway
Paradise, CA 95969

Bill & Ann Martin
6805 Acorn Ridge Drive
Paradise, CA 95969

Butte County Planning
Courier

Rancho Engineering
5550 Skyway
Paradise, CA 95969

Butte Environmental Council
116 W 2nd Street #3
Chico, CA 95928

Paradise Irrigation District
6332 Clark Road
Paradise, CA 95969

Paradise Board of Realtors
6178 Center Street
Paradise, CA 95969

Paradise Cemetery District
980 Elliott Road
Paradise, CA 95969

Pacific Gas & Electric
Laird Oelrichs, Land Agent
350 Salem Street
Chico, CA 95928

Paradise Recreation & Park District
6626 Skyway
Paradise, CA 95969

Paradise Downtown Business
Association
c/o Pam Funk, Fir Street Gallery
6256 Skyway
Paradise, CA 95969

TOWN OF PARADISE

Date: June 25, 2012

**NOTICE OF REVISED ENVIRONMENTAL DOCUMENT AVAILABILITY AND PUBLIC HEARING
PARADISE PLANNING COMMISSION**

NOTICE IS HEREBY GIVEN by the Paradise Planning Commission that a public hearing will be held on Tuesday, July 17, 2012 at 6:00 p.m. in the Town Hall Council Chambers, 5555 Skyway, Paradise, California, regarding the following project:

Project Title: **Grand Sierra Lodge General Plan Amendment/Property Rezone (PL12-00075), Conditional Use Permit (PL12-00073) and Tree Felling Permit (PL12-00074) Applications**

Project Location: The project site is located at 6983 Pentz Road, situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel Nos. 050-082-023 and 050-082-105 and is located within the southeast $\frac{1}{4}$ of Section 1, T22N, R3E, MDB&M.

Description of Project: The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a vacant 1.66 acre property with a 19,972 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.

Address where document may be reviewed: Town of Paradise Town Hall
Development Services Department
5555 Skyway, Paradise, CA 95969

Public review period: From June 26, 2012
To July 16, 2012 at 5:00 p.m.

The environmental document for the project (initial Study and proposed negative declaration) and project file are available for public inspection at the Community Development Department, Town Hall. Any person wishing to respond to the proposed environmental document may file written responses no later than **July 16, 2012, at 5:00 p.m.** with the Paradise Development Services Department.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Town of Paradise Planning Director at, or prior to, the public hearing. For further information please contact the Development Services Department, (530) 872-6993.

CRAIG BAKER
Planning Director

Exhibit "A"

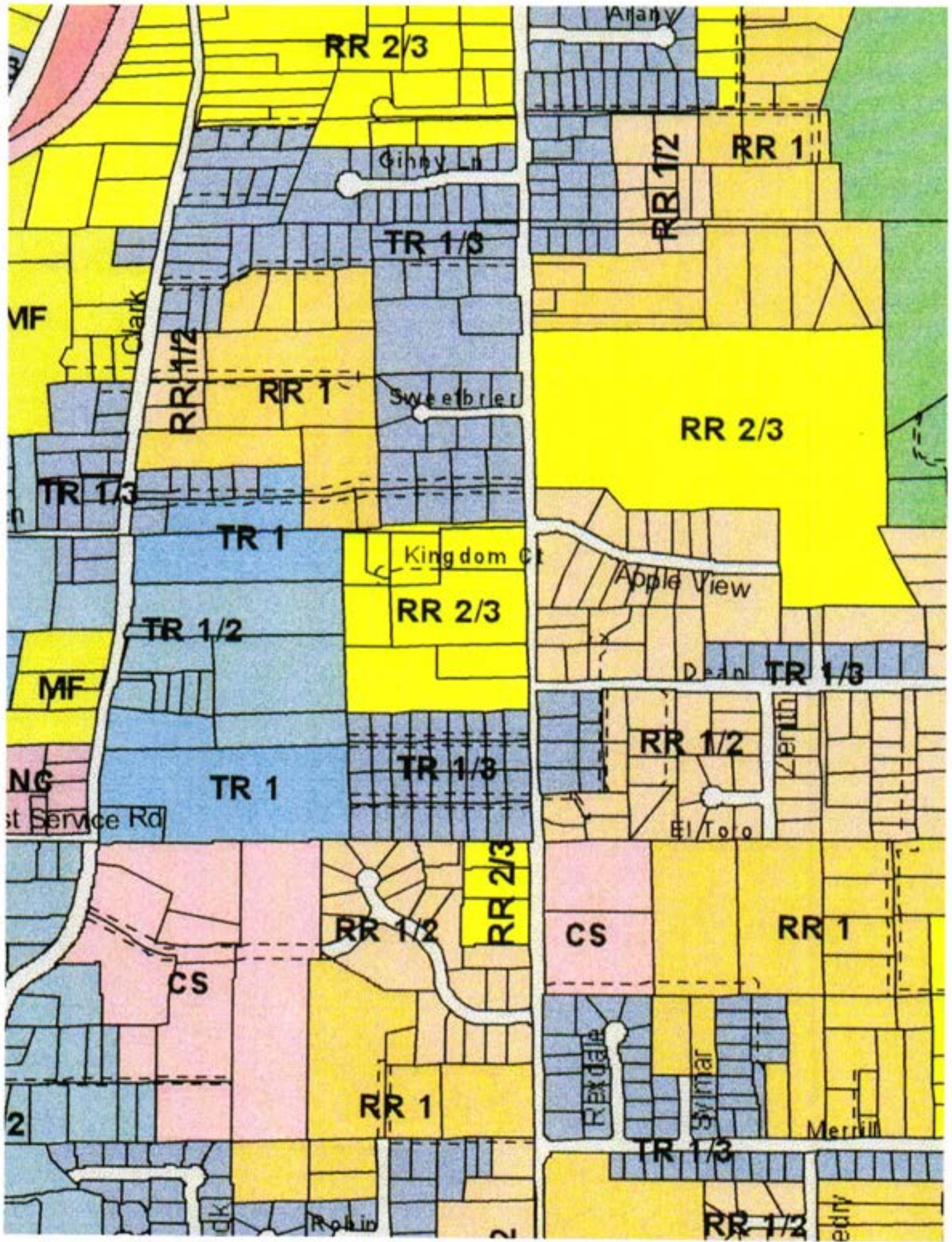
A non-exclusive easement for ingress, egress, road and public utility purposes over the Easterly 392.0 feet of the following described parcel of land:

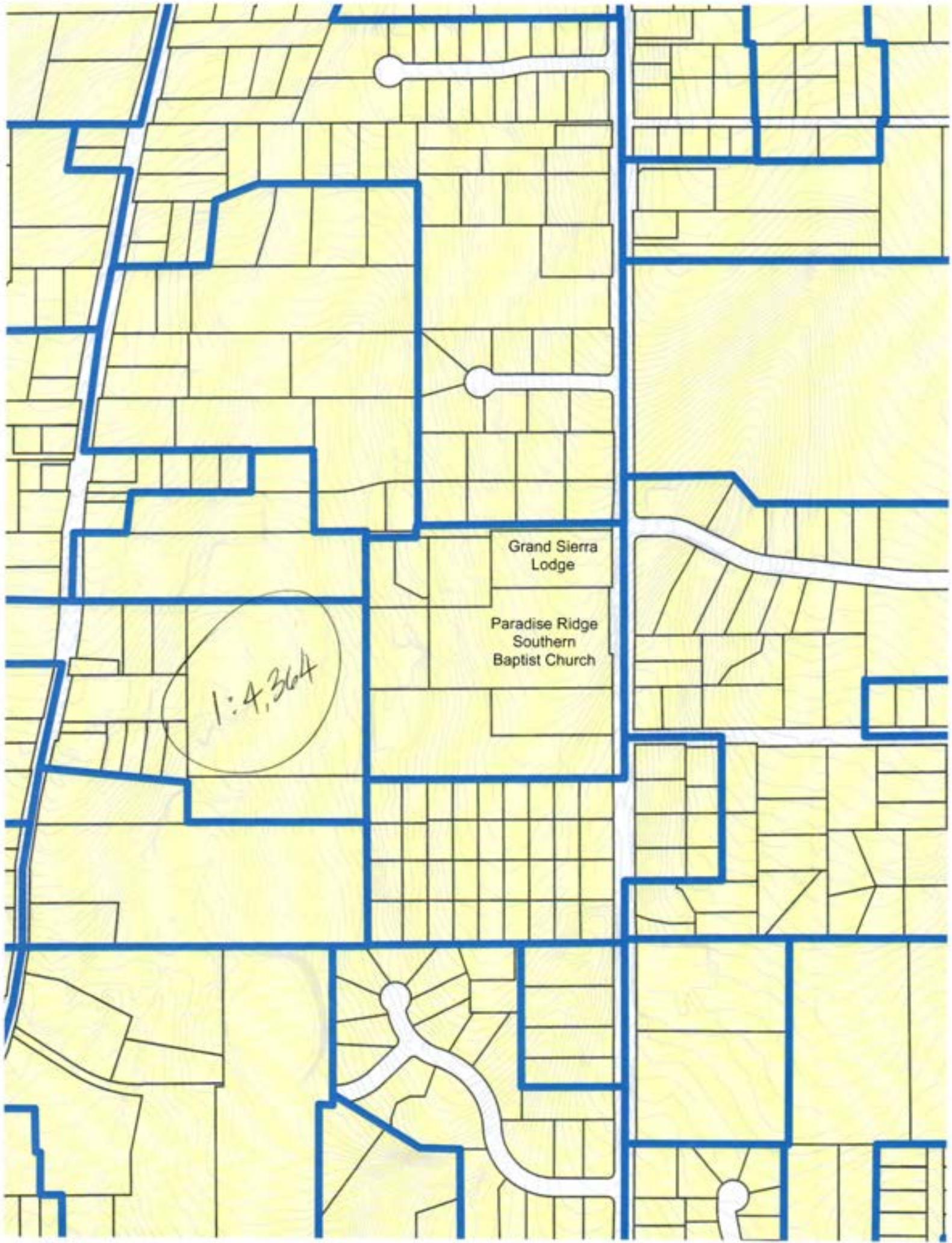
All that certain real property situate in the Town of Paradise, County of Butte, State of California, more particularly described as follows:

A 20 foot wide strip of land over said Easterly 392.0 feet lying 20 feet southerly of, parallel with and adjacent to the northerly boundary of that certain property described as "Parcel B" in deed to Robert McAlexander, et ux, as filed with the Recorder of the Butte County, California on May 3, 1988, under Recorders Serial Number 88-13729.



Lorraine Anne Lundy



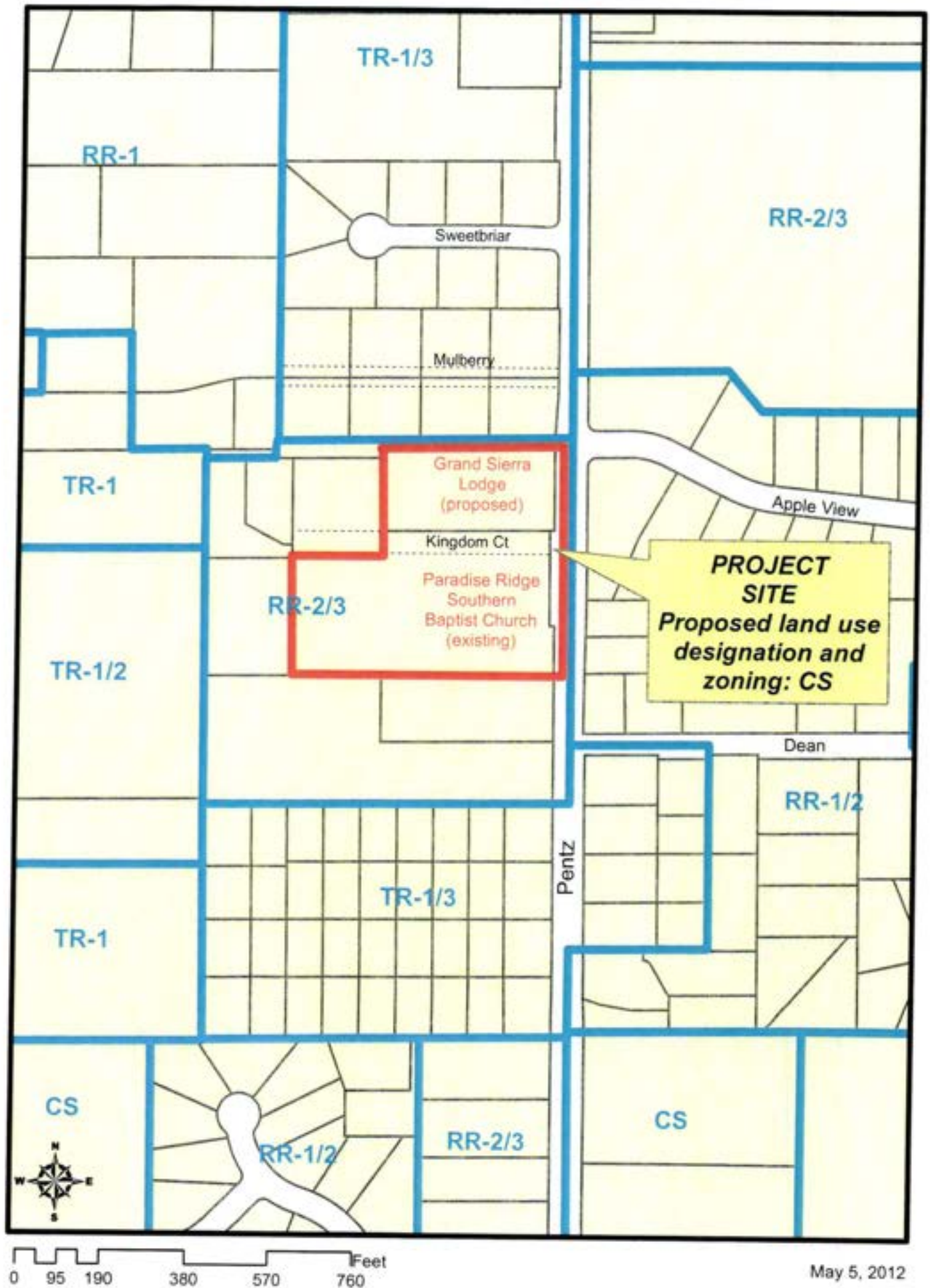


1:4,364

Grand Sierra Lodge

Paradise Ridge Southern Baptist Church

Grand Sierra Lodge site plan review, General Plan amendment and rezone map



Greg & Melissa Bujor
050-052-056
1664 Eaglet Ln
Paradise, CA 95969

Robert & Shirley Hughes
050-052-044
1655 Eaglet Way
Paradise, CA 95969

Richard & Jennifer Manson
050-052-035
1693 Mulberry Ln
Paradise, CA 95969

Kathleen Hunter
050-052-036
4610 Waterbury Dr
Clarston, MI 48348

Verne & Betty Vanduzer
050-052-048
1675 Mulberry Ln
Paradise, CA 95969

Howard Dickson & Shirley Ray
050-052-046
2831 Orthello Way
Santa Clara, CA 95051

Charles & Barbara Elder
050-052-051
1692 Mulberry Ln
Paradise, CA 95969

Gerald & Marilyn Gadbury
050-052-050
1684 Mulberry Ln
Paradise, CA 95969

Gerald Noble
050-110-029
9272 Turner Ln
Durham, CA 95938

Roger & Judith Klaves
050-052-049
1667 Mulberry Ln
Paradise, CA 95969

Jim & Shirley Wall
050-430-008
1801 Appleview Way
Paradise, CA 95969

Sandra Ostrander
050-052-047
1676 Mulberry Ln
Paradise, CA 95969

Jay & Joyce Powell
050-082-023
1624 S Court St
Visalia, CA 93277

Jon Selberg
050-082-102
PO Box 371
Dobbins, CA 95935

Robert & Claudean McAlexander
050-082-104
7006 Clark Rd
Paradise, CA 95969

Charles & Michelle Hooper
050-430-001
1800 Appleview Way
Paradise, CA 95969

Earl & Frances Westra
050-430-002
1806 Appleview Way
Paradise, CA 95969

Paradise Ridge So. Baptist Church
050-082-105
6975 Pentz Rd
Paradise, CA 95969

Gail Frederick
050-082-095
1694 Kingdom Ct
Paradise, CA 95969

Paul & Julie Hegenbart
050-120-004
6962 Pentz Rd
Paradise, CA 95969

Renee Huss
050-120-003
6216 Cannon Ct
Magalia, CA 95954

Timothy & Anne Seeley
050-082-103
4819 Fox Glove Ct
Santa Rosa, CA 95405

**TOWN OF PARADISE
NEGATIVE DECLARATION REGARDING ENVIRONMENTAL EFFECT**

1. Description of Project:


Grand Sierra Lodge project: Environmental review for the development of a 1.66 acre property with a thirty bedroom community care facility along with related site improvements.

2. Name and Address of Project Applicant:

Bill and Ann Martin
5806 Acorn Ridge Drive
Paradise, CA 95969

3. The Initial Study for this Project was Prepared on: May 25, 2012

4. NOTICE IS HEREBY GIVEN that the Planning Director of the Town of Paradise has reviewed the project described above pursuant to the provisions of the California Environmental Quality Act of 1970 (Public Resources Code) and determined that it will not have a significant effect on the environment. Preparation of an Environmental Impact Report will not be required.
5. A copy of the Planning Director's determination regarding the environmental effect of this project is available for public inspection at the Town of Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA. Copies thereof will be provided to any person upon payment of the established fee.
6. Any person wishing to respond to this negative declaration may file written responses no later than June 18, 2012 by 5:00 p.m. with the Paradise Development Services Department, Town Hall, 5555 Skyway, Paradise, CA 95969, (530) 872-6291. The Planning Director or the Planning Commission will review such comments and will either uphold the issuance of a negative declaration or require an environmental impact report to be prepared.
7. If no protest is lodged, the negative declaration may be formally adopted at the conclusion of the review period. Any negative declaration subject to state clearinghouse review shall not be formally adopted until such review has been completed.

By: 
Craig Baker, Planning Director

Date: 5/25/12

**INITIAL STUDY
FOR
GRAND SIERRA LODGE**



**PROJECT DESCRIPTION
AND
ENVIRONMENTAL SETTING**

**GRAND SIERRA LODGE USE PERMIT, GENERAL PLAN AMENDMENT AND TREE-FELLING
PERMIT APPLICATIONS**

PROJECT DESCRIPTION

The project proponent is seeking site development design and site improvement/building construction approval from the Town of Paradise to authorize the development of a 1.66 acre property with a 21,285 square foot assisted living facility consisting of one single story building containing thirty bedrooms, along with related site improvements. The discretionary approvals required for the project to proceed are a General Plan amendment/property rezone, a conditional use permit and a tree felling permit.

ENVIRONMENTAL SETTING

Location

The project site is located at 6983 Pentz Road, a two-lane arterial public street situated in the northern portion of the Paradise community. The site is further identified by Assessor Parcel No. 050-082-023 and is located within the southeast ¼ of Section 1, T22N, R3E, MDB&M.

Land Use

The 1.66 acre project site is situated within the Rural Residential-2/3 acre (RR-2/3) zoning district and is currently vacant. Properties to the north and west are developed for single family residential land uses. Abutting property to the south is developed with a paved private road (Kingdom Court) and beyond that, the facilities of the Paradise Ridge Southern Baptist Church. Pentz Road abuts the site along its entire east boundary. Town-assigned zoning in the area is predominately residential, allowing for medium to low-density residential land uses and various community service-oriented uses.

Topography and Soils

The property is situated at an approximate elevation of 2,190 feet above sea level and slopes gently to

the south and west. Vegetation on the project site is characterized by seasonal grasses and roughly a dozen widely-spaced native oaks and conifer trees. Several brush species also occur on the site.

Soils on the project site belong to the Aiken Very Deep (AVD) soil series. These soils are well-drained, well-structured clay loam and generally exceed five feet in depth. Aiken Very Deep soils are considered to be well-suited for on-site wastewater treatment and disposal.

Public Services

Services and facilities presently available or potentially available to the project site include but are not limited to the following listing:

Access:	Pentz Road (public street)
Communications:	AT&T Telephone/Comcast Cable Services
Electricity:	Pacific Gas and Electric Company
Public Safety:	Town of Paradise
Recreation:	Paradise Recreation and Park District
Schools:	Paradise Unified School District
Sewage Disposal:	Engineered on-site wastewater disposal system
Water Supply:	Paradise Irrigation District

PROJECT DETAILS

The permit applicant/property owner is requesting approval from the Town of Paradise to establish a development project consisting of a single-story, 21,285 square foot Community Care (assisted living) facility accompanied by an on-site paved parking facility containing twenty parking spaces, an engineered on-site wastewater treatment and disposal system, a subsurface storm water detention system, driveway access connecting to Pentz Road and on-site landscaping.

Pursuant to the Town's zoning ordinance regulations, a conditional use permit is required to establish a community care facility in Town-assigned residential zoning districts. Accordingly, the project developer has included a conditional use permit application with project application materials submitted to the Town.

Due to the design of the project relative to building coverage and impervious coverage limitations in the RR-2/3 zoning district, the project developer has also included an application requesting a General Plan amendment/property rezone from the current zoning to a designation and zoning of Town Residential (TR) and Town Residential-1/3 acre minimum (TR-1/3).

Construction and installation of proposed project improvements will result in the felling and removal of approximately thirteen pine, fir and oak trees large enough to be subject to the issuance of a Town of Paradise tree felling permit. Accordingly, the project applicants have also included a completed tree felling permit application with other project application materials.

The proposed hours of operation for the community care facility is twenty-four hours per day, seven days per week, including holidays. The estimated maximum number of employees in the proposed complex is five and the estimated number of clients expected to be cared for at the facility is thirty.

The project applicant is proposing to establish contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors. Please refer to the proposed project site plan, building elevations and floor plan following this discussion.

TOWN OF PARADISE

ENVIRONMENTAL CHECKLIST FORM

I. BACKGROUND

- | | |
|--|--|
| 1. Name of Proponent | Bill and Ann Martin |
| 2. Address and phone number of proponent | 5806 Acorn Ridge Drive, Paradise, CA 95969; (530) 520-5170 |
| 3. Date of checklist | May 22, 2012 |
| 4. Zoning and general plan designation | Rural Residential-2/3 acre minimum (RR-2/3) Zone; Rural Residential (RR) Land Use Designation |
| 5. Name of proposal, if applicable | Grand Sierra Lodge Use Permit (PL12-00073), General Plan Amendment/Rezone (PL12-00075) and Tree Felling Permit (PL12-00074) Applications |

II. ENVIRONMENTAL IMPACTS

Issues (and Supporting Information Sources):

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
1. LAND USE AND PLANNING. Would the proposal:					
a. Conflict with general plan designation or zoning?	1			<u>X</u>	
b. Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project?	1				<u>X</u>
c. Be incompatible with existing land use in the vicinity?	8			<u>X</u>	
d. Affect agricultural resources or operations (e.g. impacts to soils or farmlands, or impacts from incompatible land uses)?	8				<u>X</u>
e. Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	8				<u>X</u>
2. POPULATION AND HOUSING. Would the proposal:					

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
a. Cumulatively exceed official regional or local population projects?	1				<u>X</u>
b. Induce substantial growth in an area either directly or indirectly (e.g. through projects in an undeveloped area or extension of major infrastructure)?	1				<u>X</u>
c. Displace existing housing, especially affordable housing?	1				<u>X</u>
3. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:					
a. Fault rupture?	1				<u>X</u>
b. Seismic ground shaking	1				<u>X</u>
c. Seismic ground failure, including liquefaction?	1				<u>X</u>
d. Seiche, Tsunami or volcanic hazard?	1, 8				<u>X</u>
e. Landslides or mudflows?	1, 6				<u>X</u>
f. Erosion, changes in topography or unstable soil conditions from excavation, grading or fill?	1, 6			<u>X</u>	
g. Subsidence of the land?	1, 6				<u>X</u>
h. Expansive soils?	1, 6				<u>X</u>
i. Unique geologic or physical features?	8				<u>X</u>
4. WATER. Would the proposal result in:					
a. Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff?	3, 9			<u>X</u>	
b. Exposure of people or property to water related hazards such as flooding?	1, 3				<u>X</u>
c. Discharge into surface waters or other alteration of surface water quality (e.g. temperature, dissolved oxygen or turbidity)?	9				<u>X</u>
d. Changes in the amount of surface water in any water body?	3				<u>X</u>
e. Changes in currents, or the course or direction of water movements?	3				<u>X</u>
f. Change in the quantity of groundwater, either through direct	9				<u>X</u>

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability?					
g. Altered direction or rate of flow of groundwater?	9				<u>X</u>
h. Impacts to groundwater quality?	9			<u>X</u>	
i. Substantial reduction in the amount of groundwater otherwise available for public water supplies?	9				<u>X</u>
5. AIR QUALITY. Would the proposal:					
a. Violate any air quality standard or contribute to an existing or projected air quality violation?	1			<u>X</u>	
b. Expose sensitive receptors to pollutants?				<u>X</u>	
c. Alter air movement, moisture, or temperature, or cause any change in climate?	9				<u>X</u>
d. Create objectionable odors?	12				<u>X</u>
6. TRANSPORTATION/CIRCULATION. Would the proposal result in:					
a. Increased vehicle trips or traffic congestion?	1			<u>X</u>	
b. Hazards to safety from design features (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	9				<u>X</u>
c. Inadequate emergency access or access to nearby uses?	1				<u>X</u>
d. Insufficient parking capacity onsite and offsite?	9				<u>X</u>
e. Hazards or barriers for pedestrians or bicyclists	9				<u>X</u>
f. Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?	1				<u>X</u>
g. Rail, waterborne or air traffic impacts?	8, 9				<u>X</u>
7. BIOLOGICAL RESOURCES. Would the proposal result in impacts to:					
a. Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals and birds)?	7				<u>X</u>

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
b. Locally designated species (e.g. heritage trees)?	8				<u>X</u>
c. Locally designated natural communities (e.g. oak forest, coastal habitat, etc.)?	1				<u>X</u>
d. Wetland habitat (e.g. marsh, riparian and vernal pool)?	6, 7				<u>X</u>
e. Wildlife dispersal or migration corridors?	1				<u>X</u>
8. ENERGY AND MINERAL RESOURCES. Would the proposal:					
a. Conflict with adopted energy conservation plans?	1				<u>X</u>
b. Use nonrenewable resources in a wasteful and inefficient manner?	9				<u>X</u>
c. Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the state?	9				<u>X</u>
9. HAZARDS. Would the proposal involve:					
a. A risk of accidental explosion or release of hazardous substances (including, but not limited to; oil, pesticides, chemicals or radiation)?	12				<u>X</u>
b. Possible interference with an emergency response plan or emergency evacuation plan?	1				<u>X</u>
c. The creation of any health hazard or potential health hazard?	12				<u>X</u>
d. Exposure of people to existing sources of potential health hazards?	12				<u>X</u>
e. Increased fire hazard in areas with flammable brush, grass or trees?	1				<u>X</u>
10. NOISE. Would the proposal result in:					
a. Increases in existing noise levels?	12			<u>X</u>	
b. Exposure of people to severe noise levels?	11, 12			<u>X</u>	
11. PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:					
a. Fire protection?	12			<u>X</u>	

	SOURCE NO.	POTENTIALLY SIGNIFICANT IMPACT	POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED	LESS THAN SIGNIFICANT IMPACT	NO IMPACT
b. Police protection?	12			<u>X</u>	
c. Schools?	12				<u>X</u>
d. Maintenance of public facilities, including roads?	12			<u>X</u>	
e. Other governmental services?	12			<u>X</u>	
12. UTILITIES AND SERVICE SYSTEMS. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:					
a. Power or natural gas?	12			<u>X</u>	
b. Communications systems?	12			<u>X</u>	
c. Local or regional water treatment or distribution facilities?	4			<u>X</u>	
d. Sewer or septic tanks?	12			<u>X</u>	
e. Storm water drainage?	3			<u>X</u>	
f. Solid waste disposal?	12			<u>X</u>	
g. Local or regional water supplies?	12			<u>X</u>	
13. AESTHETICS. Would the proposal:					
a. Affect a scenic vista or scenic highway?	1, 8			<u>X</u>	
b. Have a demonstrable negative aesthetic effect?	1, 9			<u>X</u>	
c. Create light or glare?	9			<u>X</u>	
14. CULTURAL RESOURCES. Would the proposal:					
a. Disturb paleontological resources?	2				<u>X</u>
b. Disturb archaeological resources?	2			<u>X</u>	
c. Affect historical resources?	8				<u>X</u>
d. Have the potential to cause a physical change which would affect unique ethnic cultural values?	2				<u>X</u>
e. Restrict existing religious or sacred uses within the potential impact area?	8				<u>X</u>
15. RECREATION. Would the proposal:					

	<u>SOURCE NO.</u>	<u>POTENTIALLY SIGNIFICANT IMPACT</u>	<u>POTENTIALLY SIGNIFICANT UNLESS MITIGATION INCORPORATED</u>	<u>LESS THAN SIGNIFICANT IMPACT</u>	<u>NO IMPACT</u>
a. Increase the demand for neighborhood or regional parks or other recreational facilities?	1				<u>X</u>
b. Affect existing recreational opportunities?	1				<u>X</u>
16. MANDATORY FINDINGS OF SIGNIFICANCE.					
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?					<u>X</u>
b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals?					<u>X</u>
c. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connect with the effects of past projects, the effects of other current projects, and the effects of probable future projects).					<u>X</u>
d. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?					<u>X</u>

INITIAL STUDY
STATEMENT OF ENVIRONMENTAL EVALUATION
FOR
GRAND SIERRA LODGE

III. DISCUSSION OF ENVIRONMENTAL EVALUATION

1. **General Evaluation.** Potential environmental impacts associated with the proposed project have been identified upon the preceding environmental review checklist form. It has been determined that the proposed project will not result in a significant adverse effect on the environment because no significant adverse environmental impacts have been identified that are associated with the project. No mitigation measures are contained within this Initial Study because none appear to be warranted. The text that follows identifies and evaluates potential impacts (or the lack thereof) that are associated with the project.

a. **Item No. 1 - Land Use and Planning.** If approved and established, the project shall result in an alteration of the existing undeveloped land usage to a community care facility on a year-round basis. This land use alteration is not in and of itself deemed a significant adverse change, since the Paradise General Plan land use map and the Paradise Zoning Districts map identifies the project site as a site that is designated and zoned in a manner that provides for the potential establishment of the proposed type land use, subject to Town approval and issuance of a conditional use permit. The Paradise General Plan and zoning districts maps have been formally and publicly reviewed and adopted subsequent to broad based community exposure and participation. The proposed project is designed in a manner that is consistent with the Paradise General Plan land use designation for the site. In addition, eventual approval and issuance of construction permits will be contingent upon assured compliance with all applicable zoning and land use/development regulations.

Existing zoning in the project area is residential in nature, roughly evenly divided by Rural Residential and Town Residential zoning districts. Residential properties abutting the site along its north side are zoned TR-1/3. The project site itself is currently zoned RR-2/3, which allows up to thirty percent of the site (+/-21,692 sq. ft.) to be covered with impervious surfacing. However, the design of the project would result in the establishment of impervious area that would exceed this limitation. As a consequence, the project developer has filed a General Plan amendment/property rezone application to change the General Plan land use designation from RR to TR and the zoning for the site from RR-2/3 to TR-1/3. If the application is approved by the Town, up to forty percent of the site can be covered with impervious surfacing, which will accommodate the

design of the project.

The project site is currently characterized open areas of seasonal grass and widely-spaced trees. Though the site is currently vacant, it has been developed for residential use in the recent past. Existing properties developed and approved for development with residential land uses are located along the north and west side of the project site and across Pentz Road to the east. By its nature as a community care facility for the elderly, the proposed land use is not expected to be incompatible with adjacent and nearby land uses, either visually or operationally. Though nearby properties may experience the proposed land use change to some degree, the change and the resulting impacts is not anticipated approach a level of significance that warrants mitigation.

- b. **Item No. 2 - Population and Housing.** The proposed project does not entail the establishment of any new housing units nor the displacement or demolition of existing housing units. Moreover, the proposed location and design features of the Grand Sierra Lodge project will not necessitate any extension of major infrastructure improvements and thereby not induce substantial population growth in areas of the community that are currently not well served by such improvements. Therefore, no impact is expected to population and housing and no mitigation is warranted.
- c. **Item No. 3 - Geologic Problems.** The project site is located in an area of relatively low seismic activity and consequently has been accorded a category of low potential earthquake hazard (Paradise General Plan, Volume III, 1994). In addition, the gentle slopes and well-structured soils on the project site do not pose a significant threat of landslides, mudflows or subsidence. Therefore, no geologic problems are anticipated and no mitigation is warranted.
- d. **Items 4 and 12 – Ground Water, Surface Water, Erosion and Drainage.** No areas of surface water or areas subject to flooding exist on or adjacent to the project site. The Town Onsite Sanitary Official has carefully reviewed the proposed project and its environs and has found that the project design preliminarily meets the requirements of town sewage disposal ordinance regulations. Therefore, no adverse impacts to surface waters or groundwater are expected as a result of project approval and the resulting construction of a proposed on-site wastewater treatment and disposal system.

Land clearing, grading and excavation work for purposes of site development, construction of roadway access, parking improvements, drainage improvements, etc., will disturb the physical environment of the project site. Such physical changes can result in improper drainage, soils erosion and/or wind-borne dust. However, detailed and engineered grading, drainage, dust/erosion control and site development

improvement plans, all designed satisfactory to the Town Engineer, shall be required to be submitted and approved by the town and/or the Butte County Air Quality Management District prior to commencement of project construction.

The project site is currently vacant and undeveloped. Development of the site with areas of impervious surfacing will alter drainage patterns and significantly increase the rate and amount of storm water runoff. An engineered drainage analysis proposing an on-site subsurface storm water detention system and submitted to the Town of Paradise by the project applicant's engineer has been reviewed by the Town Engineer. The proposed drainage analysis (and its engineered solution) and has revealed that existing downstream and off-site drainage facilities are adequately sized to accommodate the increased volume of storm water during periods of heavy precipitation. If approved by the Town of Paradise, the proposed project shall be conditioned to be designed and constructed in a manner that shall include establishment of all necessary drainage facilities, located on and possibly off-site to accommodate existing and project-induced storm water drainage in accordance with the town's interim drainage guidelines and in accordance with the requirements of the Town Engineer without generating any offsite adverse environmental effects.

In accordance with the circumstances and safeguards outlined above, no significant adverse environmental effects related to surface water, ground water, erosion or drainage are anticipated as a result of project approval and no mitigation measures related thereto appear to be warranted.

e. **Item No. 5 - Air Quality.** A certain amount of dust will be generated during activities associated with construction of site improvements. However, this impact is expected to be temporary in nature. Further, as outlined within Item (d) above, an engineer-prepared dust/erosion control plan shall be required to be approved by the Town Engineer and implemented prior to commencement of construction activities for the project. Therefore, no significant impacts to adjacent residents are anticipated and no mitigation appears to be warranted.

f. **Item No. 6 - Transportation/Circulation.** The proposed Grand Sierra Lodge project is located along the west side of Pentz Road (a public street) at its intersection with Kingdom Court, a paved private road. Pentz Road is a two lane collector street serving the predominantly residential east side of the Paradise community.

The proposed design of the project includes the establishment of two driveway access points connecting to Pentz Road. The driveway connections ar designed to accommodate two-way traffic and provide access to a proposed paved parking facility containing twenty spaces.

The Town Engineer has not identified any concerns regarding the existing design of the driveway access points or their proposed positions relative to other nearby encroachments onto Pentz Road. The potential increase in the volume of vehicle trips affecting this portion of Pentz Road as a result of project approval is not expected to be significant, given the size of the proposed community care facility and the frequency of trips customarily associated with such facilities. Traffic sight distances in the vicinity of the project site can be improved upon via minor vegetation trimming and removal within the existing Pentz Road public right-of-way. If the project is approved, the developer will be required by the Town of Paradise to establish and maintain adequate traffic sight distances accordingly.

In summary, no potentially significant impacts related to traffic or transportation have been identified and, accordingly, no mitigation measures appear to be warranted.

9. **Item No. 7 - Biological Resources**. Review of the California DFG natural diversity data base information for the Paradise area reveals that no known rare, endangered or sensitive plant or animal species exist or inhabit the project site or its immediate vicinity. Although the area may contain some animal habitat values, the project site and the general area has been disturbed repeatedly by various land use activities that have taken place over several decades. In addition, the site is relatively small and probably has little value as important wildlife habitat. Accordingly, the potential impacts upon local endangered, rare or sensitive plant and animal populations should not be significant as a result of the proposed project.

Approximately twelve trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate the proposed development. Accordingly, the project developer has submitted a Town tree felling permit application along with other project application materials. The Tree Felling permit application was accompanied by a report prepared by a Registered Professional Forester certifying that all trees proposed for felling would otherwise be adversely affected by the development or would substantially interfere with the design of the project. The application was also accompanied by a tree protection plan prepared by a Certified Arborist for trees that will remain and be incorporated into the design of the project. The project will be subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. Further, all qualifying trees felled and removed from the site will be required to be replaced on-site at a one-to-one ratio with fifteen gallon-sized trees native to Northern California. Required landscape plans for the Grand Sierra Lodge project shall be reviewed and approved by the Town of Paradise in the context of required tree replacement, consideration for the protection of adjacent and nearby land uses and general aesthetics. Therefore, the magnitude of impact foreseen upon vegetation and

wildlife is deemed to be less than significant and no mitigation measures appear to be necessary.

- h. **Item No. 8 - Energy and Mineral Resources.** The proposed project entails the construction of +21,285 square feet of new building area, a paved parking facility and an on-site wastewater treatment and disposal facility. It is not anticipated that a project of this magnitude would threaten the availability of any known mineral resource. Similarly, no significant use of non-renewable resources is expected as a result of project approval and construction. Project construction plans will be required to comply with current Uniform Building Code energy-efficiency and construction waste reduction standards. Accordingly, no adverse impacts related to energy and mineral resources are anticipated and no mitigation measures appear to be required.
- i. **Item No. 9 - Hazards.** Since no known areas of toxic contamination exist on or in the vicinity of the project site, the project should not involve exposure of people to potential health hazards. In addition, the conventional construction techniques likely to be involved with establishment of the proposed facility should not pose health risks associated with explosions or the release of toxic substances. Therefore, no mitigation measures related to hazards appear to be warranted.
- j. **Item No. 10 - Noise.** The proposed project will result in a moderate increase of existing noise levels that shall predominantly occur during the project's construction. Such impact will be relatively short term and will not be substantially adverse provided permissible community noise levels as established by the town's noise ordinance are not exceeded. Therefore, the magnitude of impact foreseen upon surrounding properties as a result of noise impacts is deemed to be less than significant and no mitigation measures appear to be necessary.
- k. **Item No. 11 - Public Services. Fire Protection:** A review of Paradise Irrigation District comments received for the project reveals existing fire flows appear to be adequate to provide fire protection to the project site. Normal Fire Department response time to the site is well within established Town standards. The Paradise Fire Department will review the proposed project in the context of locally adopted provisions of the California Fire Code (CFC) to determine if any additional fire hydrants will be required and the Town of Paradise will condition the project accordingly. As with any development project, adopted CFC requirements will be required to be incorporated into the project's final design, including standards for minimum fire flows, fire hydrant placement, access, interior automatic fire sprinkler systems, fire alarm systems, smoke and heat detectors, etc. If the project is approved, the Town of Paradise shall condition the project in a manner deemed satisfactory to the Town Fire Chief to insure the

provision of adequate fire protection in compliance with Town-adopted UFC requirements. Therefore, fire protection impacts are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

- i. **Item No. 12 - Utilities and Service Systems.** Sewage Disposal - Comments generated by staff of the Town of Paradise Development Services Department onsite sanitation division indicate that existing soils and the project's proposed means of sewage treatment and disposal can be designed and constructed in a manner that legally satisfies the town's applicable onsite subsurface sewage disposal system development requirements.

Water Supply - Comments received from Paradise Irrigation District (PID) staff relative to the proposed project have not revealed a concern regarding the cumulative impact of recent and similar development upon the district's water supply service capacity. Until the PID reports otherwise, it is understood that domestic water supply is available to serve this proposed project.

- m. **Item 13 - Aesthetics.** Approximately twelve trees large enough to qualify for a Town of Paradise tree felling permit are proposed to be felled and removed from the site to accommodate all elements of the proposed development.

The project applicants, a registered professional forester and a certified arborist retained by the project applicants have made efforts to carefully design proposed project improvements with an eye toward tree retention and protection. As designed and proposed, installation of proposed project improvements will result in the retention of approximately five native trees. While attempts have been made to retain trees where possible, the nature of proposed improvements are not always conducive to tree retention.

The project is located along the west side of Pentz Road. Pentz Road is designated within the 1994 Paradise General Plan as a scenic highway embodied within a scenic highway corridor measured 100 feet from its centerline. Scenic highway corridors are subject to scenic highway corridor regulations contained within Title 17 of the Paradise Municipal Code (PMC). Certain land uses are statutorily prohibited (e.g., swap meets automobile sales lots, billboards, etc.) within the corridor. However, no such land uses are proposed to be established in association with the project.

All non-residential development projects are subject to the provisions of the Town's landscape ordinance and are required to provide for the installation/planting of a percentage of aesthetically appropriate landscaping materials/species to offset the loss of native vegetation. The project's required landscape plans shall be designed to mitigate the loss of trees and conditioned by the town. In addition, the proposed

architectural design of the proposed community care facility is characterized by contemporary architectural building design using stone accents, exposed heavy wood support beams, architectural roofing materials and earth-toned exterior colors not unlike existing residential structure designs in the project area.

The proposed project may produce new sources of light and potential glare associated with the eventual construction of parking facility lighting fixtures associated with the establishment of the proposed community care facility and related improvements. However, the Paradise Municipal Code contains provisions that prohibit unshielded lighting fixtures from projecting light directly upon adjacent properties within 200 feet of the light source. In addition, the Town will limit any project-related lighting to be no more than 16 to 18 feet above finished grade. Therefore, it is unlikely that these potential new light sources would be out of character with the existing surrounding residential setting to the extent that a significantly adverse environmental effect upon existing residences in the area would result. Accordingly, the magnitude of impact foreseen upon aesthetics is deemed to be less than significant and no mitigation appears to be warranted.

- n. **Item 14 - Cultural Resources**. The project site is located within an area that has been repeatedly disturbed and developed for various purposes over several decades. In addition, the site itself has been previously developed and significantly disturbed. Included with project application materials submitted to the Town was a written report prepared by a professional archaeologist and outlining the results of an archaeological survey of the site. The survey of the site did not reveal the presence of any archaeological or cultural resources on the site. Though it appears that the proposed project would have no significant adverse impacts on archaeological cultural resources, the possibility exists that such resources could be discovered during subsurface construction activities. As a result of this slight possibility, the Town of Paradise will condition any project approval to require all work to stop in the area of any discovery of archaeological resources until a qualified archaeologist provides an appropriate evaluation of the discovery. Therefore, no significant impact is expected and no mitigation measure appears to be warranted.

- o. **Item No. 15 - Recreation**. It is not anticipated that the proposed Grand Sierra Lodge project would have a significant adverse impact upon recreational resources in the Paradise Community, since the facility will not in and of itself provide additional housing opportunities for families. Therefore, impacts to recreational facilities are deemed to be less than significant and no mitigation measures related thereto appear to be necessary.

2. **Mitigation Monitoring**

Since the preparation of this initial study did not result in the necessity for the development and application of mitigation measures, no mitigation monitoring program for the project developer and/or the Town of Paradise to administer is necessary.

IV. DETERMINATION

On the basis of this initial evaluation:

1. I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
2. I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described in this document shall be added to the project. **A NEGATIVE DECLARATION WILL BE PREPARED.**
3. I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
4. I find that the proposed project **MAY** have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
5. I find that although the proposed project could have a significant effect on the environment, there **WILL NOT** be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR, including revisions or mitigation measures that are imposed upon the proposed project.



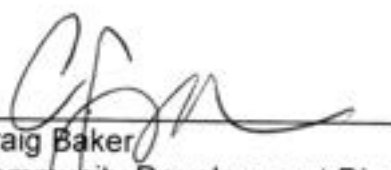
Craig Baker, Planning Director
Town of Paradise

Date 5/25/12

V. REFERENCES

1. Town of Paradise 1994 General Plan, Volumes I-III, Town of Paradise Community Development Department and Quad Consultants, October 1994.
2. Town of Paradise inventory map of archaeologically sensitive areas 1987, CSUC Anthropology Department.
3. Master storm drainage study and facilities plan, Paradise, California, 1980, McCain Associates.
4. Paradise Irrigation District water distribution map, 1993.
5. USGS topographic map: Paradise East Quadrangle, 1994.
6. The California natural diversity database, state Department of Fish and Game, 1988 and 1990.
7. "Soils of Paradise and Their Ability to Treat Domestic Wastewater," Wert and Associates, 1992.
8. Town of Paradise General Plan Land Use Designation Map; October, 1994.
9. Town of Paradise Zoning Ordinance (Title 17 of the Paradise Municipal Code).
10. Town of Paradise General Plan Land Use Constraints Diagram; October, 1994.
11. Field Inspection of the project Site by planning staff, March 28, 2012.
12. Grand Sierra Lodge project materials submitted to the Town of Paradise on March 21, 2012.

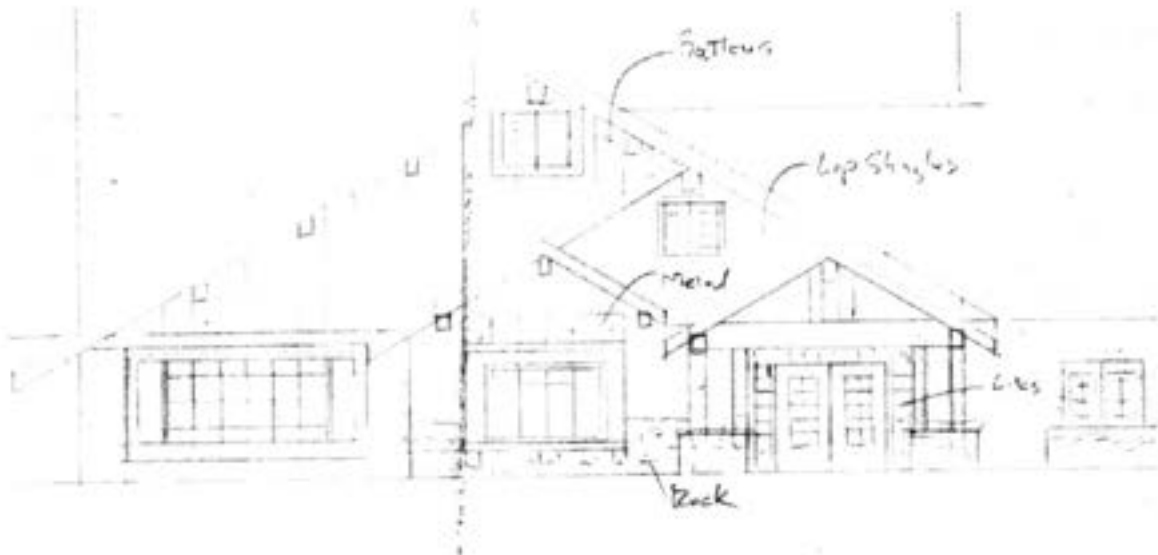
Initial Study
Prepared by:


Craig Baker
Community Development Director/Planning Director
Town of Paradise

GRAND SIERRA LODGE

RESIDENTIAL RETIREMENT COMMUNITY

PARADISE, CA



Prepared by

WLM CONSTRUCTION, INC.

WILLIAM & ANN MARTIN

FOR

JAY AND JOYCE POWELL FAMILY TRUST

Table of Contents

Letter of Authorization	.....	p 3
Project Summary	.....	p 4
Site Analysis	.....	p 5
Zoning and Land Use	.....	p 6
Neighborhood Support	.....	p 7
Wastewater	.....	p 8
Site Drainage	.....	p 8
Utilities	.....	p 8
Traffic	.....	p 8
Parking	.....	p 8
Fire Department	.....	p 9
Commitment to the Community	.....	p 9
Hospital	.....	p 10
Trees	.....	p 10
Development Design	.....	p 11
Development Team Bios	.....	p 11
Development Team Contact Information	.....	p 12

Letter of Authorization

JAY AND JOYCE POWELL FAMILY TRUST

1624 SOUTH COURT
VTSALIA, CALIFORNIA 91277

TELEPHONE: (559) 625-4111

FAX: (559) 625-4146

May 9, 2011

TO THE TOWN OF PARADISE

THE JAY AND JOYCE POWELL FAMILY TRUST OWNS THE REAL PROPERTY AT 6983 PENTZ ROAD IN PARADISE, CALIFORNIA, A.P.N. NUMBER 050-682-021-000.

WILLIAM L. MARTIN AND OR ANN MARTIN ARE AGENTS FOR THE TRUST IN ALL MATERS CONCERNING THE SAID REAL PROPERTY, INCLUDING, BUT NOT LIMITED TO MAKING APPLICATION FOR PRELIMINARY DEVELOPMENT REVIEW (PDR) TO THE TOWN OF PARADISE, CALIFORNIA.

SINCERELY,
JAY AND JOYCE POWELL FAMILY TRUST

BY 
JAY W. POWELL, TRUSTEE

Project Summary

The vision for the Grand Sierra Lodge of Paradise is to create, in a residential retirement community, the atmosphere of an elegant and comfortable mountain lodge. The proposed development is for a moderately sized, thirty-bedroom senior housing community; the average size in the U.S. is 58 units. The philosophy of Grand Sierra Lodge, as endorsed by the Assisted Living Federation of American (ALFA), is to provide residents freedom of choice, independence, dignity and quality of life. The Grand Sierra Lodge retirement living philosophy embraces community, quality of life as well as quality of care, and supports the resident's decision to live with companionship and increasing levels of supportive services in the place they call home.

The terms used to describe senior communities differs across the country; in California senior communities are identified as independent living, assisted living and skilled nursing. Independent living is for seniors in good health, who desire the convenience and safety of a retirement living community. Assisted living provides seniors with assistance with one or more 'activities of daily living' (ADL). Skilled nursing is for individuals who require total care. The mission of the Grand Sierra Lodge is to offer a continuum of care from independent to assisted living, so as residents need more assistance, it can be provided.

The Grand Sierra Lodge will be prepared to undergo a licensure process to become a licensed assisted living facility. In California, the State Department of Social Services (DSS) conducts the licensure process. Also described as Residential Care Facility for the Elderly (RCFE) in the California Codes, assisted living communities are required to provide a number of services to residents, including 24-hour supervision, three meals per day plus snacks in a group dining room, as well as a range of services that promote resident quality of life and independence. Staff job descriptions and training requirements are defined by the DSS, and reflect the responsibilities of each position according to professional standards, with emphasis on observation, communication and care. Unlike nursing facilities where skilled medical care is provided on site, assisted living offers transportation to medical professionals. In the event of a medical emergency, Feather River Hospital is 2.2 miles from the Grand Sierra Lodge.

Regulations specific to construction of senior living facilities are detailed in the California Health and Safety Code. Senior communities range in size from a small residential house, with 6 or fewer residents, up to very large facilities providing services to hundreds of residents. Current best practices in senior community design include large studios for private living, and comfortable spaces for socialization, such as conversation areas, patios and hearth rooms. This enables residents to maintain a private lifestyle, while enjoying socialization at their leisure. Facilities are designed for the mobility impaired.

Site Analysis

The proposed development site is a unique infill location at 6983 Pentz Road in Paradise, California. Pentz Road is an extension of a regional scenic corridor. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards: serene, beautiful, safe, home, special, Paradise, beautiful, trees, green, blue sky, clean air.



Northeast corner of property from Pentz Road

The property is one parcel, 1.66 acres, Assessor's Parcel Number (APN) 050-082-023. County records show a secondary address 6975 Pentz Road. The site has approximately 185 feet of frontage on Pentz Road.



Butte County Assessor Parcel Map, property shown upper right

Pentz Road is one of the three north-south arterials in the Town of Paradise. Data from February 1992 Average Daily Traffic Conditions report, by Dowling Associates at Pentz Road and Wagstaff Road, calculated a total volume of 21242. An excerpt from study data is provided below.

#19 Pentz Road and Wagstaff Road													
Base	2270	2080	4350	2070	2840	4910	2520	1920	4440	60	80	140	13840
Added	1344	1344	2687	733	733	1466	1624	1624	3249	0	0	0	7402
Total	3614	3424	7037	2803	3573	6376	4144	3544	7689	60	80	140	21242

Traffix System Version 6.4 (c) 1991 DA Licensed to Dowling Associates

Zoning and Land Use

The development site is zoned Rural Residential 2/3. This designation provides for single family detached homes, and secondary residential units as well as accessory rural uses. It may also provide for community care facilities, churches and other public uses. It is recommended the applicant apply for a zone change to TR 1/3 due to the size of the proposed facility.



Kingdom Court (left) and Pentz Road

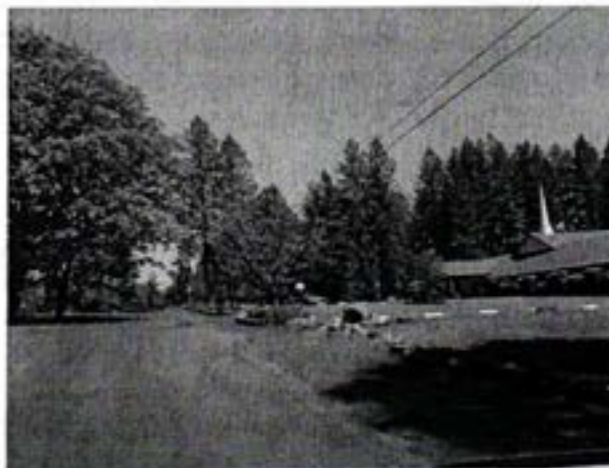
The development site and proposed retirement living home is buffered from neighboring properties by roadways, landscape and wooded areas. North of the property is a wooded, 20 foot wide extension of a Clark Road parcel. South is Kingdom Court, a 60-foot wide private drive, beyond which are rock wall planters and a church parking lot. East is Pentz Road, a busy scenic corridor. West is the side-yard of a 1.05 acre property on Kingdom Court. The proposed building is situated 209 feet from the west property boundary.



Kingdom Court with 6983 Pentz on left

Neighborhood Support

The developer has met with neighbors north and south of the property, the McAlexander family and elders of Paradise Ridge Southern Baptist Church, to invite ideas and opinions on design plans for the property. In 2006, the developers met with Mr. and Mrs. McAlexander at their home on Clark Road. The developer also wrote to Pastor Sorenson and the Elders of the Paradise Ridge Southern Baptist Church, to request the Church's input during the development phase. Because senior living communities make good neighbors, the developer anticipates support for this project.



Kingdom Court and Southern Baptist Church

Wastewater

L & L Surveying conducted percolation tests in 2005, and over winter ground water monitoring in 2007- 2008, and in 2008-2009. See test results provided to Town of Paradise Planning and Onsite Septic Systems Departments. The percolation test revealed no drainage constraints. A percolation study concluded most of the areas of the site drain well at an average 8 minutes per inch (TOP adjustment factor 12.8 minutes per inch).

The proposed septic system and leach field is shown on page CS of the Site Plan. Based on data collected, and from water records of like facilities, Rancho Engineering has designed a fully engineered system. An Advantex AX 100 Pod and Recirculation tank system with redundant pressurized distribution lines is proposed for this project. This will provide on site wastewater treatment for a thirty-bedroom facility.

The wastewater leach field location is designed to follow perpendicular to the natural slope of the property, as shown on page CS of the Site Plan. The proposed on-site septic system would be located in the westerly 140 feet of the property. Based on comprehensive soil tests, this area of the property is ideal for the absorption field.

Site Drainage

The proposed development, structure, parking lot and other improvements, will be designed for optimal water runoff to flow east to the existing drainage system parallel to Pentz Road.

Utilities

All utilities (electricity, gas, telephone, water) are accessible from Pentz Road. Culinary water and water for fire protection is provided by Paradise Irrigation District (PID). A 12 inch water main runs along Pentz. The developer will explore cost effective solar energy applications for the residential facility.

Traffic

Access to the development is from Pentz Road and the large frontage, 185 feet, allows for two ingress/egress locations.

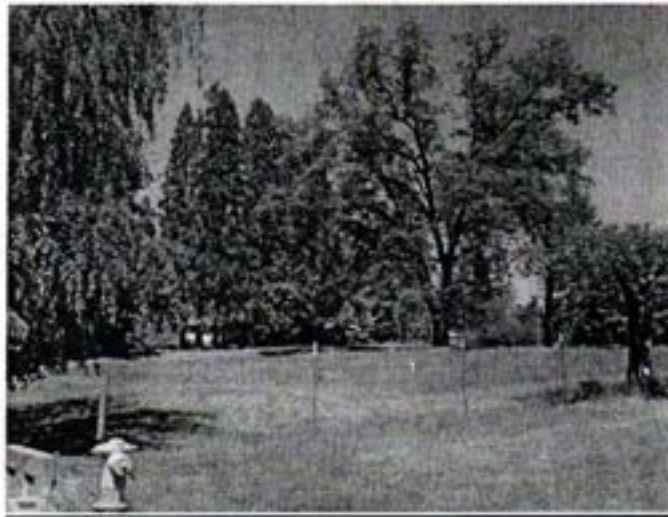
Parking

At this time, twenty (20) parking stalls are shown, including two ADA parking stalls and a commercial loading/unloading zone. In general, residents of assisted living facilities use public transportation or transportation provided by the home or family members. The

developer is proposing to designate one parking stall for an electric/hybrid vehicle recharging station.

Fire Department

Two fire hydrants are located adjacent to the site, one at the southeast corner, and the other at the southwest corner. Fire Town of Paradise Fire Station Number 1, at 767 Birch Street, is 4.1 miles from the development site. Fire flow tests have been conducted.



Southwest corner of property with fire hydrant on left

Commitment to the Community

The Jay and Joyce Powell Family Trust (Trust) acquired the property in November 2005. At the time of purchase the development site contained one 1242 square feet home built in approximately 1940, and a large storage shed.

Following an asbestos inspection and demolition analysis by Plumas Science Research, the Trust donated the structures, to the Town of Paradise Fire Department. Paradise Fire Department acquired a demolition permit on behalf of Powell Family Trust. The practice burn was conducted in June 2006. According to Fire Chief Jim Broshears retired, thirteen (13) different fire scenarios were conducted jointly with the California Department of Forestry (CDF). The practice and additional training were timely. By 2008, three major fires (Ophir, Humboldt, Butte Lightning Complex) were contained by the collaborative efforts of Town, County, State, and National resources.



practice burn of existing structures, June 2006

Hospital

Feather River Hospital, located at 5974 Pentz Road, is slightly over 2 miles from the development site along Pentz Road.

Trees

The arborists for the development are Tom Gomez of Tom's Tree Service and consulting arborist Randolph Vasquez. Tree types, size and location are shown on the Topographic Map prepared by L & L Surveying of Paradise. The map inventory records the following trees: 11 oaks, 3 pines, 4 firs, 3 walnut, 2 almond and an apple 'clump'. A full tree report, prepared by Vasquez is submitted with this application.



View from Pentz Road looking west

Development Design

The developer will build the facility in accordance with rules and regulations found in the California Building Code, applicable sections of the California Health and Safety Code, and the California Department of Social Services, Community Care Licensing Division Residential Care Facilities for the Elderly (RCFE) and values expressed by the American Assisted Living Association (ALFA). Rancho Engineering has been retained for all design and engineering associated with the project.

The vision for Grand Sierra Lodge of Paradise is to create the atmosphere of an elegant, but comfortable mountain lodge. All development will adhere to design specifications for the scenic corridor, as provided in Town of Paradise Design Standards. Specific design features will adhere to State of California RCFE regulations, specifically those under Article 5 Physical Environment and Accommodations. The Grand Sierra Lodge will follow current best practices in senior community design include large private spaces and comfortable rooms for socialization, such as conversation areas, patios and hearth rooms. Facilities will be designed to house the mobility impaired; the majority of private rooms will accommodate the non-ambulatory.

Development Team Bios

William "Bill" Martin has over 20 years in building, real estate, and related industries. He obtained his general contractors license in California in 1992. Since that time, he has supervised and built projects in commercial, residential, industrial, and underground construction projects in Central and Northern California. He has an Associates of Arts degree in Liberal Arts from College of the Sequoias and a Bachelors of Science in Business Administration from CSU, Fresno.

Ann Martin began her career in community planning as an intern in 1979. Since that time, she has worked in planning, administration and as a commissioner for a Local Agency Formation Commission for several cities and counties in California. Recently Ann became a trained and certified as a RCFE Administrator Certificate Holder, by the California Department of Social Services, Community Care Licensing Division. Ann has a bachelor's from UC Berkeley, a master's from CSU Northridge, and a doctorate from UC Davis. She has taught in the Geography and Planning department at CSU Chico.

Development Team Contact Information

Project Manager WLM Construction, Inc. License # 901894
Bill Martin CEO, Builder
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
wlmconstructioninc@gmail.com
(530) 520-5170 Bill

RCFE Consultant: Ann Martin, Ed.D. RCFE Administrator
Certificate Holder License #6009259740
CA Dept. of Social Services, Community Care Licensing
5806 Acorn Ridge Dr. / PO Box 2035
Paradise, CA 95967
(530) 520-5178 Ann

Building Engineer: Jarrod Holliday License # 66034
Frank Sands, Rancho Engineering
5550 Skyway
Paradise, CA 95969

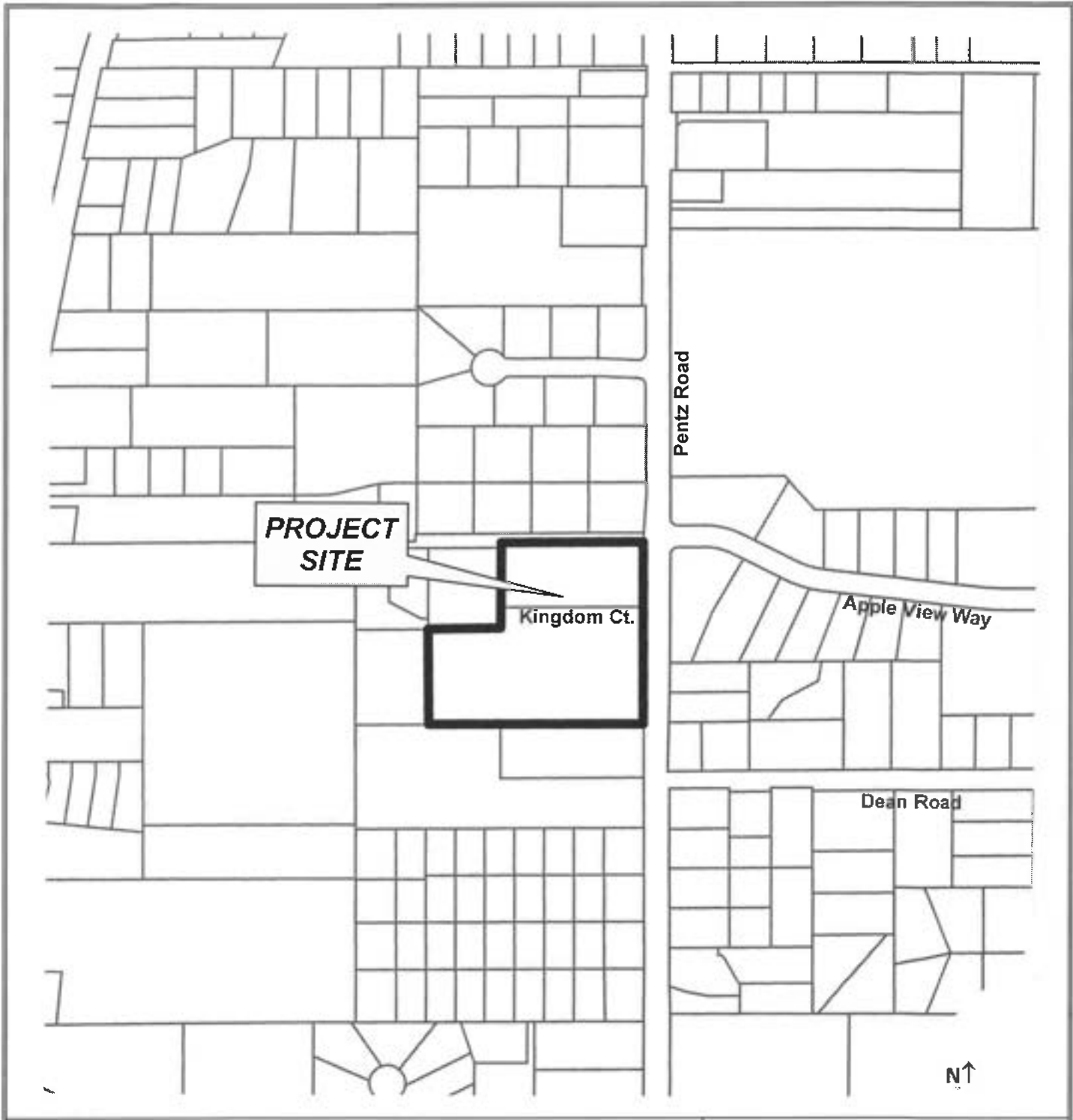
Civil Engineer: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Wastewater: Jarrod Holliday License # 66034
Rancho Engineering
5550 Skyway
Paradise, CA 95969

Surveyor: L & L Surveying
1007 Bille Road
Paradise, CA 95969
(530) 877-4300

Arborists: Tom Gomez, Certified Arborist License #1248
Tom's Tree Service
6791 Pentz Road
Paradise, CA 95969
(530) 877-6055

Randolph Vasquez, Registered Professional Forester #1884
Randolph Vasquez Forest Management
1600 Feather River Blvd, Suite B
Oroville, California 95965
(530) 534-5229



APPLICANT: BILL AND ANN MARTIN		6983 Pentz Road
OWNER: JAY AND JOYCE POWELL		
REQUEST: Use permit, General Plan amendment/rezone and tree felling permit applications proposing to establish a thirty room community care facility on a vacant 1.66 acre property. An adjacent property currently developed for religious assembly purposes is also proposed to be rezoned to better accommodate the existing land use.		
Zoning: RR-2/3	GENERAL PLAN: RR	FILE NOS. PL12-00073, PL12-00074, PL12-00075
ASSESSOR PARELS: 050-082-023, 050-082-105		HEARING DATE: 7/17/12

EXHIBIT "A"



APPLICANTS: BILL AND ANN MARTIN		6975 and 6983 Pentz Road
OWNERS: JAY AND JOYCE POWELL		
REQUEST: General Plan amendment/rezone application proposing the assignment of a Community Services (CS) land use designation for a vacant 1.66 acre property and an adjacent 4.16 acre property currently developed for religious assembly purposes.		
Existing General Plan designation: RR	Proposed General Plan designation: CS	FILE NO. PL12-00075
ASSESSOR PARCELS: 050-082-023 and 050-082-105		HEARING DATE: 8/7/12

Redaction Log

Reason	Page (# of occurrences)	Description
	47 (1)	
	48 (1)	
	49 (1)	
	50 (1)	
	124 (1)	
Privacy Information	125 (1)	---
	126 (1)	
	127 (1)	
	250 (1)	
	251 (1)	
	252 (1)	
	253 (1)	



Town of Paradise
Community Development Department
Building Resiliency Center
6295 Skyway
Paradise, CA 95969
(530) 872-6291 x411

October 21, 2021

Fiberco General Engineering Contractors Inc
Attn: David Zunga
211 N Granite St # E
Corona, CA 92879

TEMPORARY USE PERMIT

Subject: Fiberco Temporary Use Permit (PL21-00124); 6983 Pentz Rd; AP No.050-082-023

Dear Mr. Zunga:

Pursuant to the provisions of the Zoning Ordinance regulations of the Paradise Municipal Code section 17.32 and the conditions set forth below, your application for a temporary use permit to allow a "storage yard" land use on property located at 6983 Pentz Rd is **hereby authorized**, based on and subject to the following findings and conditions:

FINDINGS

- A. The proposed project is statutorily and categorically exempt from environmental review pursuant to Section 15304 (Class 4) of the California Environmental Quality Act guidelines.
- B. The temporary use will not adversely interfere with the normal conduct of other land uses and activities on the site or in the general vicinity, because it is a temporary use that is minor in nature.
- C. The temporary use will not adversely impact the public health, safety, or convenience, nor create undue traffic hazards or congestion, because it is temporary in nature, and it will not itself generate additional vehicle movement beyond that normally associated with the electrical undergrounding trucking routes.



CONDITIONS OF TEMPORARY LAND USE

1. The authorized temporary land use shall be confined to be maintained and conducted upon the affected property in a manner consistent with the project submittal materials and site map received on October 7, 2021.
2. An encroachment permit is required for a gravel construction entrance off Pentz Road
3. Portable toilets must be covered by a valid and effective contract from a licensed business for pumping and cleaning. If a portable toilet is used, the applicant shall provide a contract for pumping and cleaning to the Town planning department.
4. The initial term of this temporary use permit shall be until December 31, 2021.
5. Noise (generator, equipment or work performed) shall not be produced between the hours of 7:00 p.m. and 6:00 a.m. on weekdays or at any time on Sundays or holidays in such a manner that creates noise clearly audible across property boundary.
6. All fire apparatus access roadways must be maintained unobstructed and drivable by fire apparatus throughout the construction process. Access roadways shall be capable of holding an imposed load of 75,000 pounds including in adverse weather conditions
7. Where security gates are installed, they shall have means of emergency operation with the approval of Town of Paradise Fire Prevention Inspector.
8. All flammable vegetation shall be removed from each building site as required in the Paradise Municipal Code Chapter 8.58 - Defensible Space and Hazardous Fuel Management.
9. Meet the requirements of Paradise Irrigation District in accordance with written received from Blaine Allen dated October 14, 2021, and on file with the Town Development Services Department (attached).
10. The site occupied by the temporary land use shall be left free of debris, litter, or other evidence of temporary use upon completion or removal of the temporary use.



Town of Paradise
Community Development Department
Building Resiliency Center
6295 Skyway
Paradise, CA 95969
(530) 872-6291 x411

Failure to uphold and maintain compliance with the conditions of this permit may result in the permit being administratively revoked by the Town of Paradise (PMC Section 17.45.250)

If you wish to appeal the decision of the Planning Director, you must do so within seven (7) days of the date of the Planning Director's decision by filing your written appeal together with the appeal fee deposit of \$117.38 to the Development Services Department at the Building Resiliency Center. If no appeal is filed within the time period, your temporary use permit will be deemed approved.

If you have any questions regarding this matter, please do not hesitate to contact Town planning division staff at 530-872-6291 ext. 411.

Sincerely,

Susan Hartman
Planning Director

CC.: Joyce Powell, 835 W. Victor, Visalia CA 93277

REVISED 10/15/2021

PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT

APPLICANT: FIBERCO GEN. ENG CONTR.

PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFPUCD

1"=20'
SCALE

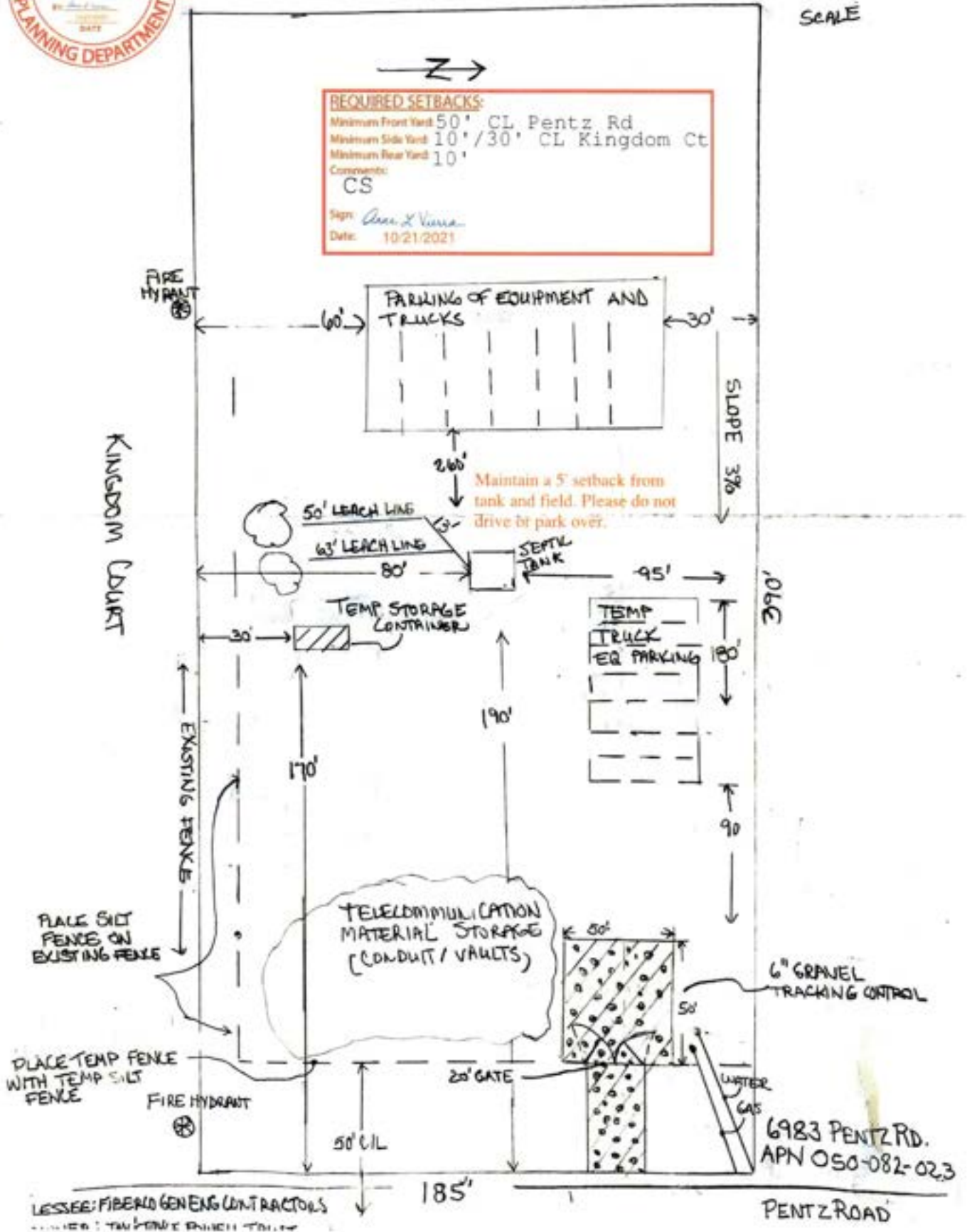


REQUIRED SETBACKS:

Minimum Front Yard 50' CL Pentz Rd
 Minimum Side Yard 10' / 30' CL Kingdom Ct
 Minimum Rear Yard 10'

Comments:
CS

Sign: *Anna X. Viana*
Date: 10/21/2021



LESSEE: FIBERCO GEN ENG CONTRACTORS

6983 PENTZ RD.
APN 050-082-023

PENTZ ROAD

NOTICE OF EXEMPTION

TO: File – [PL21-00124]; AP No. 050-082-023-000
FROM: Town of Paradise, Community Development Department,
Planning Division, 5555 Skyway, Paradise CA 95969

PROJECT TITLE: FIBERCO Laydown Temporary Use Permit

PROJECT APPLICANT: David Zuniga

PROJECT LOCATION: 6983 Pentz Rd, Paradise CA 95969

PROJECT DESCRIPTION: Proposed short term/temporary use of a laydown yard for materials and vehicles during underground utility work

APPROVING PUBLIC AGENCY: Town of Paradise

PERSON OR AGENCY CARRYING OUT PROJECT: Applicant & Owner: David Zuniga & Joyce Powell

EXEMPT STATUS:

- General Rule Exemption (Section 15061)
- Ministerial (Section 15268)
- Emergency Project (Section 15269)
- Categorical Exemption
Section 15304; Class 4

REASON FOR EXEMPTION: Minor alteration to land.

CONTACT PERSON: Susan Hartman, Planning Director
(530) 872-6291

SIGNATURE: 

Planning Director

Date: November 1, 2021

TOWN OF PARADISE PROJECT CONTROL SHEET

PROJECT #PL 21-00124 AP# 050-082-023 RECEIPT NO. 55754 \$ 174.97

PROJECT/APPLICANT NAME: Fiberco laydown yard

CONTACT PERSON: David Zuniga

PHONE: 951-858-5201 FAX: _____ EMAIL: dzuniga.fibercoinc@gmail.com

APPLICANT ADDRESS: 211 N Granite St #E, Corona, CA 92879

OWNER NAME: Joyce Powell PHONE: 530-520-5170

OWNER ADDRESS: 835 W. Victor, Visalia CA 93277

ENGINEER NAME: _____ PHONE: _____

SITE ADDRESS: 10983 Pentz Rd

DATE APP. REC'D 10/7/21 DATE DEEMED COMPLETE: _____ INCOMPLETE: _____

DRR'S	SENT	RECD	SENT	RECD	DRR'S	SENT	RECD	SENT	RECD
Eng	<u>10/8</u>	<u>10/14</u>	<u>10/19</u>	<u>10/20</u>	SBC	_____	_____	_____	_____
Onsite	<u>10/8</u>	<u>10/11</u>	_____	_____	PUSD	_____	_____	_____	_____
CSS	<u>10/8</u>	<u>10/11</u>	_____	_____	Fish & Game	_____	_____	_____	_____
Fire	<u>10/8</u>	<u>10/11</u>	_____	_____	Cal Trans	_____	_____	_____	_____
Police	<u>10/8</u>	<u>10/12</u>	_____	_____	Proj. Coord.	_____	_____	_____	_____
PID	<u>10/8</u>	_____	_____	_____	Recreation	_____	_____	_____	_____
CSUC	_____	_____	_____	_____	Bus./Housing	_____	_____	_____	_____
PG&E	_____	_____	_____	_____	BCAG	_____	_____	_____	_____
NRWS	_____	_____	_____	_____	_____	_____	_____	_____	_____
BCAQMD	_____	_____	_____	_____	_____	_____	_____	_____	_____

DATE NOTICE PUBLISHED: _____ DATE PROPERTY OWNERS NOTIFIED: _____ HEARING BODY: _____

DATE AGENDA PACKETS SENT: _____ PC PD TC

DATE NEG. DEC. MAILED: _____

ENVIRONMENTAL EIR _____ NEGATIVE DEC. _____ MITIGATED NEGATIVE DEC. _____

DETERMINATION: EXEMPT SECTION 15304 CLASS 4

DECISION PUBLIC HEARING/ACTION: DATE: _____ ACTION: _____

DATE: _____ ACTION: _____

TO TOWN COUNCIL: DATE: _____ ACTION: _____

DATE: _____ ACTION: _____

COMMENTS: _____

EXPIRATION DATE: _____ STAFF PERSON: Anne Viera

DEPARTMENT USE ONLY:

Receipt No. _____ Fee _____
Project No. _____

TOWN OF PARADISE APPLICATION FOR TEMPORARY USE PERMIT

Applicant's Name Fiberco General Engineering Contractors Inc Phone (951)858-5201
Applicant's Mailing Address 211 N Granite Street # E, Corona, CA 92879
Applicant's Interest in Property (Owner, Lessee*, Other*) Lessee
Applicant's Email dzuniga.fibercoinc@gmail.com
Owner's Name Joyce Powell, Trustee, Jay and Joyce Powell Family Trust Phone (530)520-5170
Owner's Mailing Address 835 W. Victor, Visalia, CA 93277
Property Address 6983 Pentz Road, Paradise, CA
AP Number(s) 050-082-023 Existing Use Vacant
Zone CS General Plan Designation _____ Lot Size 1.66 Acres

Explain briefly and completely the activities of the proposed temporary use: _____

Place temporary 6' chain link fence; 50' from C/L of Pentz road;

Place temporary gate to create a temporary construction equipment and material laydown area during construction of underground utilities (communication lines)

Days/Hours of Operation Monday - Friday 6AM - 6PM; Saturday 6AM - 4PM Sunday- Closed

Proposed method of sewage disposal Portable toilets Proposed source of water Permitted construction

Number of/type of fuel tanks proposed on-site None water meter

Additional information: _____

[If additional information and remarks, attach supplemental sheet(s).]

***NOTE:** If applicant is NOT the property owner, the owner's signature or attached letter of authorization signed by the landowner MUST accompany this application.

I hereby declare under penalty of perjury that the foregoing statements and the attached plot plan are true, accurate, complete, and correct to the best of my knowledge and belief.

Applicant's Signature  Date 10/7/2021

Property Owner Signature _____ Date _____

PLEASE ALLOW AT LEAST FOURTEEN (14) DAYS FOR PROCESSING



TOWN OF PARADISE

5555 Skyway
Paradise, CA 95969
(530) 872-6291

Receipt Number: 55754 Receipt Date/Time: 10/7/2021 3:07:06 PM

Permit Number: PL21-00124

Permit Type: Planning\Entitlement\NA\NA

Permit Description: TEMP USE - VEHICLE & EQUIPMENT LAYDOWN YARD

Parcel Number: 050-082-023-000

Address: 6983 PENTZ RD, PARADISE, CA 95969

Payment Amount: \$174.97

Payment Status: **Paid**

Payment Method: Check 1728 \$174.97

Paid By: FIBERCO GENERAL ENGINEERING CONTRACTORS

Received By: JBALLOU

Comments:

Contacts: Applicant FIBERCO GENERAL ENGINEERING CONTRACTORS INC
211 N GRANITE ST #E 951-858-5201
CORONA, CA 92879

Contacts: Primary Contact FIBERCO GENERAL ENGINEERING CONTRACTORS INC
211 N GRANITE ST #E 951-858-5201
CORONA, CA 92879

Fiberco Project description

Fiberco has been contracted to place underground communication conduit in the Town of Paradise.

This temporary use permit application is submitted for the following:

Address: 6983 Pentz Road

APN: 050-082-023

Estimated # of vehicles to be stored: approximately 8 construction trucks and related bore and trench equipment

Ancillary use: On site parking of employee vehicles during working hours.

Proposed day and hours of operation: Monday – Saturday 6 AM – 6PM; Sundays – no operations

Proposed deliveries of communication conduit vaults and materials related to the underground construction of communication lines. Deliveries will be made during working days hours 1-2 times per week.

Commercial Land Lease Agreement

This Agreement is between Jay and Joyce Powell Family Trust (Landlord) and FiberCo Inc. (Tenant) for the lease of one parcel of land for the purpose of a Lay Down Yard, in the Town of Paradise, California, as identified herein by Butte County Assessor's Parcel Number (APN) 050-082-023.

1. Description. Parcel contained in this Agreement are described and identified as follows: Butte County Assessor's Parcel Number (APN) 050-082-023; also known as 6983 Pentz Road in Paradise, California. Total acreage of the property under this land lease is 1.66 acres with 185 feet of street frontage on Pentz Road in Paradise, California.
2. Lease Term. The term of this lease begins on October 1, 2021 and ends December 31, 2021 except as described herein.
3. Compensation. Tenant agrees to pay rent to Landlord in the amount of \$2,490 per month (\$1500 per acre per month), payable on or before the first day each month. If paid after the fifth day of month, Tenant agrees to pay a late fee five percent (5%).
4. Permitted uses. Tenant must obtain any and all necessary permits and bonds at Tenants' expense from all oversight agencies. Tenant is permitted to use the property in accordance with a Temporary Use Permit issued by the Town of Paradise. Tenant agrees to employ best management practices to protect the property's environmental integrity and quality.

5. Prohibited Uses. Tenant shall not engage in any uses contrary to those described under the law or contrary to those allowed in the Temporary Use Permit.
6. Restoration. Tenant and Landlord agree and acknowledge the condition of the site as documented by photographs taken prior to occupancy. Tenant agrees to return the site to the pre-lease condition at the end of this agreement. Tenant also, agrees to restore the site and/or reclaim site to the satisfaction of The Town of Paradise.
7. Obligations. Landlord agrees to pay all taxes and assessments associated with this parcel, excluding any fines and/or penalties associated with the operation or use of property. Any such fines and/or penalties are the financial responsibility of the Tenant. Tenant agrees to pay for any and all utilities needed for the permitted use, including but not limited to water, electricity and portable toilets.
8. Liability. Tenant agrees to name Jay and Joyce Powell Family Trust as additionally insured on Tenants' commercial insurance liability policy and indemnify named parties from any and all lawsuits and fines that may arise from the Tenants' use of this property.
9. Lien. Tenant is prohibited from allowing any liens to be filed against Landlord's property, and to pay any liens that are a result of Tenants' use of property. In the event a subcontractor or supplier files a lien against the Landlord's property arising from the Tenants' use of land, Landlord is hereby absolved from any obligation, lien, or liability for material or service.
10. Sublease. No portion of the property shall be sublet by Tenant without prior written consent of Landlord.

11. Amendment. The terms of this lease, including the extension of term, may be amended, in writing, by mutual consent.
12. Default. The occurrence of any of the following constitutes a material default and breach of this lease by Tenant: (i) Tenant's failure to pay the Base Rent including additional rent or any other payment due under this Lease, where such failure continues for ten (10) days beyond Tenant's receipt of written notice from Landlord that such amount is due, (ii) the abandonment or vacation of the Premises by Tenant; (iii) Tenant's failure to observe and perform any other required provision of this Lease, where such failure continues for thirty (30) days after written notice from Landlord, provided that if the nature of the default is such that it cannot reasonably be cured within the 30-day period, Tenant shall not be deemed in default if it commences within such period to cure, and thereafter diligently prosecutes the same to completion; (iv) Tenant's making of any general assignment for the benefit of creditors; (v) the filing by or against Tenant of a petition to have Tenant adjudged a bankrupt or of a petition for reorganization or arrangement under any law relating to bankruptcy (unless, in the case of a petition filed against Tenant, the same is dismissed after the filing); (vi) the appointment of a trustee or receiver to take possession of substantially all of Tenant's assets located at the Premises or of Tenant's interest in this Lease, where possession is not restored to Tenant within thirty (30) days; or (vii) the attachment, execution or other judicial seizure of substantially all of Tenant's assets located at the Premises or of Tenant's interest in this Lease, where such seizure is not discharged within thirty (30) days. Any disputes occurring from this lease may be resolved by standard mediation practices, if necessary.

13. Access. Landowner retains their right to access the property for the purposes of inspection at any time. To facilitate access, Landlord must be provided keys and/or any other security access codes.

Signed:

by Joyce Powell, Trustee Oct 1, 2021
Joyce Powell, Trustee
Jay and Joyce Powell Family Trust
835 W. Victor
Visalia, CA 93277

by [Signature]
Signature

10/1/2021
Date

David Zuniga, President
Print name
FiberCo Inc.
211 Granite St.
Corona, CA

AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

Excluding the Notice to Property Owner, the execution of which I understand is my personal responsibility, I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project.

Scope of Construction Project/Description of Work: Luxy Decks YARD
Project Location/Address: 6983 Peoria Road Paradise
Name of Authorized Agent: David Zoung, FID #1046 (957) 328 5201
Address of Authorized Agent: 211 N. Granite St. E. Corona CA 92579

I declare under penalty of perjury that I am the property owner for the address listed above and I personally filled out the above information and certify its accuracy. *Note: A copy of the owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.*

X

Signature of Property Owner: [Signature] Date: 04.06.2021

*Acceptable Verification of Property Owner Signature for the Town of Paradise
In person:

Present original State issued Driver's License or State issued Identification Card

Agent for Owner:

Copy of a valid State issued Driver's License or State issued Identification Card

Present notarization of signatures for both 1.) Owner's Acknowledgment and Verification of Information and
2.) Authorization of Agent to Act on Property Owner's Behalf

Staff Signature

Date

Erosion and Sediment Control Plan

Applicant: Fiberco General Engineering Contractors Inc

Address: 6983 Pentz Road, Paradise

Fiberco construction laydown yard activities will be conducted under site-specific SWPPPs. Site-specific SWPPPs will include erosion control and sedimentation measures, including BMPs, for soil-disturbing activities.

There will be no excavation activities proposed at this location. It will be a lay down area of materials and for overnight parking of trucks and equipment related to the construction of Utility lines.

Elements of the "Town of Paradise Stormwater Pollution Prevention Program" (attached) will be incorporated into site-specific SWPPPs. Specifically, site-specific SWPPPs will include the following elements as needed:

- Location of all soil-disturbing activities
- Location of all streams and drainage structures that would be directly affected by soil disturbing activities (such as stream crossings by access roads)
- Location and type of all BMPs that would be installed to protect aquatic resources
- Proposed schedule for the implementation and maintenance of erosion control measures
- Description of erosion control practices, including appropriate design details

Fiberco Proposed Air quality and dust control plan:

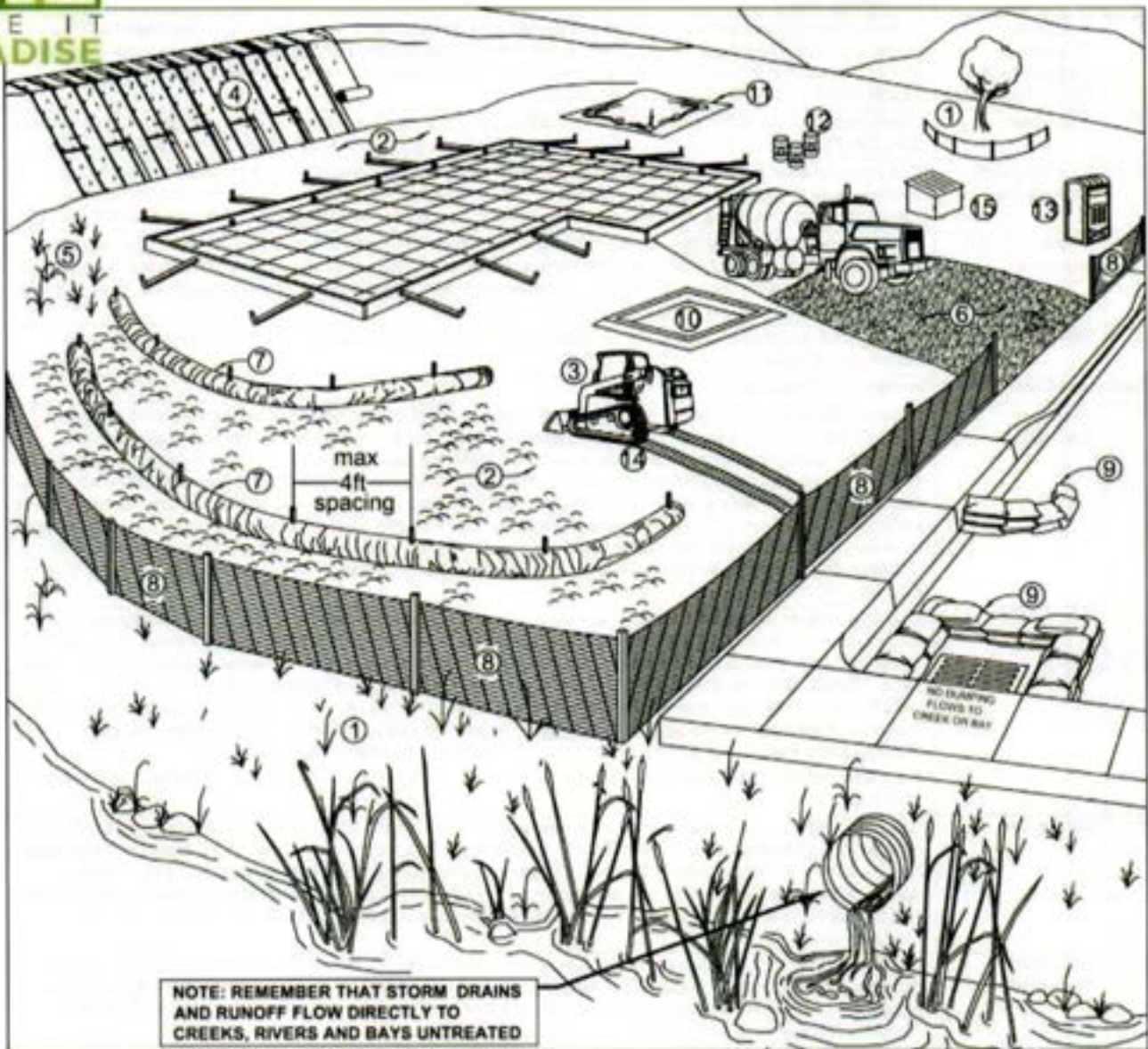
6983 Pentz Road

- For areas to be disturbed of any size the following will be observed as standards to be met by activities generating fugitive dust. Minimum dust control requirements, summarized below, are to be initiated at the start and maintained throughout the duration of construction:
- Unpaved areas subject to vehicle traffic must be stabilized by being kept wet, treated with a chemical dust suppressant, or covered. In geographic ultramafic rock units, or when naturally occurring asbestos, ultramafic rock, or serpentine is to be disturbed, the cover material shall contain less than 0.25 percent asbestos as determined using the bulk sampling method for asbestos in Section 502.
- The speed of any vehicles and equipment traveling across unpaved areas must be no more than 15 miles per hour unless the road surface and surrounding area is sufficiently stabilized to prevent vehicles and equipment traveling more than 15 miles per hour from emitting dust exceeding Ringelmann 2 or visible emissions from crossing the project boundary line.
- Storage piles and disturbed areas not subject to vehicular traffic must be stabilized by being kept wet, treated with a chemical dust suppressant, or covered when material is not being added to or removed from the pile.
- Prior to any ground disturbance, including grading, excavating, and land clearing, sufficient water must be applied to the area to be disturbed to prevent emitting dust exceeding Ringelmann 2 and to minimize visible emissions from crossing the boundary line.
- Construction vehicles leaving the site must be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off site.
- When wind speeds are high enough to result in dust emissions crossing the boundary line, despite the application of dust mitigation measures, grading and earthmoving operations shall be suspended.
- No trucks are allowed to transport excavated material off-site unless the trucks are maintained such that no spillage can occur from holes or other openings in cargo compartments, and loads are either;
- Covered with tarps or wetted and loaded such that the material does not touch the front, back, or sides of the cargo compartment at any point less than six inches from the top and that no point of the load extends above the top of the cargo compartment.
- A person shall take actions such as surface stabilization, establishment of a vegetative cover, or paving, to minimize wind-driven dust from inactive disturbed surface areas.
- Minimize and clean-up the track-out of bulk material or other debris onto public paved roadways.



Town of Paradise Stormwater Pollution Prevention Program

Best Management Practices For Small Construction Projects



NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNTREATED

<u>Erosion Controls</u>	<u>Sediment Controls</u>	<u>Good Housekeeping</u>
NS Scheduling	6. Tracking Controls	10. Concrete Washout
1. Preserve Vegetation & Creek SetBacks	7. Fiber Rolls	11. Stockpile Management
2. Soil Cover	8. Silt Fence	12. Hazardous Material Management
3. Soil Preparation/ Roughening	9. Drain Inlet Protection	13. Sanitary Waste Management
4. Erosion Control Blankets	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
5. Revegetation		15. Litter and Waste Management

NS=not shown on graphic

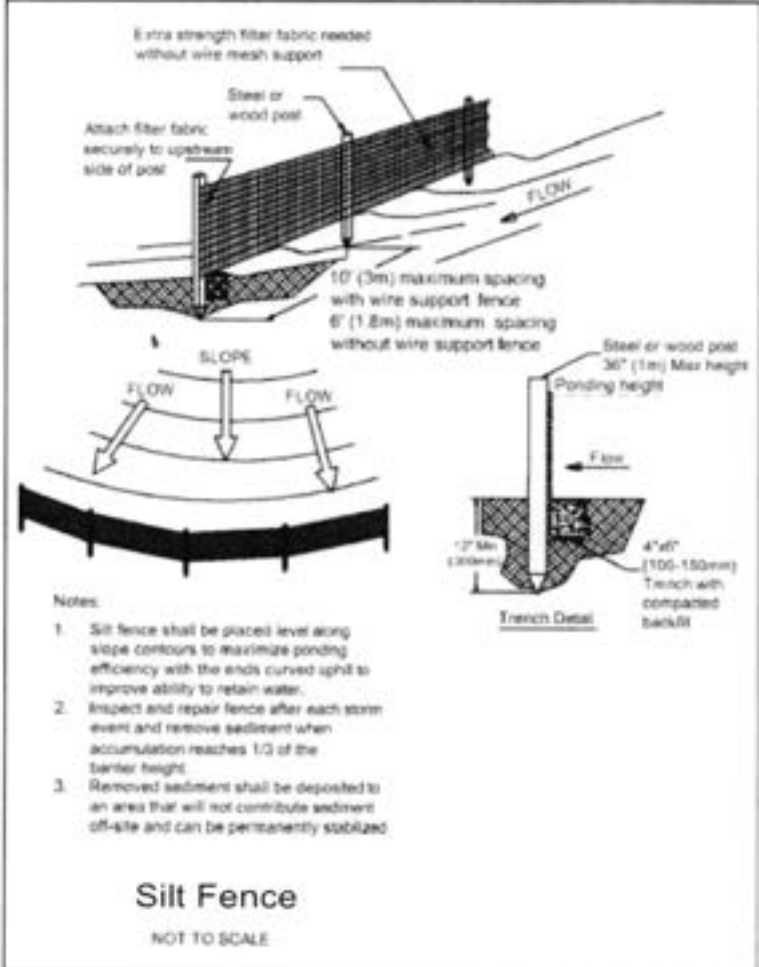
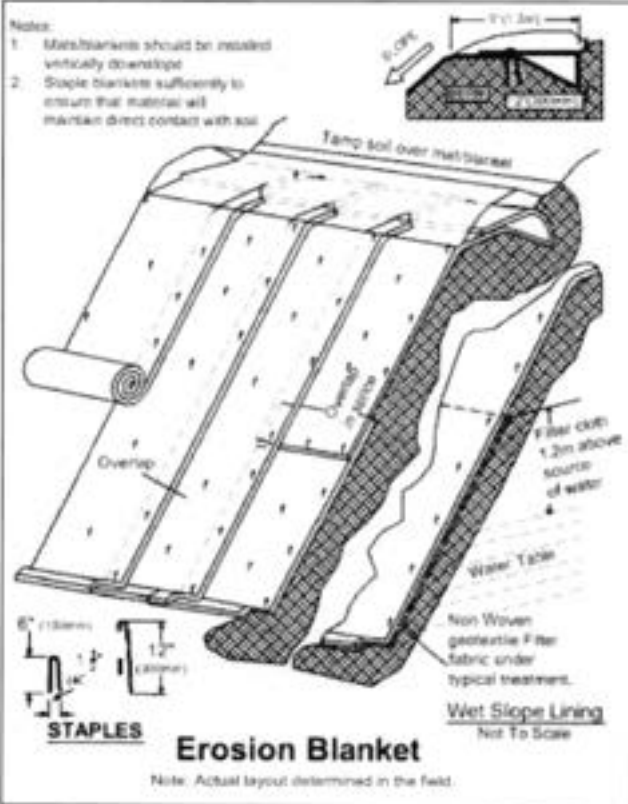
Note: Select an **effective combination of control measures from each category**, Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be **continually implemented and maintained throughout the project** until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. **Inspect and maintain the control measures** before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the *California Best Management Practices Handbook Portal: Construction* at <http://www.casqa.org>. Caltrans factsheets are available in the *Construction Site BMP Manual March 2003* at <http://www.dot.ca.gov/hq/construc/stormwater/manuals.htm>.

Control Measure		General Description
Erosion Control Best Management Practices		
N/A	Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. <i>For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.</i>
1	Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. <i>For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.</i>
2	Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). <i>For more info see the following factsheets: CASQA: EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.</i>
3	Soil Preparation/Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stair stepping, etc.). <i>For more info see the following factsheets: CASQA: EC-15.</i>
4	Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/nps/Wildlife-Friendly_Products.pdf . <i>For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.</i>
5	Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. <i>For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.</i>
Sediment Control Best Management Practices		
6	Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient radii for turning in and out of the site. Rumble pads or rumble racks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. <i>For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.</i>
7	Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll upslope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/nps/Wildlife-Friendly_Products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. <i>For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).</i>
8	Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. <i>For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.</i>
9	Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-1-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. <i>For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.</i>
N/A	Trench Dewatering	Follow MCSTOPPP BMPs for trench dewatering. http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/~media/Files/Departments/PW/mcstoppp/development/TrenchingSWReqMCSTOPPPFinal6_09.pdf . <i>For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.</i>
Good Housekeeping Best Management Practices		
10	Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. <i>For more info see the following factsheets: CASQA: WM-8; or Caltrans: WM-8.</i>
11	Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. <i>For more info see the following factsheets: CASQA: WM-3 or Caltrans: WM-3.</i>
12	Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. <i>For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.</i>
13	Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pan/tray (most vendors provide these). <i>For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.</i>
14	Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment. Immediately clean up any spills or drips. <i>For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.</i>
15	Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. <i>For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.</i>

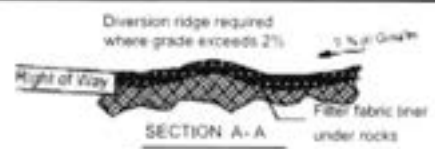
Notes:

1. Mats/blanks should be installed vertically down slope
2. Staple blanks sufficiently to ensure that material will maintain direct contact with soil

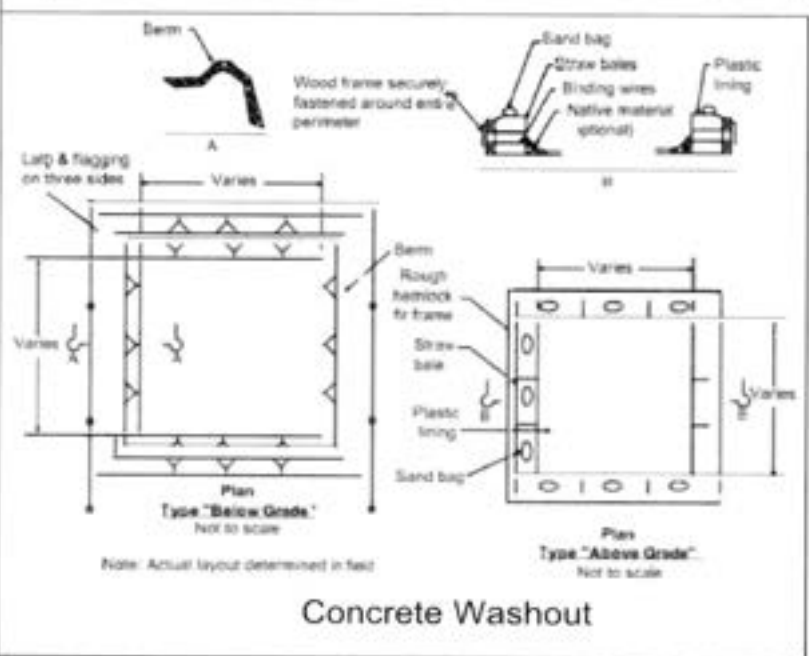


Notes:

1. Silt fence shall be placed level along slope contours to maximize ponding efficiency with the ends curved up to improve ability to retain water.
2. Inspect and repair fence after each storm event and remove sediment when accumulation reaches 1/3 of the barrier height.
3. Removed sediment shall be deposited to an area that will not contribute sediment off-site and can be permanently stabilized.



Site Entrance





ENCROACHMENT PERMIT APPLICATION

SEE PAGE 2 FOR GENERAL CONDITIONS

Date: 5/18/2021

Permit No. EN21-00164

Owner Information	
Name:	Comcast
Street Address:	8505 Tam O Shanter Dr.
City, State, Zip:	Stockton, CA 95210
Telephone No.:	877-567-6694
Fax No.:	Mobile No.:

Submittal Requirements	
<input checked="" type="checkbox"/>	Application
<input checked="" type="checkbox"/>	Traffic Control Plan
<input type="checkbox"/>	Insurance Certificates
<input type="checkbox"/>	Bond

Contractor Information	
Name:	Sefnco Communications
Street Address:	8615 Elder Creek Rd
City, State, Zip:	Sacramento, CA 95828
Telephone No.:	916-264-9070
Fax No.:	Mobile No.:

Fees	
Filing	
Inspection	
Tech/Gen.	
Total	

CONTRACTORS LICENSE LAW

I DECLARE UNDER PENALTY OF PERJURY (CHECK ONE):

I AM LICENSED UNDER PROVISIONS OF CIBAP, 9, DIV. 3 OF THE BUSINESS AND PROFESSIONS CODE AND MY LICENSE IS IN FULL FORCE AND EFFECT.
LICENSE # 913212
CLASS: C7a

I, AS THE OWNER, OR MY EMPLOYEES WITH WAGES AS THEIR SOLE COMPENSATION, WILL DO THE WORK, AND THE STRUCTURE IS NOT INTENDED OR OFFERED FOR SALE. (SEC. 7044)

I AM EXEMPT UNDER SEC. _____, BUSINESS AND PROFESSIONAL CODE FOR THIS REASON _____

WORKERS COMPENSATION INSURANCE

I DECLARE UNDER PENALTY OF PERJURY (CHECK ONE):

THE PERMIT IS FOR \$500.00 (VALUATION) OR LESS.

I HAVE PLACED ON FILE WITH THE TOWN OF PARADISE INSPECTION DEPARTMENT A CERTIFICATE OF WORKERS COMPENSATION INSURANCE OR A CERTIFICATE OF CONSENT TO SELF-INSURE.

I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE W.C. LAWS OF CALIFORNIA.

NOTICE TO APPLICANT: IF, AFTER MAKING THIS STATEMENT, SHOULD YOU BECOME SUBJECT TO W.C. PROVISIONS OF THE LABOR CODE, YOU MUST FORTHWITH COMPLY WITH SUCH PROVISIONS OR THIS PERMIT SHALL BE DEEMED REVOKED.

Project Information	
Contractor Job No.:	JB650790
APN (if applicable):	
Location of Work:	Sweetbriar Ln. Paradise, CA
Work Description:	Trench at this location

Type of Work (Check all which apply):

Driveway
Culvert Yes No
Size & Location to be approved by Town Engineer

Public Right-of-Way Improvements

Utility

Other _____

NOTE: WHEN ANY EXCAVATION IS TO TAKE PLACE WITHIN 300 FEET OF A SIGNALIZED INTERSECTION, PERMITTEE SHALL SECURE LOCATION SERVICE OF SIGNAL LOOP AND WIRING FROM REPUBLIC ELECTRIC (1-800-544-4876) AND SHALL BE REQUIRED TO PAY FOR THAT SERVICE.

NOTE: A MINIMUM OF 24-HOURS NOTICE IS REQUIRED TO SCHEDULE AN INSPECTION BY THE TOWN IN CONNECTION WITH THIS ENCROACHMENT PERMIT.

NOTE: THIS PERMIT EXPIRES ONE (1) YEAR FROM THE APPROVAL DATE UNLESS OTHERWISE NOTED. IF YOU REQUIRE AN EXTENSION OF TIME, PLEASE CONTACT THE TOWN ENGINEERS OFFICE.

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH THE GENERAL CONDITIONS (SEE PAGE 2) AND TO ALL TOWN ORDINANCES, TOWN STANDARDS, STATE AND FEDERAL LAWS RELATING TO CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THE TOWN OF PARADISE TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTIONS PURPOSES. I ALSO AGREE TO WAIVE, INDEMNIFY AND KEEP HARMLESS THE TOWN AND ITS AGENTS AGAINST ALL LIABILITIES, JUDGMENTS, COSTS, AND EXPENSES WHICH MAY IN ANY WAY ACCRUE AGAINST SAID AGENCY IN CONSEQUENCE OF THE GRANTING OF THIS PERMIT

Yang Xiong 5/18/2021 Owner Contractor Agent
Applicant Signature Date (circle one)

Approval Special Conditions:

Follow MUTCD for traffic control. Contact inspector 24 Hours before work being preformed.

Approved by: Kevin Peppas Date: 5/20/2021 Inspection Contact No.: (530)872-6291 EX108



ENCROACHMENT PERMIT GENERAL CONDITIONS

1. IT IS UNDERSTOOD AND AGREED THAT THE TOWN HAS PRIOR RIGHT TO THE USE OF ITS RIGHT-OF-WAY. IT IS FURTHER UNDERSTOOD AND AGREED BY THE PERMITTEE THAT THE DOING OF ANY WORK UNDER THIS PERMIT SHALL CONSTITUTE AN ACCEPTANCE OF ALL THE PROVISIONS CONTAINED HEREIN AND FAILURE ON THE PERMITTEE'S PART TO COMPLY WITH ALL PROVISIONS WILL BE CAUSE FOR REVOCATION OF THIS PERMIT. EXCEPT AS OTHERWISE PROVIDED FOR PUBLIC AGENCIES AND FRANCHISE HOLDERS, THE PERMIT IS REVOCABLE AT ANY TIME. THIS PERMIT IS TO BE ON THE JOB AT ALL TIMES WHILE THE WORK IS BEING DONE.
2. ALL WORK SHALL BE DONE SUBJECT TO THE SUPERVISION OF AND TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT OF THE TOWN. THE PERMITTEE SHALL, AT ALL TIMES DURING THE PROGRESS OF THE WORK, KEEP THE TOWN ROADWAY IN AS NEAT AND CLEAN A CONDITION AS IS POSSIBLE AND UPON COMPLETION OF THE WORK GRANTED HEREIN, SHALL LEAVE THE TOWN ROADWAY IN A THOROUGHLY NEAT, CLEAN AND USABLE CONDITION.
3. THE PERMITTEE AGREES BY THE ACCEPTANCE OF THIS PERMIT TO PROPERLY MAINTAIN ANY ENCROACHMENT PLACED BY THE PERMITTEE ON ANY PART OF THE TOWN ROADWAY AND TO IMMEDIATELY REPAIR ANY INJURY TO ANY PORTION OF THE ROADWAY WHICH OCCURS AS A RESULT OF THE ENCROACHMENT, UNTIL SUCH TIME AS THE PERMITTEE MAY BE RELIEVED OF THE RESPONSIBILITY OF SUCH ENCROACHMENT BY THE TOWN DEPARTMENT OF PUBLIC WORKS.
4. IT IS FURTHER AGREED BY THE PERMITTEE THAT WHENEVER CONSTRUCTION, RECONSTRUCTION, OR MAINTENANCE WORK UPON THE HIGHWAY MAY REQUIRE, THE INSTALLATION PROVIDED FOR HEREIN SHALL, UPON REQUEST OF THE TOWN DEPARTMENT OF PUBLIC WORKS, BE IMMEDIATELY REMOVED BY AND AT THE SOLE EXPENSE OF THE PERMITTEE.
5. NO MATERIAL USED FOR FILL OR BACKFILL IN THE CONSTRUCTION OF THE ENCROACHMENT SHALL BE BORROWED OR TAKEN FROM WITHIN THE TOWN RIGHT-OF-WAY.
6. WHERE APPLICABLE, PERMITTEE SHALL SUBMIT PROPOSED TRAFFIC CONTROL PLAN. ALL TRAFFIC CONTROL METHODS SHALL BE CALIFORNIA MUTCD PART 6 COMPLIANT. AT LEAST ONE ELEVEN FOOT (11') LANE OF ANY PUBLIC ROAD, UNDER THE JURISDICTION OF THE TOWN OF PARADISE, AND OTHER PUBLIC ROADS JUNCTIONING OR INTERSECTING THEREWITH, SHALL BE KEPT OPEN FOR TRAVEL BY THE GENERAL PUBLIC AT ALL TIMES. NO PUBLIC ROAD UNDER THE JURISDICTION OF THE TOWN SHALL BE CLOSED TO TRAVEL BY THE GENERAL PUBLIC WITHOUT SPECIAL PERMISSION, IN WRITING, OF THE TOWN ENGINEER.
7. THE PERMITTEE, BY THE ACCEPTANCE OF THIS PERMIT, SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITY FOR PERSONAL INJURY OR DAMAGE TO PROPERTY WHICH MAY ARISE OUT OF THE WORK HEREIN PERMITTED OR WHICH MAY ARISE OUT OF THE FAILURE ON THE PART OF THE PERMITTEE TO DO THE WORK PROVIDED FOR UNDER THIS PERMIT. IN THE EVENT ANY CLAIM OF SUCH LIABILITY IS MADE AGAINST THE TOWN OR ANY DEPARTMENT, OFFICIAL, OR EMPLOYEE THEREOF, THE PERMITTEE SHALL DEFEND, INDEMNIFY, AND HOLD THEM AND EACH OF THEM HARMLESS FOR SUCH A CLAIM.
8. TRENCH BACKFILL AND PAVEMENT RESTORATION SHALL COMPLY WITH STANDARD DETAIL TB1 AND DETAIL TB2, WHERE APPLICABLE. ALL EXCAVATIONS SHALL BE BACKFILLED AND COMPACTED IMMEDIATELY AFTER WORK THEREIN HAS BEEN COMPLETED. TRENCHES SHALL NOT BE LEFT OPEN FARTHER THAN 300 FEET IN ADVANCE OF THE PIPE LAYING OPERATIONS UNLESS OTHERWISE PERMITTED BY THE ENGINEER. UNLESS OTHERWISE PERMITTED UNDER THE SPECIAL CONDITIONS, BACKFILL SHALL BE PLACED AND MECHANICALLY COMPACTED IN SUCH A MANNER THAT THE RELATIVE COMPACTION THROUGHOUT THE ENTIRE FILL WITHIN THE TOWN ROAD RIGHT-OF-WAY SHALL CONFORM TO THE PERCENTAGE OF COMPACTION AS STATED ON TOWN STANDARD DETAILS. PERMITTEE SHALL NOTIFY THE TOWN INSPECTOR 24 HOURS BEFORE BACKFILLING AND / OR PAVING.
 - a. ALL INSTALLATIONS, PARALLEL WITH ROADWAY, SHALL BE PLACED AS CLOSE TO THE RIGHT-OF-WAY AS POSSIBLE.
 - b. ALL PAVEMENTS, CURBS, GUTTERS, SIDEWALKS, BORROW DITCHES, PIPES, HEADWALLS, ROAD SIGNS, TREES, SHRUBBERY AND / OR OTHER PERMANENT ROAD FACILITIES IMPAIRED BY OR AS A RESULT OF, CONSTRUCTION OPERATIONS AT THE CONSTRUCTION SITE(S), OR AT OTHER LOCATION(S) OCCUPIED BY MATERIALS AND / OR EQUIPMENT SHALL BE RESTORED IMMEDIATELY UPON BACKFILLING OF THE EXCAVATION TO THE ORIGINAL GRADES AND CROSS SECTIONS, AND TO A CONDITION AS GOOD AS, OR BETTER THAN, EXISTING PRIOR TO CONSTRUCTION.
 - c. ALL SURFACING MATERIALS OF ROADWAYS AND DRIVEWAY APPROACHES CUT OR DAMAGED BY OR AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE REPLACED WITHIN ONE WEEK FOLLOWING THE BACKFILLING OF EXCAVATION, WEATHER PERMITTING, WITH COMPACTED LAYERS OF SURFACING MATERIALS AT LEAST AS THICK AS THE EXISTING, AND NO LESS THAN TWO INCHES (2") OF HOT MIX ASPHALT OVER EIGHT INCHES (8") OF AGGREGATE BASE, ACCORDING TO CURRENT CALIFORNIA STATE SPECIFICATIONS.
9. WHENEVER NECESSARY TO SECURE PERMISSION FROM ABUTTING PROPERTY OWNERS, SUCH AUTHORITY MUST BE SECURED BY THE PERMITTEE PRIOR TO STARTING WORK.
10. THE FUTURE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC SHALL BE GIVEN EVERY CONSIDERATION IN THE LOCATION AND TYPE OF CONSTRUCTION. PERMITTEE SHALL CAUSE TO BE PLACED, ERECTED AND MAINTAINED ALL WARNING SIGNALS, LIGHTS, BARRICADES, SIGNS, AND OTHER DEVICES OR MEASURES ESSENTIAL TO SAFEGUARD TRAVEL BY THE GENERAL PUBLIC OVER AND AT THE SITE OF WORK AUTHORIZED HEREIN.
11. IF THE CONSTRUCTION WORK COVERED BY THIS PERMIT IS TO BE DONE BY A PRIVATE CONTRACTOR HIRED BY THE APPLICANT, APPLICANT SHALL NOTIFY CONTRACTOR AS TO THE SPECIAL CONDITIONS AND REQUIREMENTS CONTAINED HEREIN.
12. PERMITTEE AGREES THAT IF THE ROADWAY AND / OR ADJACENT AREA IS NOT LEFT IN AN ACCEPTABLE MANNER TO THE TOWN ENGINEER, AND IF SUCH NOTICED DEFICIENCIES ARE NOT CORRECTED WITHIN THIRTY (30) DAYS OF WRITTEN NOTICE THEREOF, PERMITTEE AGREES TO PAY THE TOWN OF PARADISE FOR ANY AND ALL COSTS NECESSARY TO CORRECT SAID DEFICIENCIES.

SWEETBRIAR LN
Paradise, CA 95969



SCOPE OF WORK

- * TRENCH AT THIS LOCATION

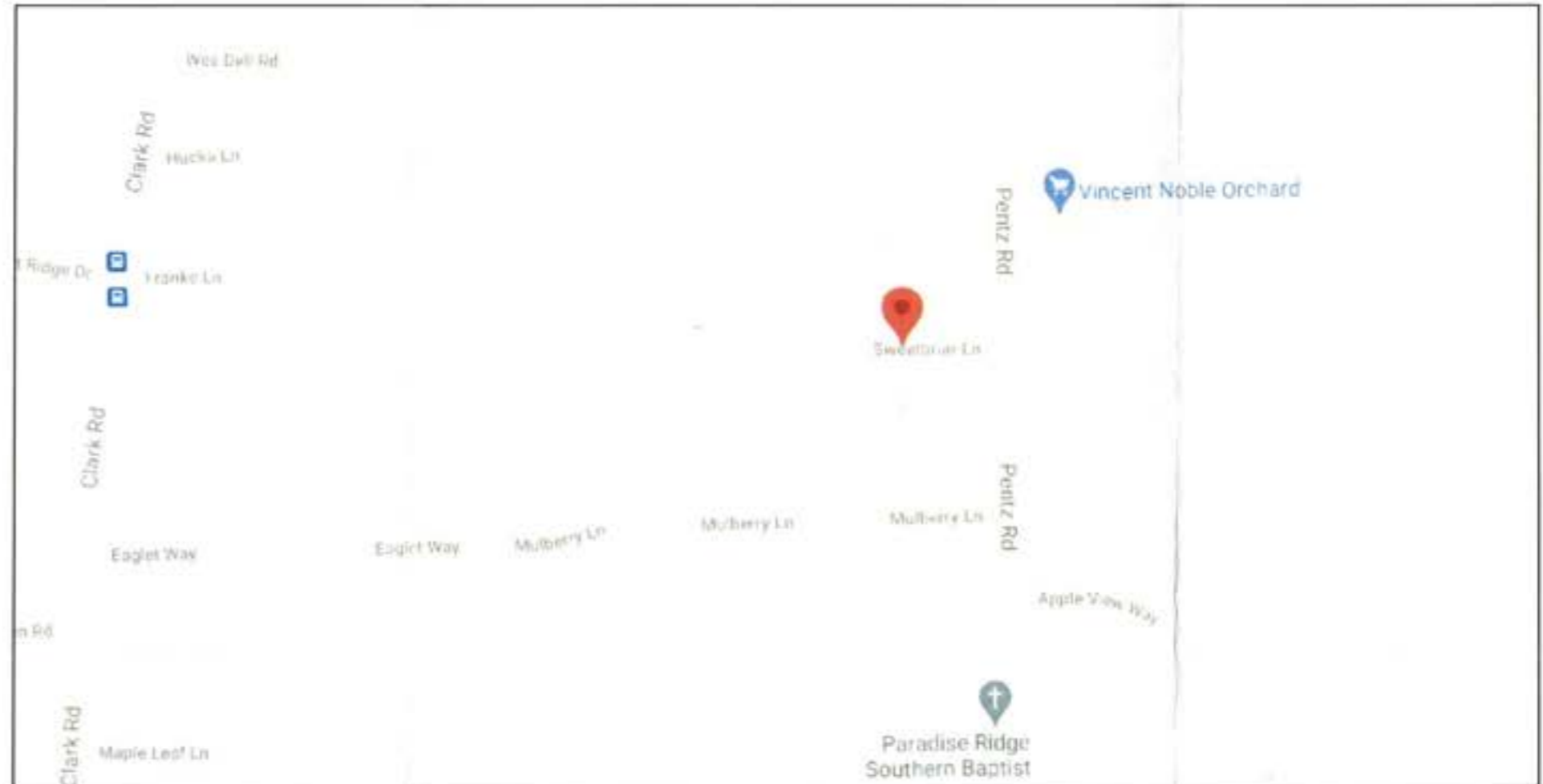
BUILD

- TRENCH
- BROOF
- OVER PULL

LEGEND

- SHEET 1 : Cover Sheet
- SHEET 2: Legends & General Notes
- SHEET 3: Site Plan
- SHEET4: T-13

VICINITY MAP



THIS IS A COMCAST DOCUMENT, PROPRIETARY & CONFIDENTIAL

DESIGN:	REV	DESCRIPTION	DATE
DRAWN BY:		SEFNCO	
APPROVED:			
APPROVED:			
APPROVED:			



IMPORTANT NOTICE

Section # 4216/4217 of the Government Code requires a Dig Alert Identification Number to be issued before a "Permit to Excavate" will be valid For your Dig Alert I.D.

CALL TOLL FREE
48 HOURS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT
1-800-227-2600



SWEETBRARE LN, PARADIESE

PROJ#: JB0000650790

CONSTRUCTION TYPE: TRENCH & BORE & OVER PULL

SYSTEM:

NODE:

LINETYPES

	PROPOSED TRENCH/BORE ROUTE
	EXISTING COMCAST ROUTE
	EXISTING TELEPHONE SYSTEM
	EXISTING ELECTRICAL SYSTEM
	EXISTING GAS SYSTEM
	EXISTING TV SYSTEM
	EXISTING IRRIGATION SYSTEM
	EXISTING JOINT TRENCH
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	EXISTING FENCELINE
	PROPERTY LINE
	EXISTING AERIAL LINE
	PROPOSED NEW AERIAL LINE
	EXISTING UNDERGROUND LINE
	PROPOSED UNDERGROUND LINE

ABBREVIATIONS

COMCAST	COMCAST	PL	PROPERTY LINE
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
(E)	EXISTING	R/W	RIGHT OF WAY
FOC	FACE OF CURB	SD	EXISTING STORM DRAIN
MIN	MINIMUM	SS	EXISTING SANITARY SEWER
MAX	MAXIMUM	T	EXISTING TELEPHONE
COT	CONDUIT	W	EXISTING WATER

SYMBOLS

	EX/NEW POWER SUPPLY W/ METER		FIRE HYDRANT
	EX/NEW COMCAST VAULT		MONUMENT
	EX/NEW COMCAST PEDESTAL		CATCH BASIN
	EX/NEW COMCAST DOGHOUSE		STORM DRAIN MANHOLE
	BORE PIT/POTHOLE		WATER MANHOLE
	EX/NEW RISER ATTACHED TO POLE		SANITARY SEWER MANHOLE
	EXISTING/NEW POLE		SEWER CLEAN OUT
	EXISTING/NEW CROSSCLAMP		ELECTRIC MANHOLE
	ATT/UTILITY MANHOLE		UNIDENTIFIED MANHOLE
	EXISTING/NEW FIBER SPLICE CASE		WATER METER

GENERAL NOTES:

- ALL VAULTS / HANDHOLES TO BE EQUIPPED WITH SECURITY LIDS WITH LOCKING BOLTS.
- GROUND RESTORATION/RIGHT-OF-WAY SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL 90 DEGREE BENDS IN CONDUIT CONSTRUCTION WILL BE A MINIMUM OF 36" RADIUS UNLESS SPECIFIED OTHERWISE.
- BURIED FIBER OPTIC WARNING SIGNS SHALL BE PLACED AT EACH SIDE OF ALL ROAD CROSSINGS, AT CULVERTS, DITCHES AND IN A STRAIGHT LINE OF SIGHT SPACING OF APPROXIMATELY 500 FEET.
- DEVIATIONS FROM THE ENGINEERED ROUTE REQUIRES A PROJECT MANAGER AND RIGHT-OF-WAY OWNER OR CARETAKER APPROVAL PRIOR TO CONSTRUCTION.
- WHERE PERMITS FROM STATE, COUNTY, CITY, RAILROAD OR GOVERNMENT AGENCIES ARE REQUIRED, ALL WORK PERFORMED WILL COMPLY WITH THESE AGENCIES STANDARD SPECIFICATIONS.
- THE PROJECT MANAGER WILL NOTIFY BUILDING MANAGEMENT WHEN WORK WILL BEGIN ON BUILDING. CONTRACTOR TO COORDINATE ROOM ACCESS AND WORK START AND STOP TIMES WITH BUILDING MANAGEMENT.
- THE PROJECT MANAGER IS TO BE NOTIFIED BY THE CONTRACTOR 24 HOURS PRIOR TO CONSTRUCTION. SEE COMPANY CONTACT LIST FOR CONTACT NAME(S) AND TELEPHONE NUMBER(S).
- THE PROJECT MANAGER WILL RESERVE THE RIGHT TO INSPECT AT ANY TIME THE WORK BEING PERFORMED BY THE CONTRACTOR. IF PROJECT MANAGER DETERMINES THAT THE WORK IS NOT BEING PERFORMED TO MINIMUM QUALITY STANDARDS, THEN THE CONTRACTOR SHALL PROVIDE REWORK AT HIS OWN COST.
- ANY CHANGE IN PROJECT SCOPE, INCLUDING BUT NOT LIMITED TO, CONDUIT LENGTH, CONDUIT PATH, AERIAL PATH ETC., MUST BE APPROVED BY THE PROJECT MANAGER.
- ALL CORING/CONSTRUCTION THAT WILL CAUSE NOISE AND/OR VIBRATION SHALL BE DONE WITHIN ALLOWED (9AM-3PM) BUSINESS HOURS.
- ANY AND ALL UNDERGROUND UTILITIES ENCOUNTERED ARE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPAIR, IF DAMAGED.
- ALL FOOTAGES ARE BASED ON FIELD GATHERED MEASUREMENTS, AS SUCH SOME VARIANCE SHOULD BE ANTICIPATED. ADJUST AS NEEDED.
- ALL BURIED CONDUIT/CABLE WILL BE PLACED AT 36" MINIMUM COVER. SITE HAS POTENTIAL FOR ROCK THAT WOULD PREVENT THE ABILITY TO PROVIDE THE MINIMUM COVER. IN CASES WHERE THE MINIMUM COVER CAN NOT BE ACHIEVED, THE CONDUIT SHALL BE PLACED IN A SCH 40 EMT SLEEVE OR APPROVED EQUIVALENT.
- WATER, SEWER, STORM SEWER AND EASEMENT LOCATIONS ARE BASED OFF OF CITY MAPS, NOT FIELD VERIFIED.
- BORING OF AC PAVING IS REQUIRED AT ALL LOCATIONS AS INDICATED ON PLANS.
- AT NO TIME SHALL CURBS, GUTTERS OR HANDICAP BE DISTURBED.
- DOOR HANGERS ARE TO BE PLACED A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL PLACE MESSAGE BOARDS STATING LANE CLOSURES, AND DELAYS A WEEK IN ADVANCE. LOCATION OF THE MESSAGE BOARD SHALL BE COORDINATED WITH THE CITY INSPECTOR AT THE PRE-CONSTRUCTION MEETING.
- LANE CLOSURES CANNOT EXCEED MORE THAN 300 FT. AT A TIME. FOR SAFETY PURPOSES THERE SHALL BE ONLY ONE CLOSURE AT A TIME ALONG INTERNATIONAL BLVD. MORE FLAGGERS WILL BE NECESSARY TO HELP VEHICLES AND PEDESTRIANS IN THE WORK ZONES DURING THE LANE CLOSURES.

FIBER PLACEMENT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. SEE LOCAL DIRECTORY FOR CONTACT TELEPHONE NUMBER OF LOCAL CALL BEFORE YOU DIG AGENCY.
- CONTRACTOR SHALL RECORD SEQUENCE # OF FIBER CABLE AT EVERY WORK POLE, MANHOLE, FIBER STORAGE LOOP AND TAIL LOCATION. CONTRACTOR TO PROVIDE PROJECT MANAGER WITH SEQUENCE NUMBERS AT PROJECT COMPLETION.
- SLACK LOOP AND SNOWSHOE STORAGE LOCATIONS SHALL BE DETERMINED ON CONSTRUCTION DRAWINGS, HOWEVER, REEL LENGTHS OF FIVE HUNDRED FEET (500') OR LESS ON LARGE COUNT FIBER OR THREE HUNDRED FEET (300') OR LESS ON SMALL COUNT FIBER ARE DIFFICULT TO USE AND SHOULD BE PLACED AS FSL'S, NOT CUT AND RETURNED.
- FIBER OPTIC IDENTIFICATION TAGS SHALL BE PLACED AT EVERY WORK POLE, MANHOLE, FIBER STORAGE LOOPS, SPLICE CASES AND WHERE INDICATED BY PROJECT MANAGER. TAGS NEED TO BE PLACED SO AS TO BE READ FROM THE GROUND.
- CABLE LUBRICATION SHALL BE USED TO REDUCE PULLING TENSION. LUBRICANTS MUST NOT CONTAIN ANY PETROLEUM PRODUCTS.
- A 100 FOOT FIBER COIL MUST REMAIN IN ALL VAULTS UNLESS OTHERWISE NOTED.
- ALL BURIED INFRASTRUCTURE MUST BE ACCOMPANIED WITH WARNING TAPE AND A TRACER WIRE, AT RISER POLES THE LOCATE WIRE SHALL BE ACCESSIBLE AT THE BASE OF THE RISER.
- ALL RISERS WILL BE CAPPED AT ALL TIMES.
- ALL FIBER SHALL BE MARKED AS TO DIRECTION IN EACH VAULT. RED-NORTH, GREEN-SOUTH, YELLOW-EAST, AND BLUE-WEST. DO NOT TAPE FIBER CABLES TOGETHER IN RISER.

DISCLAIMER:

- IT IS THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR TO VERIFY ALL RIGHT OF WAY BEFORE CONSTRUCTION IS TO BEGIN. NO UNDERGROUND INSTALLATION REPRESENTED WITHIN THESE PLAN SHEETS IS PROPOSED OUTSIDE OF THE RIGHT OF WAY.
- THE UNDERGROUND ROUTE DEPICTED IS PRELIMINARY AND WILL/MAY VARY ONCE UTILITIES HAVE BEEN FIELD LOCATED.
- ANCHORING FOR THE AERIAL CONSTRUCTION IS TYPICALLY DETERMINED DURING CONSTRUCTION AND IS COLLECTED IN THE AS-BUILT PHASE.

UTILITY NOTES:

- ALL PROPOSED UNDERGROUND FACILITIES MUST MAINTAIN A MINIMUM FIVE- FOOT HORIZONTAL SEPARATION AND ONE -FOOT VERTICAL SEPARATION (AT CROSSINGS) FROM ALL DOU FACILITIES, MEASURED EDGE OF FACILITY TO EDGE OF FACILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT (811) 48 HOURS PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR SHALL COMPLY WITH THE CITY OF SACRAMENTO ADMINISTRATIVE AND TECHNICAL MANUAL FOR GRADING/EROSION AND SEDIMENT CONTROL. CONTRACTOR SHALL HAVE ALL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES IN PLACE FOR THE

THIS IS A COMCAST DOCUMENT, PROPRIETARY & CONFIDENTIAL

DESIGN:	REV	DESCRIPTION	DATE
DRAWN BY:			
APPROVED:			
APPROVED:			
APPROVED:			



IMPORTANT NOTICE

Section # 4216/4217 of the Government Code requires a Dig Alert Identification Number to be issued before a "Permit to Excavate" will be valid for your Dig Alert I.D.

CALL TOLL FREE
48 HOURS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT
1-800-227-2600



JB0000650790

PROJ#: JB0000650790

CONSTRUCTION TYPE: TRENCH & BORE & OVER PULL

SYSTEM:

NODE:

JT COMPOSITE DRAWING

GINNY LN & SUNRISE LN BR-03-03 PARADISE, CA

UTILITY OCCUPANT LEGEND & SEPARATION LABEL

MINIMUM SEPARATION & CLEARANCE REQUIREMENTS (INCHES)	1" (10')	2" (15')	3" (20')	4" (25')	5" (30')	6" (35')
1. 1" (10')	1" (10')	1" (10')	1" (10')	1" (10')	1" (10')	1" (10')
2. 2" (15')	2" (15')	2" (15')	2" (15')	2" (15')	2" (15')	2" (15')
3. 3" (20')	3" (20')	3" (20')	3" (20')	3" (20')	3" (20')	3" (20')
4. 4" (25')	4" (25')	4" (25')	4" (25')	4" (25')	4" (25')	4" (25')
5. 5" (30')	5" (30')	5" (30')	5" (30')	5" (30')	5" (30')	5" (30')
6. 6" (35')	6" (35')	6" (35')	6" (35')	6" (35')	6" (35')	6" (35')

- NEAR BYTIN-REPAIR
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING
- CONDUIT/TRENCH BEING

TRENCH SELECTION LEGEND



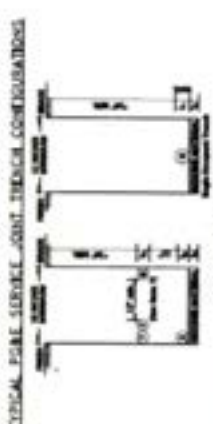
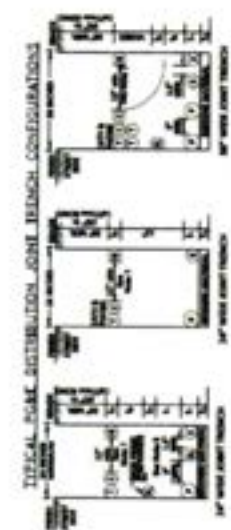
COMCAST INTENT LEGEND

- 10" ROUND PEDESTAL
- 17"X30" BOX
- 24"X36" BOX
- 30"X40" PEDESTAL
- 40"X40" POWER SUPPLY PAD
- 2" MAIN CONDUIT
- 2" SERVICE CONDUIT

TIES TO NEW JOINT TRENCH JOB

BR-03-14 PENTZ & WAGSTAFF
JB0000650777

Trench at 2" service stubs/crossings
Look for PG&E placed 2" on all properties under construction
and completed houses, tie into conduit for service.



THE INFORMATION IN THIS DRAWING IS THE PROPERTY OF THE DRAWING ENGINEER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DRAWING ENGINEER.

1 2 3 4 5 6 7 8 9 10

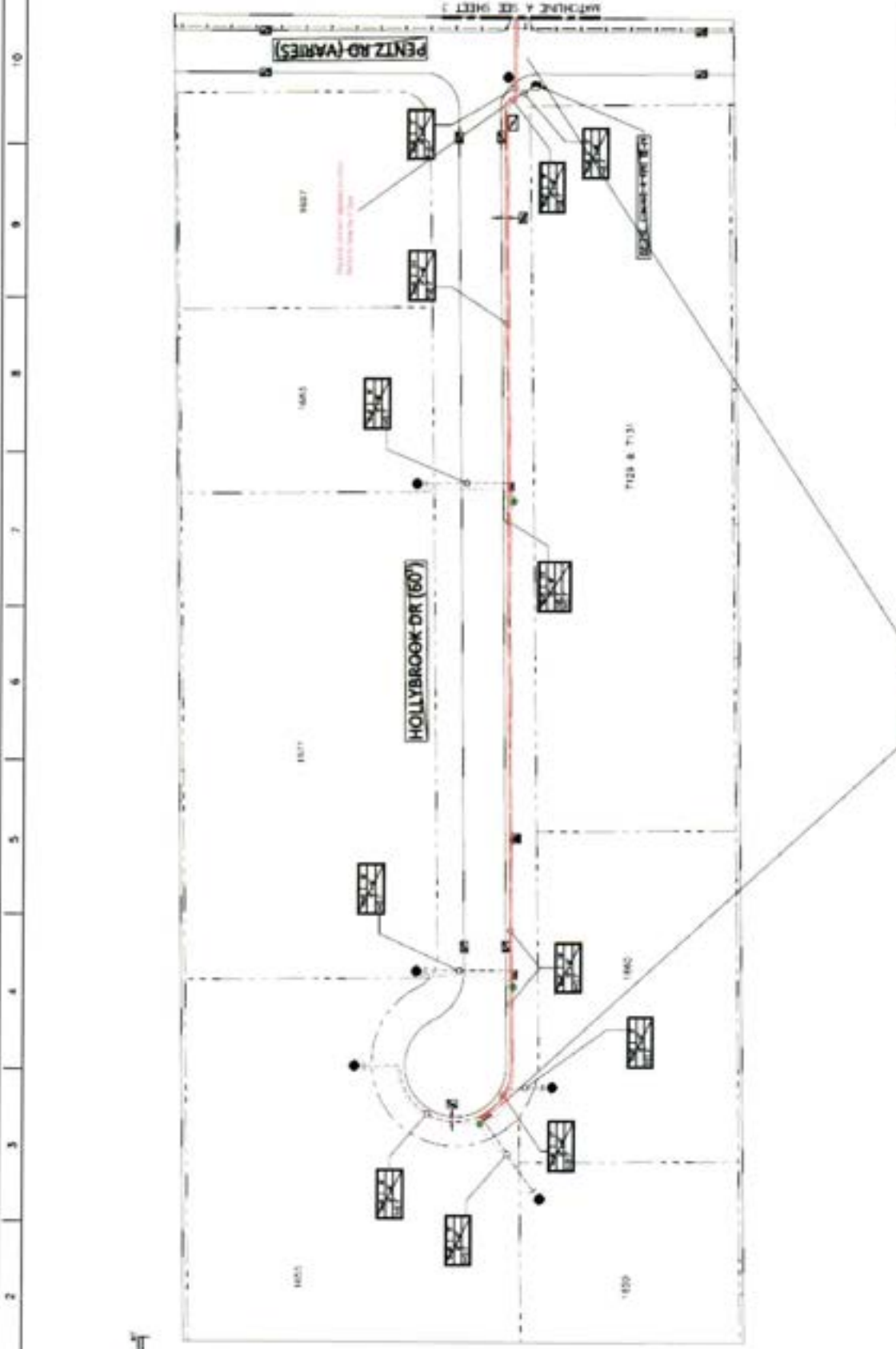
SECRET NAME
DATE: 11/11/11



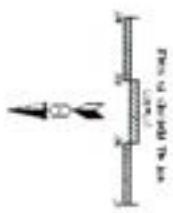
- ### LEGEND
- #### EXISTING
- EXISTING TRENCH
 - EXISTING CONDUIT
 - EXISTING POLE
 - EXISTING MANHOLE
 - EXISTING VALVE
 - EXISTING SERVICE
- #### INSTALL
- NEW TRENCH
 - NEW CONDUIT
 - NEW POLE
 - NEW MANHOLE
 - NEW VALVE
 - NEW SERVICE

- ### CONTACTS
- GINNY LN AND SUNRISE LN
 - PARADISE, CA 94551
 - TEL: (925) 438-1111
 - FAX: (925) 438-1112
 - WWW: WWW.PENTZANDWAGSTAFF.COM





Power Express Duct,
 Place boxes, trench
 services

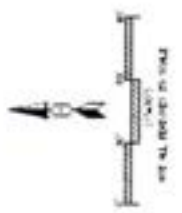
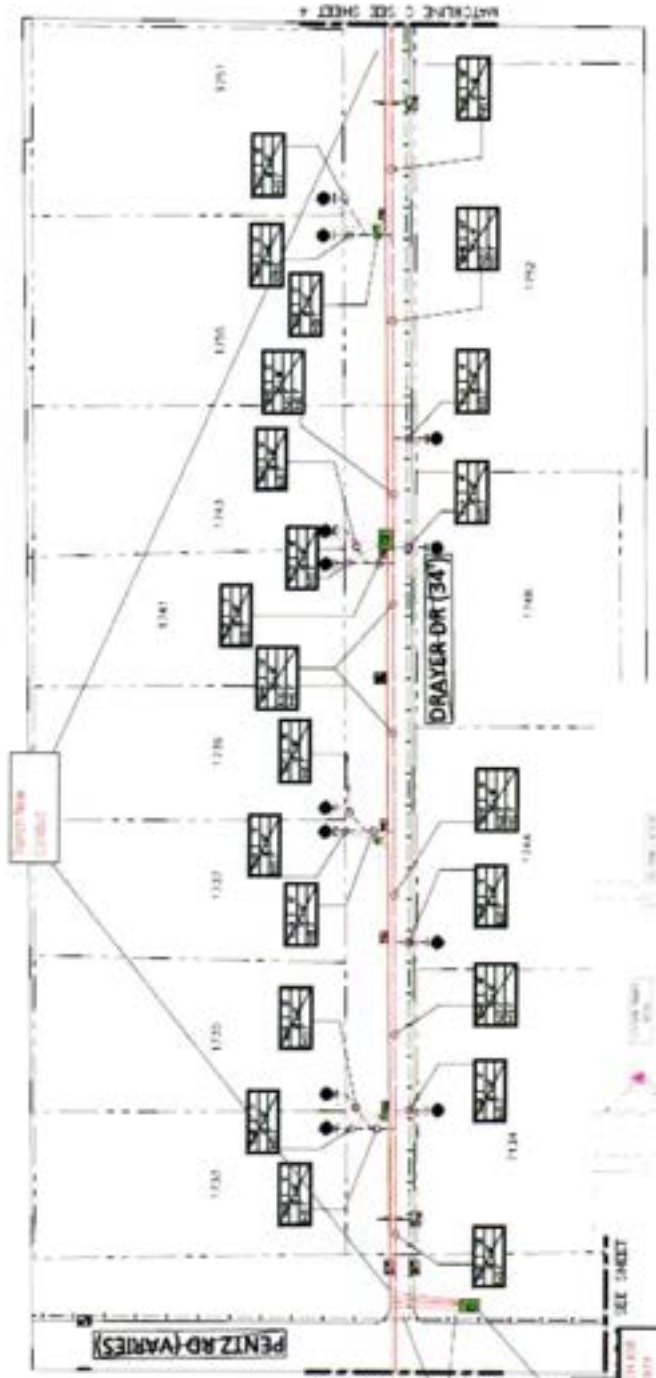


REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	AS SHOWN
3	AS SHOWN
4	AS SHOWN
5	AS SHOWN
6	AS SHOWN
7	AS SHOWN
8	AS SHOWN
9	AS SHOWN
10	AS SHOWN
11	AS SHOWN
12	AS SHOWN
13	AS SHOWN
14	AS SHOWN
15	AS SHOWN
16	AS SHOWN
17	AS SHOWN
18	AS SHOWN
19	AS SHOWN
20	AS SHOWN
21	AS SHOWN
22	AS SHOWN
23	AS SHOWN
24	AS SHOWN
25	AS SHOWN
26	AS SHOWN
27	AS SHOWN
28	AS SHOWN
29	AS SHOWN
30	AS SHOWN

MATCHLINE A SEE SHEET 3



1 2 3 4 5 6 7 8 9 10



MATCHLINE A SEE SHEET 2
 MATCHLINE C SEE SHEET 4

PENIZ RD (VARIES)

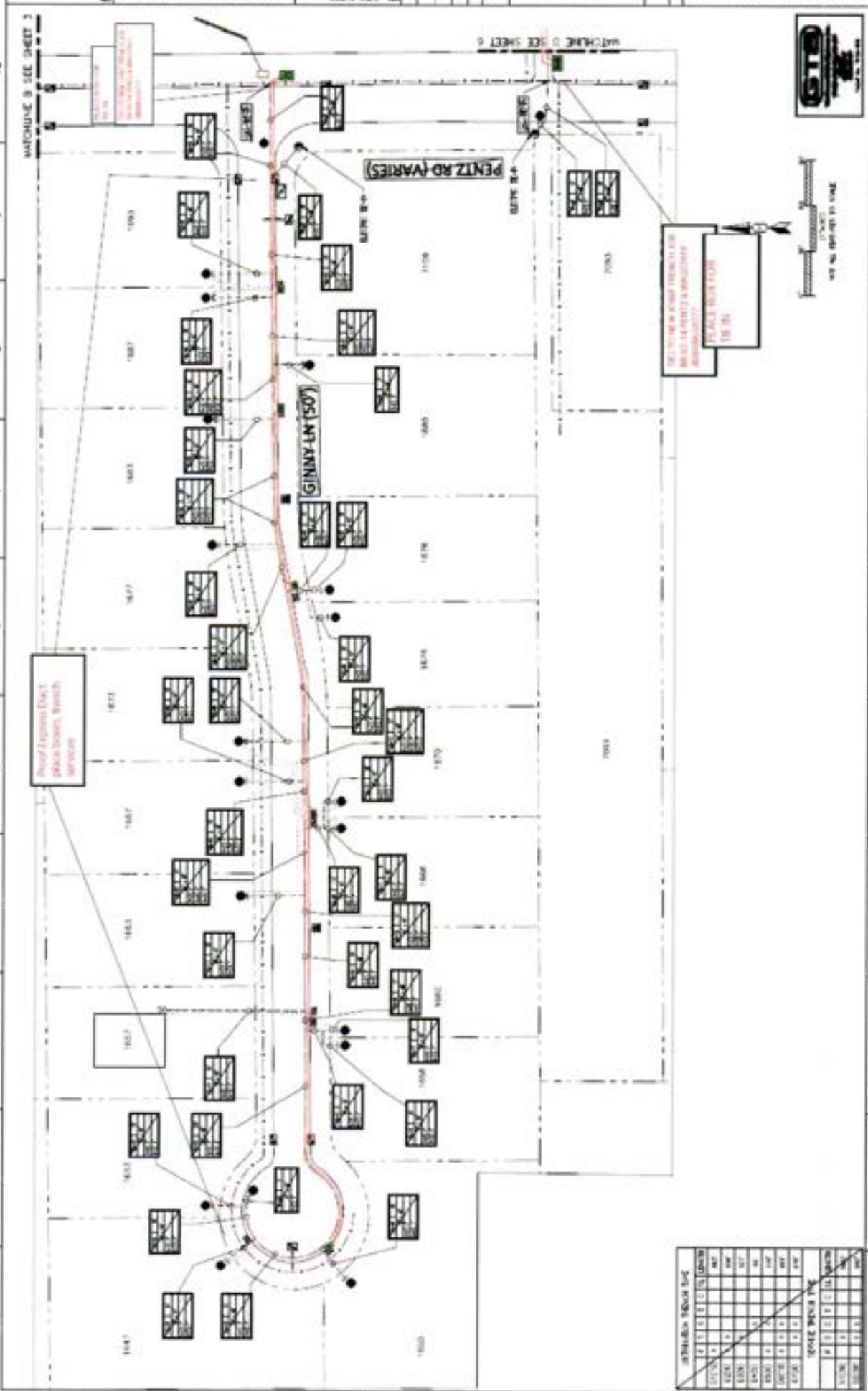
Figure 1.17 shows proposed utility
 lines to be installed for the South Area
 Manholes and Drayer Road.

PLACE BOX FOR
 THE IN
 THE UTILITY JUNCTION FOR
 80-11-14117-A (MANHOLE)
 (MANHOLE)

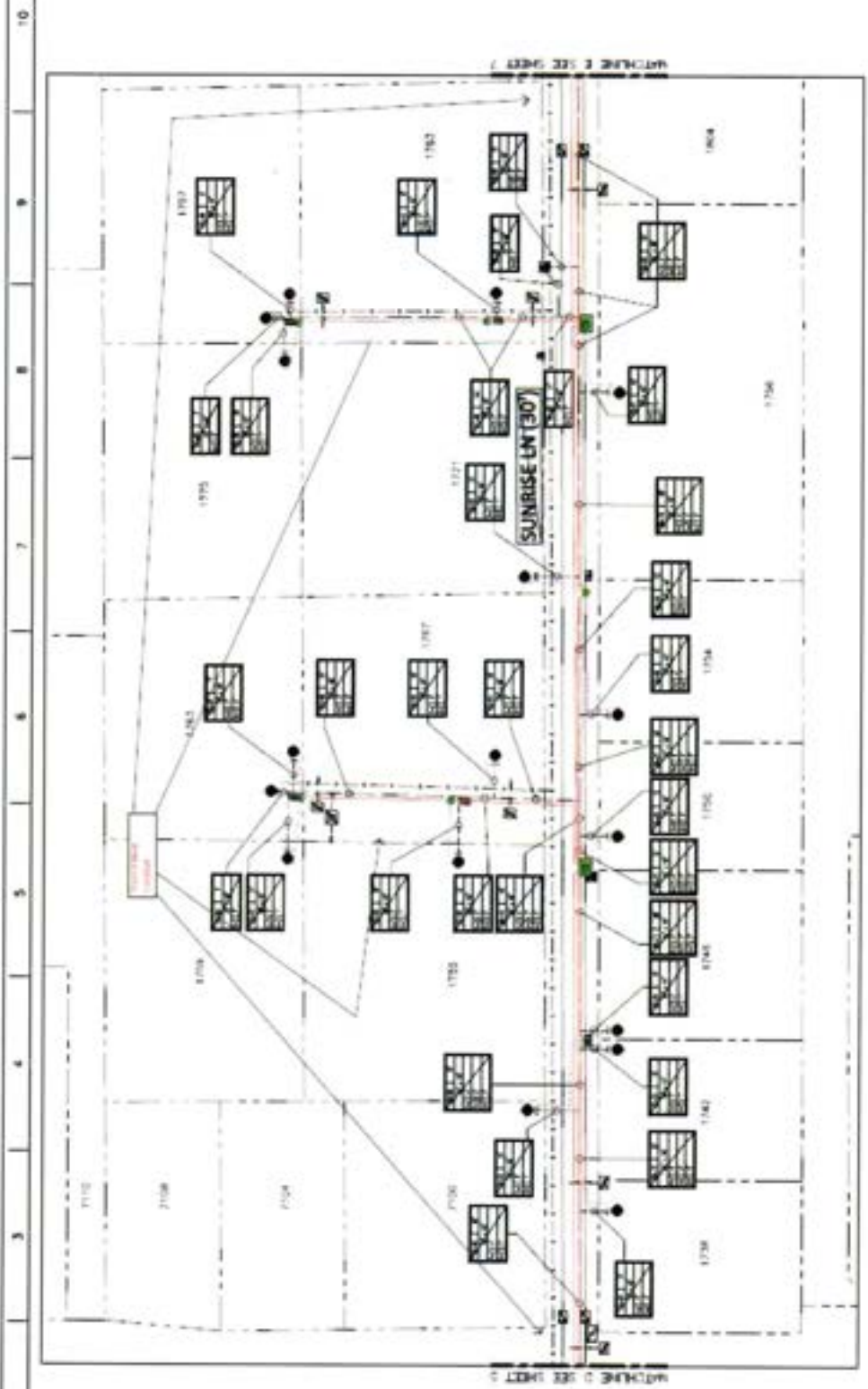
SEE SHEET

VERTICAL ELEVATION	
POINT	ELEVATION
1	111.00
2	111.00
3	111.00
4	111.00
5	111.00
6	111.00
7	111.00
8	111.00
9	111.00
10	111.00
11	111.00
12	111.00
13	111.00
14	111.00

EDGE BENCH	
POINT	ELEVATION
1	111.00
2	111.00
3	111.00
4	111.00
5	111.00
6	111.00
7	111.00
8	111.00
9	111.00
10	111.00
11	111.00
12	111.00
13	111.00
14	111.00

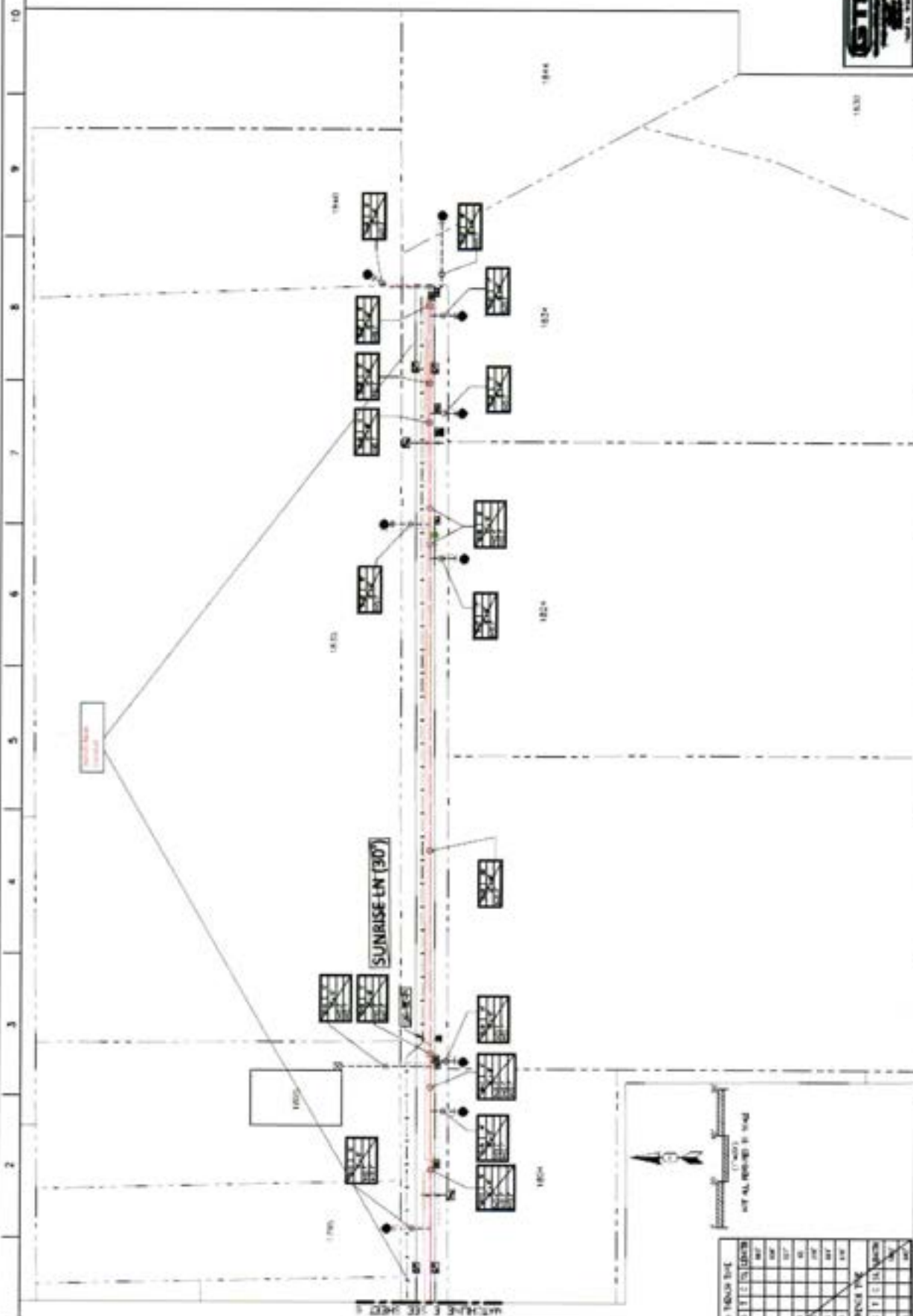


REVISION NO.	DATE	BY	DESCRIPTION
1	08/11/10	JLD	ISSUED FOR PERMIT
2	08/11/10	JLD	ISSUED FOR PERMIT
3	08/11/10	JLD	ISSUED FOR PERMIT
4	08/11/10	JLD	ISSUED FOR PERMIT
5	08/11/10	JLD	ISSUED FOR PERMIT
6	08/11/10	JLD	ISSUED FOR PERMIT
7	08/11/10	JLD	ISSUED FOR PERMIT
8	08/11/10	JLD	ISSUED FOR PERMIT
9	08/11/10	JLD	ISSUED FOR PERMIT
10	08/11/10	JLD	ISSUED FOR PERMIT



SHEET INDEX	
1	2
2	3
3	4
4	5
5	6
6	7
7	8
8	9
9	10





SECTION: 1800-1840
 DATE: 11/17/01
 DRAWN BY: J.P.
 CHECKED BY: J.P.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/17/01
2	ISSUED FOR CONSTRUCTION	11/17/01
3	AS BUILT	11/17/01
4	REVISION	11/17/01
5	REVISION	11/17/01
6	REVISION	11/17/01
7	REVISION	11/17/01
8	REVISION	11/17/01
9	REVISION	11/17/01
10	REVISION	11/17/01





JT COMPOSITE DRAWING

SWEETBRIAR LN AND PENTZ RD
BR-03-04
PARADISE, CA

UTILITY OCCUPANT LEGEND & SEGREGATION CHART

Utility	1	2	3	4	5	6	7	8	9	10
1. TELEPHONE										
2. CABLE TV										
3. ELECTRIC										
4. GAS										
5. WATER										
6. SEWER										
7. FIBER OPTIC										
8. RADIATION										
9. OTHER										

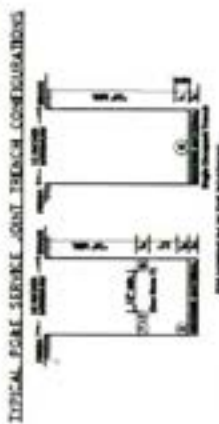
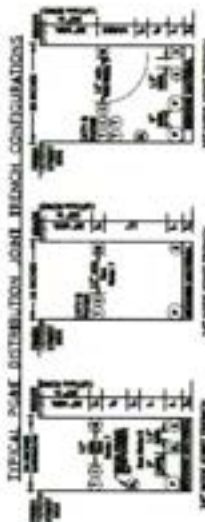
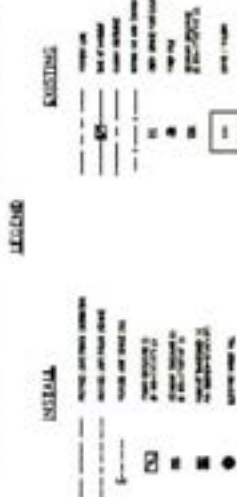
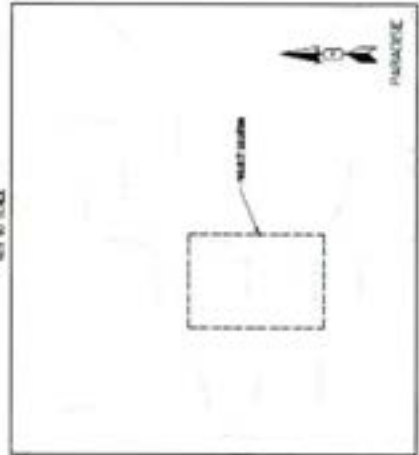
COMCAST INTENT LEGEND

-  10" ROUND PEDESTAL
-  17"x30" BOX
-  24"x36" BOX
-  30"x48" PEDESTAL
-  40"x40" POWER SUPPLY PAD
- 2" MAIN CONDUIT
- 2" SERVICE CONDUIT

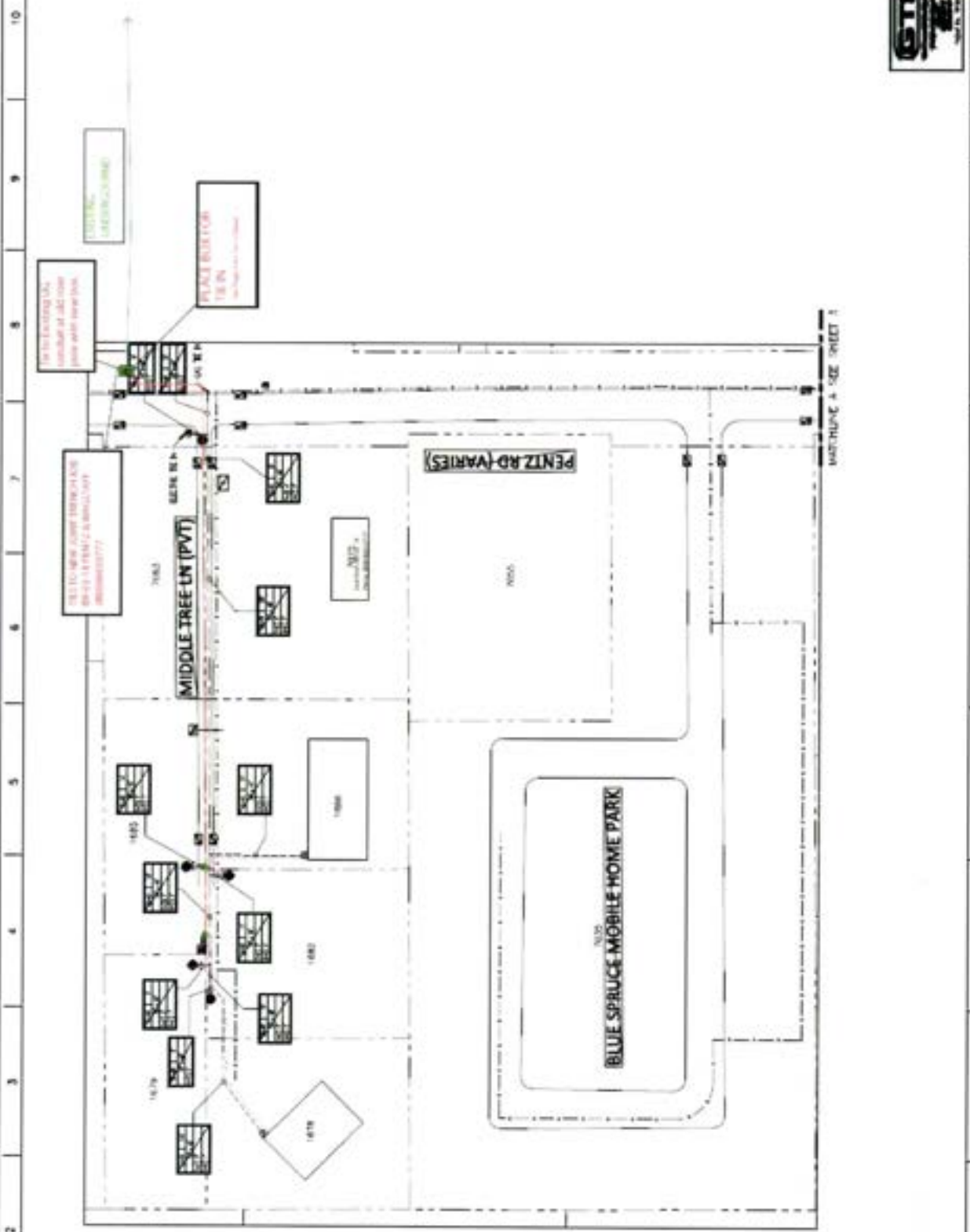
TIES TO NEW JOINT TRENCH JOB
BR-03-14 PENTZ & WAGSTAFF
JB8000650777

Trench 48" service stub/crossings
Look for P&G placed 2" on all properties under construction
and completed houses. We note conduit for service

1. THE JOINT TRENCH AND JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
2. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
3. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
4. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
5. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
6. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
7. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
8. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
9. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.
10. THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.



THE JOINT TRENCH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PARADISE SPECIFICATIONS FOR JOINT TRENCHES.



SEE ALL NOTES ON SHEET 1
 SHEET 1 OF 1

SCHEDULE	
NO.	DESCRIPTION
1	1" = 10'
2	1" = 20'
3	1" = 30'
4	1" = 40'
5	1" = 50'
6	1" = 60'
7	1" = 70'
8	1" = 80'
9	1" = 90'
10	1" = 100'
11	1" = 110'
12	1" = 120'
13	1" = 130'
14	1" = 140'
15	1" = 150'
16	1" = 160'
17	1" = 170'
18	1" = 180'
19	1" = 190'
20	1" = 200'
21	1" = 210'
22	1" = 220'
23	1" = 230'
24	1" = 240'
25	1" = 250'
26	1" = 260'
27	1" = 270'
28	1" = 280'
29	1" = 290'
30	1" = 300'
31	1" = 310'
32	1" = 320'
33	1" = 330'
34	1" = 340'
35	1" = 350'
36	1" = 360'
37	1" = 370'
38	1" = 380'
39	1" = 390'
40	1" = 400'
41	1" = 410'
42	1" = 420'
43	1" = 430'
44	1" = 440'
45	1" = 450'
46	1" = 460'
47	1" = 470'
48	1" = 480'
49	1" = 490'
50	1" = 500'



THIS DRAWING IS THE PROPERTY OF BUCKLEY WATSON HERRICK AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUCKLEY WATSON HERRICK.

THIS DRAWING IS THE PROPERTY OF BUCKLEY WATSON HERRICK AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUCKLEY WATSON HERRICK.

THIS DRAWING IS THE PROPERTY OF BUCKLEY WATSON HERRICK AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUCKLEY WATSON HERRICK.



SHEETS BOOK 316

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/10/00
2	FINAL	10/10/00
3	FINAL	10/10/00
4	FINAL	10/10/00
5	FINAL	10/10/00
6	FINAL	10/10/00
7	FINAL	10/10/00
8	FINAL	10/10/00
9	FINAL	10/10/00
10	FINAL	10/10/00

SOME THINGS TO REMEMBER:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO EXTERIOR UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO INTERIOR UNLESS NOTED OTHERWISE.

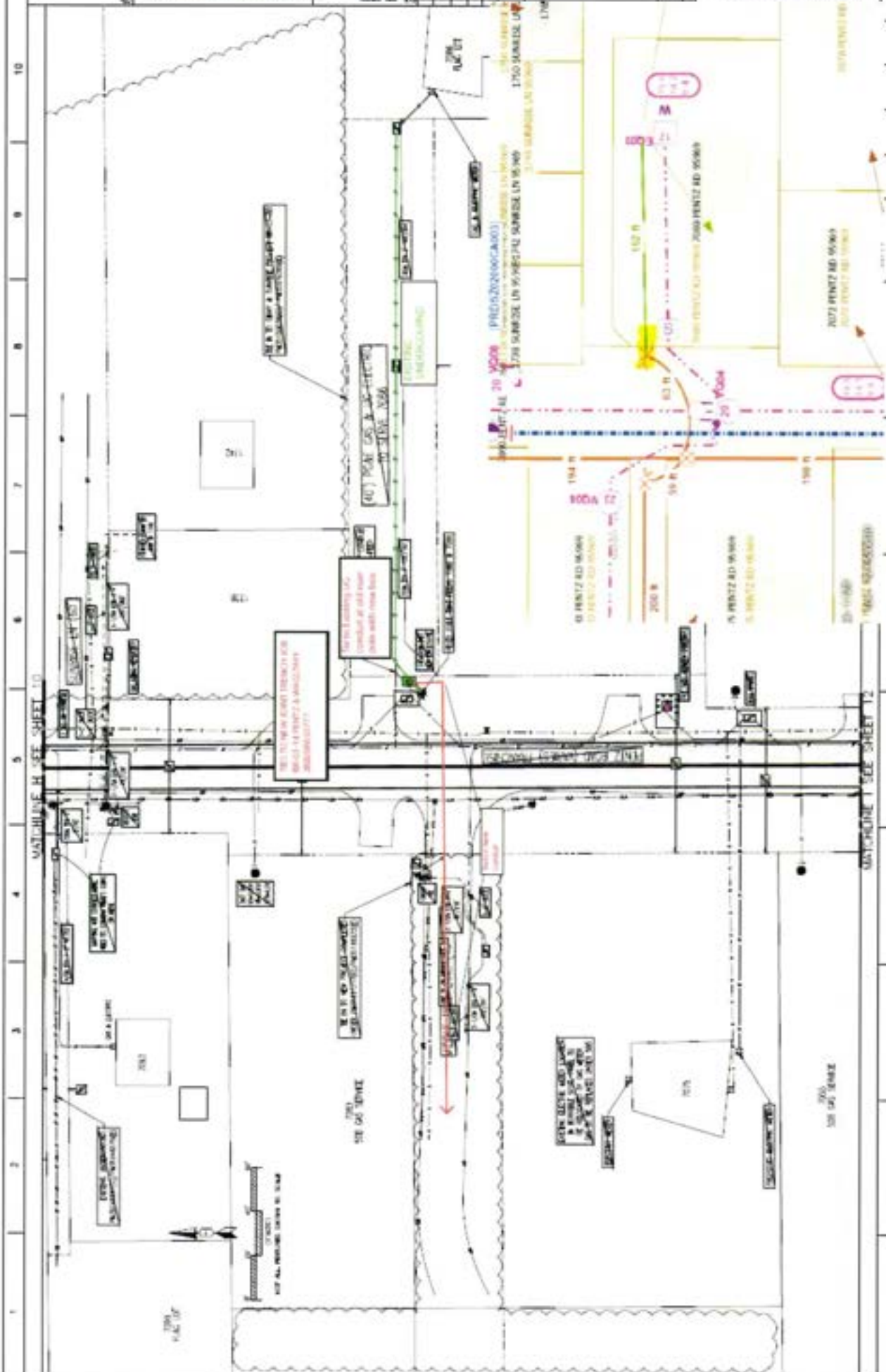
MATCHLINE A SEE SHEET 2

PENTZ RD (VARIES)

SWEETBRIAR LN (50')

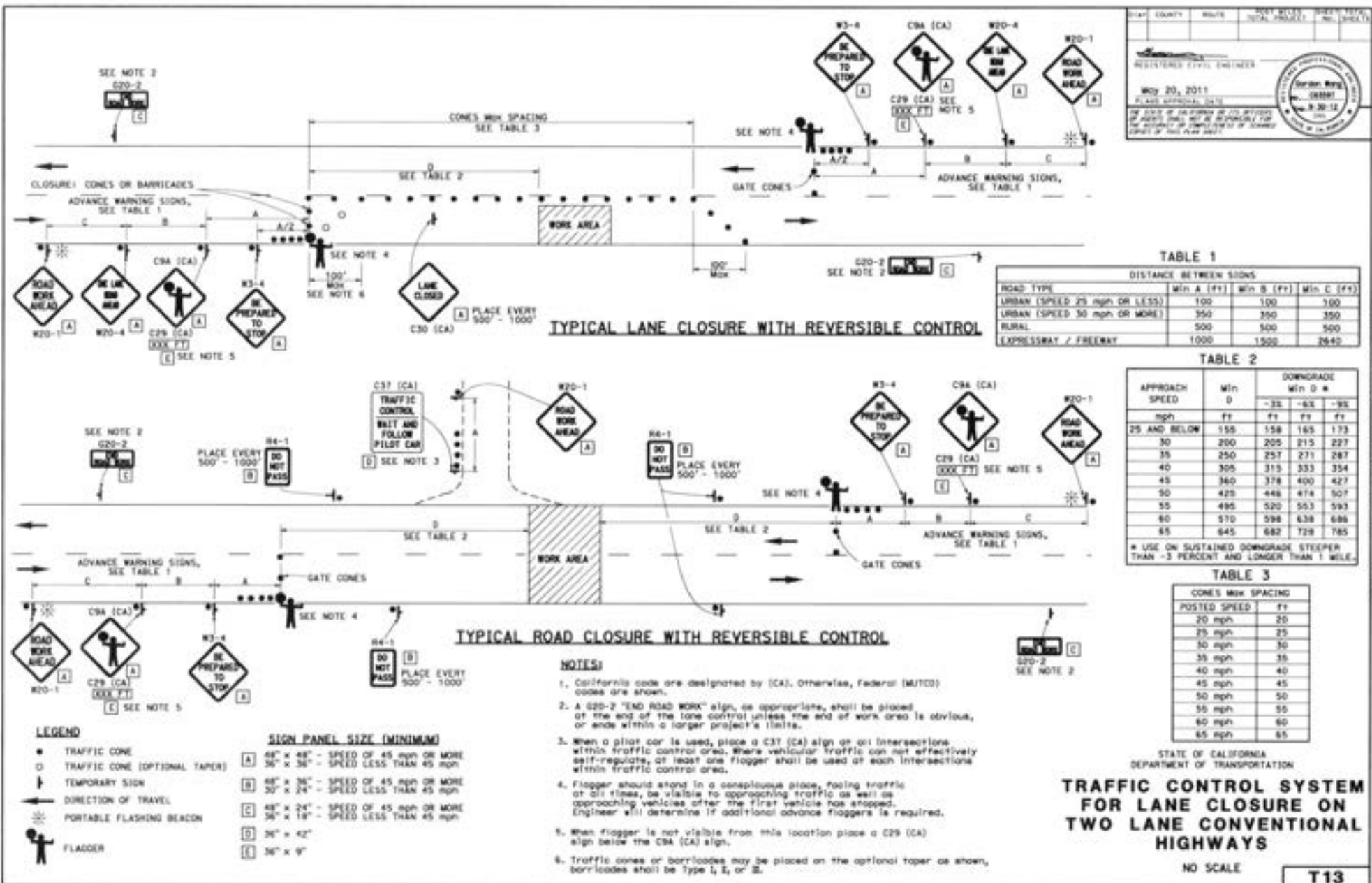
MULBERRY LN (PVT)

NO. 117	DATE	BY	REVISION
NO. 118			
NO. 119			
NO. 120			
NO. 121			
NO. 122			
NO. 123			
NO. 124			
NO. 125			
NO. 126			
NO. 127			
NO. 128			
NO. 129			
NO. 130			



ENGINEERING AND PLANNING DEPT.
 480 80 UNDO AVENUE
 CHICO, CA 95928
 PHONE: 530-891-1234
 FAX: 530-891-5678
 WWW: WWW.EPACORP.COM

PROJECT: SEWER MAIN REPLACEMENT
 SHEET NO. 1 OF 12
 DATE: 10/15/2023
 DRAWN BY: J. SMITH
 CHECKED BY: M. JONES
 APPROVED BY: K. BROWN



DISTRICT COUNTY ROUTE POST MILES TOTAL PROJECT TOTAL SHEETS
 REGISTERED CIVIL ENGINEER
 May 20, 2011
 PLANS APPROVAL DATE
 STATE OF CALIFORNIA
 DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 9-30-12
 T13

TABLE 1
DISTANCE BETWEEN SIGNS

ROAD TYPE	Min A (ft)	Min B (ft)	Min C (ft)
URBAN (SPEED 25 mph OR LESS)	100	100	100
URBAN (SPEED 30 mph OR MORE)	350	350	350
RURAL	500	500	500
EXPRESSWAY / FREEWAY	1000	1500	2640

TABLE 2

APPROACH SPEED	Min D	DOWNGRADE Min D *		
		-3%	-6%	-9%
25 AND BELOW	155	158	165	173
30	200	205	215	227
35	250	257	271	287
40	305	315	333	354
45	360	378	400	427
50	425	448	474	507
55	495	520	553	593
60	570	598	638	686
65	645	682	728	785

* USE ON SUSTAINED DOWNGRADE STEEPER THAN -3 PERCENT AND LONGER THAN 1 MILE.

TABLE 3
CONES MIN SPACING

POSTED SPEED	ft
20 mph	20
25 mph	25
30 mph	30
35 mph	35
40 mph	40
45 mph	45
50 mph	50
55 mph	55
60 mph	60
65 mph	65

STATE OF CALIFORNIA
 DEPARTMENT OF TRANSPORTATION
TRAFFIC CONTROL SYSTEM FOR LANE CLOSURE ON TWO LANE CONVENTIONAL HIGHWAYS
 NO SCALE **T13**

- NOTES:**
- California code are designated by (CA). Otherwise, federal (MUTCD) codes are shown.
 - A G20-2 "END ROAD WORK" sign, as appropriate, shall be placed at the end of the lane control unless the end of work area is obvious, or ends within a larger project's limits.
 - When a pilot car is used, place a C37 (CA) sign at all intersections within traffic control area. Where vehicular traffic can not effectively self-regulate, at least one flagger shall be used at each intersection within traffic control area.
 - Flagger should stand in a conspicuous place, facing traffic at all times, be visible to approaching traffic as well as approaching vehicles after the first vehicle has stopped. Engineer will determine if additional advance flaggers is required.
 - When flagger is not visible from this location place a C29 (CA) sign below the C9A (CA) sign.
 - Traffic cones or barricades may be placed on the optional taper as shown, barricades shall be type I, E, or B.

SIGN PANEL SIZE (MINIMUM)

A	48" x 48" - SPEED OF 45 mph OR MORE 36" x 36" - SPEED LESS THAN 45 mph
B	48" x 36" - SPEED OF 45 mph OR MORE 30" x 24" - SPEED LESS THAN 45 mph
C	48" x 24" - SPEED OF 45 mph OR MORE 36" x 18" - SPEED LESS THAN 45 mph
D	36" x 42"
E	36" x 9"

LEGEND

- TRAFFIC CONE
- TRAFFIC CONE (OPTIONAL TAPER)
- ◇ TEMPORARY SIGN
- DIRECTION OF TRAVEL
- ☁ PORTABLE FLASHING BEACON
- 🚧 FLAGGER

SUBCONTRACTOR AGREEMENT

This Subcontractor Agreement, dated as of the Effective Date (as defined in Schedule 1 to this Agreement) is entered into by and between SEFNCO Communications, Inc. a wholly owned subsidiary of MasTec North America, Inc. ("Contractor") and Fiberco General Engineering ("Subcontractor") (Contractor and Subcontractor are at times referred to herein as "Parties" or "Party").

WITNESSETH:

WHEREAS, Contractor provides construction and installation services for wireline and wireless communications, including broadband fiber optic cable installation; and

WHEREAS, Contractor has a contract (including all schedules, exhibits, attachments, and amendments, the "Primary Contract") with Contractor's customer, Comcast Cable Communications Management, LLC (the "Owner") to perform certain work (comprising the "Project") at various regions identified in the Primary Contract (the "Primary Contract Location"); and

WHEREAS, Subcontractor is engaged in the business of _____; and

WHEREAS, Subcontractor has expertise in _____ and represents that it is experienced and is fully qualified to supervise and undertake the duties hereinafter set forth in this Agreement; and

WHEREAS, relying on the representations of Subcontractor, Contractor desires to engage Subcontractor, and Subcontractor desires to be so engaged upon the terms and conditions set forth below.

NOW, THEREFORE, in consideration of the premises and the mutual covenants contained herein, and for other valuable consideration acknowledged by each of the Parties to be satisfactory and adequate, the Parties covenant and agree as follows:

1. Scope of Work. Subcontractor shall perform the Work (as defined in Schedule 1 to this Agreement) as Contractor's subcontractor in support of the Primary Contract at the Primary Contract Location, all as described on Schedule 1 (which is incorporated into this Agreement) and in this Agreement. Subcontractor shall perform the Work in accordance with the terms of this Agreement, which shall include the supply of all labor, tools, equipment, vehicles, fuel and other materials and shall provide all transportation, storage and other facilities necessary to perform the Work properly. Subcontractor shall also perform the Work in accordance with the Primary Contract, the terms of which are incorporated into this Agreement by reference to the extent not

inconsistent with the terms of this Agreement. Subcontractor further agrees to be bound by, and to the extent applicable, perform all terms and conditions of any applicable Statement of Work or other Work Document, as those terms are defined by the Primary Contract. In the event of any inconsistency between this Agreement and Primary Contract, Statement of Work, or other Work Document, the terms of this Agreement shall govern. In performing Work under this Agreement, Subcontractor shall comply with the branding and identification requirements set out in Exhibit D to the Primary Contract.

2. Subcontractor's Warranty.

2.1 Subcontractor shall perform the Work in a first class, workmanlike manner in strict accordance with the requirements of this Agreement and the Primary Contract. Subcontractor shall exercise at least the same degree of care, skill and diligence in the performance of the Work as is ordinarily exercised by other subcontractors in the industry, but in any event not less than is required of Contractor under the Primary Contract. Subcontractor warrants the Work performed by Subcontractor to Contractor and Owner to the same extent as Contractor warrants the same Work to Owner under the Primary Contract and to such further extent as may be provided in this Agreement.

2.2 Subcontractor further warrants:

- a) that the Work complies with all diagrams, drawings, plans, specifications and other documentation, information or requirements regarding the Work under this Agreement and the Primary Contract, including the "Specifications" as that term is defined by the Primary Contract ("Specifications") and that it is free of all deficiencies and defects in workmanship;
- b) that all materials and equipment supplied by Subcontractor comply with all Specifications and are new and fit for their intended purposes, unless otherwise described in the Specifications or agreed to in writing by Owner;
- c) that, with respect to any individual who is assigned by Subcontractor or any of its subcontractors to perform Work that requires entrance by the individual onto private property, public property or Owner's property, Subcontractor has investigated and has determined that such individual is qualified, able and suitable to perform the duties assigned in a good and workmanlike manner and with care and concern for Owner, its customers, third parties, and any of their property. Subcontractor shall provide evidence of such investigation upon written request by Owner or Contractor; and
- d) that any individual assigned by Subcontractor or its subcontractors to drive a motor vehicle in connection with the Work shall have a valid motor vehicle license for the type of vehicle driven and shall be included for coverage under the applicable policy of automobile liability

insurance, and that Subcontractor shall have checked such individual's driver records for all states where the Work will be performed;

2.3 Where the Specifications identify conditions or limitations regarding specific makes or manufacturers for materials or supplies to be furnished as part of the Work, Subcontractor shall not make any substitution without Contractor's written approval. Neither issuance of a final certificate of occupancy, as applicable, nor payment, nor inspections of the work by Contractor or Owner, shall relieve Subcontractor of its responsibilities under this Agreement..

2.4 Subcontractor shall immediately repair or replace any Work or materials or equipment that in Contractor's or Owner's judgment is defective or deficient or does not meet the Specifications, or that Subcontractor damages or destroys in carrying out its obligations under this Agreement, without any additional compensation. Additionally, Subcontractor shall indemnify, defend and hold harmless Contractor for all amounts Owner charges Contractor for: (a) identifying defects found to be the responsibility of Subcontractor pursuant to Section 14(a)(vii)(b) of the Primary Contract; and (b) Owner's or its agent's performance of repairs to or the replacement of the Work pursuant to Section 14(a)(vii)(c) of the Primary Contract. All Work shall be performed to the satisfaction of Contractor and Owner, whose determination shall be final and binding on Subcontractor. Subcontractor shall cooperate and coordinate with all other contractors, subcontractors, and suppliers so as not to delay or hinder the performance of their work under the Primary Contract.

2.5 Upon completion of the Work, Subcontractor shall furnish to Contractor copies of all warranties, guarantees and operating manuals relating to materials and equipment installed as part of the Work. Subcontractor shall assign to Owner all rights and actions of any warranty that Subcontractor or any of its subcontractors may have against prior owners, manufacturers, retailers or any other person or entity in connection with any materials or equipment installed as part of the Work.

3. Schedule of Work and Inspection. The schedule for completion of the Work is set forth in Schedule I to this Agreement. Contractor will provide Subcontractor, from time to time, with a schedule for completion of all or a portion of the Work, which schedule may be revised by Contractor as the Work progresses without additional compensation to Subcontractor and which revised schedule shall become a part of this Agreement. Contractor may at any time require Subcontractor to alter the schedule with respect to the order of completion of particular segments of the Work, or to stop work altogether or to suspend performance of this Agreement, or to recommence work, without additional compensation or any extension of the schedule for completion. Timely completion of the Work in accordance with the schedule for completion is of the essence of this Agreement, and failure to comply with the schedule shall be grounds for (a) reduction of

any compensation payable to Subcontractor under this Agreement, (b) immediate termination of this Agreement by Contractor, without prejudice to Contractor's remedies under this Agreement or under law or (c) any other remedies provided for under Section 18 of this Agreement or as provided for under applicable law. The hours of Work and the days upon which Subcontractor will perform the Work will be solely within the discretion of Subcontractor, consistent with the schedule of Work, this Agreement, and the Primary Contract. Subcontractor shall accelerate work, work overtime, and take whatever actions become necessary to ensure that the Work is performed within the Schedule for completion at no additional cost to Contractor. Subcontractor shall provide Contractor with such reports and other evidence of the progress of the Work as Contractor may reasonably request. Subcontractor shall comply with all instructions given by Contractor, including any to suspend, delay, or accelerate the Work. Subcontractor shall not be entitled to any extension of time for completion or extra compensation due to suspension, delay, or acceleration for reasonable adjustments to the project schedule. Contractor may inspect the Work at all reasonable times without notice to Subcontractor. Contractor, the Owner, and their authorized representatives shall have the right to inspect and test the Work (including without limitation raw materials, fabricated materials, sub-assemblies, components, assemblies, Work in process of fabrication or installation) at all times and places to verify compliance of the Work with the Agreement and the Primary Contract and standards of good workmanship. Subcontractor shall provide sufficient and safe facilities for inspection of the Work by Contractor, the Owner, and their authorized representatives in the field, at shops, or at any other place where materials or equipment for the Work are located in the course of preparation, manufacture, treatment, or storage. Unlimited access shall be provided. All inspections and tests are for the sole benefit of Contractor or the Owner and shall not relieve Subcontractor of the responsibility for providing its own quality-control measures to ensure that the Work complies with the Agreement and the Primary Contract and standards of good workmanship. Inspections or tests by Contractor or the Owner shall not be construed as constituting or implying acceptance and shall not relieve Subcontractor of responsibility for any noncompliance, damage to, or loss of the Work, nor in any way affect the continuing rights of Contractor or the Owner after acceptance of the completed Work.

4. Change Orders. Contractor shall have the unilateral right by written directive, without notice to Subcontractor's surety, if any, to direct changes or deletions of the Work or other revisions to the scope of Work, the duties of Subcontractor, or the schedule or sequence of Work. Should a written directive or the issuance of instructions, drawings, or directions by other than written directives be claimed by Subcontractor to be a change resulting in additional costs, Subcontractor shall submit a written notice of such claim to Contractor within seventy-two (72) hours of receipt thereof (or one (1) business day before Contractor must respond to the Owner, whichever is earlier) and also prior to commencing work thereon. Subcontractor shall not be entitled to a price adjustment or additional compensation or a schedule adjustment unless Subcontractor timely provides the required written

notice and is then authorized to proceed in writing by Contractor. Subcontractor shall submit a written notice of any other claim to Contractor within seventy-two (72) hours of Subcontractor's knowledge thereof (or one (1) business day before Contractor must give notice to the Owner, whichever is earlier). Subcontractor shall not have the right to prosecute or maintain an action or claim in court or arbitration to recover for extra compensation or schedule adjustment not explicitly agreed to in writing by Contractor (whether by direct claim, counterclaim, third-party claim, offset, recoupment, or any other equitable or legal theory or procedure) unless Subcontractor has complied strictly with the notice of claim and authorization to proceed requirements and all other requirements and conditions precedent set forth in this Agreement. Failure to strictly comply with the notice of claim or authorization to proceed requirements set forth herein shall constitute a full and final waiver and release of any claims by Subcontractor related to the alleged change. Adjustments, if any, in the compensation or the schedule of Work resulting from such changes will be set forth in a written Subcontract Change Order. All Change Orders must be approved in writing by an authorized officer of Contractor and Owner in order for Subcontractor to receive compensation for the work performed, and said Change Orders must provide specific standards for compensation due to Subcontractor under the Change Order, such as applicable unit prices. Under no circumstances shall additional compensation or time to perform be due Subcontractor unless such compensation and time to perform is received by Contractor under the Primary Contract (receipt of which by Contractor is an explicit condition precedent). Subcontractor shall not suspend the performance of this Agreement pending review and approval of any Change Order or for any other reason. Subcontractor shall receive no additional compensation due to unknown and/or concealed physical conditions. Subcontractor shall receive no additional compensation or time to perform due to deficiencies in the project specifications, unless such conditions could not have been discovered by a diligent review of the same by Subcontractor prior to the execution of the Agreement and unless such additional compensation and time to perform is received by Contractor under the Primary Contract (receipt of which by Contractor is an explicit condition precedent). Subcontractor shall carry on the Work and maintain satisfactory progress while any claim, dispute, or other matter is being resolved.

5. Confidential Information and Intellectual Property.

5.1 Confidential Information: In the event that Subcontractor or any of its subcontractors comes into possession of Confidential Information—as that term is defined by the Primary Contract (including Exhibit E thereto) and including (but not limited to) all terms and provisions of the Primary Contract and any personally identifiable information relating to Owner's customers or employees—in the course of performing the Work, Subcontractor shall assume the obligations and responsibilities assigned to Contractor relating to the treatment of such Confidential Information contained in Section 16 of the Primary Contract and Exhibit E thereto, as applicable. Such Primary Contract provisions applicable to Contractor shall apply with equal force and effect to Subcontractor.

5.2 Contractor's Intellectual Property: All designs, drawings, specifications, documents, models, electronic data and other work products of Subcontractor are instruments of service for this Project, whether or not the Project is completed, and are the property of Contractor along with all copyrights therein. All designs, drawings, specifications, documents, models, electronic data, and all other materials, documentation or information regarding the Work, the Primary Contract, the Owner or Contractor supplied to or obtained by Subcontractor from Contractor or its representatives, or that Subcontractor prepares or creates or causes to prepare or create specifically related to the Work (collectively, the "Information"), are the sole property of Contractor, and Subcontractor may use the Information solely for purposes of completing the Work in accordance with the terms of this Agreement. Subcontractor shall execute and deliver any documentation necessary or desirable to vest indefeasibly title to such Information in Contractor. Subcontractor shall place on all Information notice of Contractor's ownership or such other notice as Contractor may direct. Contractor is entitled to possession of all Information (in both hard copy and electronic form) upon completion, termination of this Agreement, or Contractor's request, whichever occurs first. Subcontractor shall provide all Information, including computer design electronic data, to Contractor upon request. Contractor has the right to assign interests in all Information. Submission or distribution of any Information to meet official regulatory requirements or for similar purposes in connection with the Project is not to be construed as publication in derogation of the rights granted or reserved herein. The Information shall be considered confidential, and Subcontractor shall not release or disclose the Information to any person or entity without Contractor's prior written consent. If Subcontractor is legally requested or required (by oral questions, interrogatories, requests for information or documents, subpoena, civil investigative demand or similar process or, in the opinion of counsel for Subcontractor) to disclose any of the Information, Subcontractor shall promptly notify Contractor of such request or requirement prior to disclosure so that Contractor may seek the appropriate protective order or waive compliance with the term of this Agreement requiring Contractor's written consent. Subcontractor may not use, and acquires no interest of any kind in, Contractor's or Owner's name, trademarks, or other intellectual property of any kind, except as specifically permitted in writing. Subcontractor acknowledges that a breach or threatened breach of this provision would result in irreparable injury to Contractor for which money damages would not be sufficient and agrees that Contractor shall be entitled to seek immediate injunctive or other equitable relief to remedy or forestall a breach or threatened breach. Such remedy shall not be exclusive, but shall be in addition to all others available at law or in equity. Subcontractor shall pay all royalties and license fees and, in addition to the requirements of Section 16 below, to the fullest extent permitted by law shall defend, indemnify, and hold harmless Contractor from all damages, suits, and claims (including all related damages, costs, and

expenses—including attorneys' fees and expert fees) for infringement of any patent rights, trademarks, trade secrets, or copyrights arising out of or relating to the Work.

6. Permits, Licenses or other Authorizations. Subcontractor shall be responsible for obtaining any permits, licenses or other authorizations necessary for it to perform the Work, copies of which shall be provided to Contractor no later than five (5) days after execution of this Agreement. To the extent required of Contractor under the Primary Contract for the Scope of Work under this Agreement, Subcontractor shall be responsible for obtaining other permits, licenses and authorizations for the Project specified in the Primary Contract. Subcontractor shall comply with the requirements of all such permits, licenses and authorizations. In addition to the requirements of Section 16 below, Subcontractor shall indemnify, defend and hold Contractor and Owner harmless from any and all fines, penalties, and forfeitures, whether civil or criminal, arising from Subcontractor's non-compliance with this Section.

7. Subcontractor's Performance Costs/Protection of Assets. Subcontractor at its expense shall supply all supervision, labor (regardless of craft or jurisdiction), tools, equipment, vehicles, fuel, power, heat, water, telephone, utilities, services (whether temporary or permanent), drinking water, sanitary facilities, cleanup, hoisting, hauling, unloading, storage and protection, scaffolding, appliances, quality assurance and testing, field measurements and survey, office facilities, shop drawings and samples, and other materials and shall provide all transportation, storage and other facilities and all other items incidental or required or otherwise reasonably implied as necessary to perform the Work properly in strict conformance with this Agreement, other than as explicitly and clearly specified in the Primary Contract or the Specifications. Any materials, equipment, and other Work supplied by Subcontractor must meet at least the standards established by Contractor or Owner under the Primary Contract. Subcontractor shall be responsible for the condition and safekeeping of any tools, equipment, vehicles, materials or other tangible assets (collectively, the "Assets") provided by Subcontractor or provided to Subcontractor by Contractor, Owner or another subcontractor in connection with the Work, and shall return such Assets to their rightful owner (to the extent not used in completing the Work) upon completion of the Work. Subcontractor shall maintain the Assets used in connection with the Work in good operating condition, repair, and appearance, and protect the same from deterioration, other than normal wear and tear, and shall use the Assets in the regular course of business only within its normal capacity, without abuse, and in a manner contemplated and recommended by the manufacturer. Any Assets that are loaned or rented to Subcontractor shall be the sole responsibility of Subcontractor, who shall be responsible for adequately insuring said Assets in accordance with the requirements of this Agreement. Further, Subcontractor shall adequately protect any adjacent property from damage that might occur because of the Work.

8. Subcontractor's Compliance with Laws and Audit Rights.

8.1 Subcontractor and its employees, agents, and subcontractors shall observe all safety, nondiscrimination, equal employment, drug and alcohol, business ethics and other rules and policies of Contractor and Owner and all applicable laws, orders, rules, and regulations of any governmental authority in performing the Work, including, without limitation, those requiring the maintenance of Internal Revenue Service (IRS) I-9 employment tax records and those relating to safety and health, the environment, and labor and employment, Social Security and Medicare (FICA), Federal Income Tax Liability, Federal Unemployment Taxes (FUTA), state and local income taxes, State Unemployment Insurance (SUI), wage and tax reports, state disability, Employee Retirement Income Security Act (ERISA) and Workers Compensation (collectively, "Requirements"). Subcontractor acknowledges and agrees to fully comply with the provisions of Federal Labor Provisions (PR 1273), Notice of Affirmative Action (Executive Order 11246) (43 FR 14895) and Standard Federal EEO Specifications (Executive Order 11246) (43 FR 14895), as well as the requirements of 47 U.S.C. § 222 and all regulations applicable to Customer Proprietary Network Information, or "CPNI"—as that term is defined by the Primary Contract—to the extent applicable. For the avoidance of doubt, Subcontractor agrees to comply with any additional federal, state, or local laws or provisions applicable to the Work in the event it is performed under Owner's Government Contract, as that term is defined by the Primary Contract, including any applicable legal provisions listed in Section 25(l) of the Primary Contract or Exhibit N thereto. Subcontractor represents and warrants that it is compliant with all provisions of the Fair Labor Standards Act and all related implementing regulations and orders of the Secretary of Labor and any other state or local wage and hour law relating to the classification of all relevant personnel as independent contractors or employees and the compensation provided to all such individuals. Subcontractor must present a certification by an experienced wage and hour attorney of such compliance to Contractor three (3) months from the execution of this Agreement and once every twelve (12) months thereafter. Subcontractor further represents and warrants that it has complied and will continue to comply with the Immigration Reform and Control Act of 1986 as well as any other relevant immigration statutes and regulations. Subcontractor shall immediately notify Contractor in writing if it or any of its employees, agents, or subcontractors believes that any part of the Work or any requirements contained in the contract documents violates any Legal Requirement, as that term is defined by the Primary Contract.

8.2 Subcontractor shall conduct Background Checks, as that term is defined by the Primary Contract, and otherwise comply with all provisions of Section 15 of the Primary Contract and Exhibit C thereto relating to Background Checks. Any obligations of Contractor in Section 15 of the Primary Contract shall also apply with equal force and effect to Subcontractor, including the obligation to comply with all applicable laws in conducting Background Checks, the obligation

to require any of Subcontractors' subcontractors used in performing the Work to comply with Section 15 of the Primary Contract, and the obligation to indemnify, defend, and hold harmless Contractor and Owner from any action arising from a violation of Section 15 of the Primary Contract by Subcontractor or any of its subcontractors.

8.3 At any time and from time to time, Contractor and Owner shall have the right to inspect, audit, and copy (and Subcontractor shall make available) the books, records, and files (including all digital and electronic files) of Subcontractor relating to the Work and this Agreement—all of which shall be retained by Subcontractor for three (3) years following final payment for the Work or the termination of this Agreement, whichever is later—for verification of payments due, amounts claimed, quality of the Work, obligations owed lower-tier subcontractors or suppliers, amounts of claims, or any other obligations of Subcontractor hereunder. Subcontractor shall keep its financial records accurately, up to date, and in accordance with generally accepted accounting principles and shall at Subcontractor's expense make available comfortable space and copying equipment and supplies. Subcontractor shall retain all of its estimates and bidding documents (including worksheets) as part of its records for this project.

8.4 During the term of this Agreement, Subcontractor shall submit, by the first day of each month, a report containing: (a) the number of its personnel, including its employees, agents or contractors, providing services under this Agreement; and (b) the amount that it or any of its subcontractors or suppliers has spent with Diverse Suppliers (as that term is defined by the Primary Contract) in performing the Work, including supplying necessary materials. Upon Contractor's request, Subcontractor will also provide a list of the license plate numbers of each of its vehicles, or those of its employees, agents or subcontractors, used in connection with the Work.

8.5 Subcontractor consents to Owner or a third-party auditor selected by Owner randomly monitoring the agent calls of Subcontractor or any of its subcontractors performing dispatching or work order support services on behalf of Contractor.

8.6 Contractor and Owner shall have the right to audit Subcontractor's compliance with the Requirements and the other requirements of this Agreement and the Primary Contract at any time, and Subcontractor shall provide any documentation requested by Contractor or Owner and shall otherwise cooperate in the conduct of such audits. Contractor may direct Subcontractor to stop all Work until Contractor has determined that Subcontractor is in compliance hereunder. At Contractor's request, and within seven (7) days of such request, Subcontractor shall provide a certification, in a form reasonably acceptable to

Contractor and Owner, of its compliance with the terms and conditions of this Agreement. Upon Contractor's further request, Subcontractor shall promptly provide evidence satisfactory to Contractor of its compliance with this Agreement.

8.7 This Section 8 is specifically enforceable.

9. Independent Contractor Status. Subcontractor is engaged as an independent contractor and is not an agent or employee of Contractor. Subcontractor acknowledges that Contractor may engage other subcontractors or agents to carry out a portion of the Project or other work related thereto. Subcontractor further acknowledges that it must not contract with the Owner to provide the same or similar services as provided in this Agreement during the term of this Agreement, including any applicable warranty periods. Subcontractor must not delegate or further subcontract any of the Work without the prior written consent of Contractor. Subcontractor has full control and supervision of the performance of the Work. Contractor or Owner may deny access to the Work site to any employee or other agent of Subcontractor who is not in compliance with the requirements of this Agreement, the Primary Contract, or the Requirements. Subcontractor is responsible for scheduling Subcontractor's personnel, subject to Contractor's schedule of completion and other requirements. Subcontractor is solely responsible for payment of all compensation and benefits to its employees and others engaged by it to perform the Work and for all workers' compensation, unemployment compensation, health, life and disability insurance, social security and income tax withholding, and all other federal, state and local withholding taxes or other taxes, withholdings and payments due on account of such compensation. Contractor or Owner may require Subcontractor to submit payroll records to Contractor. During the term of this Agreement and for two (2) years after its expiration or termination, inclusive of any applicable warranty periods, Subcontractor shall not solicit, attempt to solicit or contract with or provide services directly or indirectly (either as an employee, officer, director, partner, shareholder, consultant, or independent contractor) to those customers of Contractor with whom Contractor has contracted, for the purposes of providing or offering to provide the same and/or similar services or products.

10. Inspection of Work Site, Primary Contract and Specifications.

Subcontractor acknowledges that it has (a) visited the site(s) where the Work is to be performed and visually inspected and is familiar with the general and local conditions which could affect the Work, and (b) reviewed the terms and conditions of the Primary Contract, including the Specifications. Subcontractor assumes the risk of all man-made and natural conditions of the site(s) where the Work is to be performed. Neither Contractor nor Owner guarantees to Subcontractor the accuracy of the Specifications, any information concerning the Work site(s), or other conditions applicable to the Work. No damages or additional compensation shall be paid to Subcontractor for additional costs caused by obstructions or conditions that would have been reasonably discoverable by an on-the-job survey or onsite inspection of the area

in advance of the execution of this Agreement or which might commonly be expected to exist in the area. Additional compensation also will not be paid for the usual or ordinary work associated with subsurface objects specifically identified in this Agreement or on any map or other documentation delivered to Subcontractor. Subcontractor shall be responsible for locating, exposing, and protecting from damage all existing underground cables, utilities, and facilities, including electrical, telephone, water, gas, and sewer lines.

11. Subcontractor's Waste/Debris Removal Obligations. Subcontractor is responsible for any damage to property caused directly or indirectly by Subcontractor or its agents or representatives, including approved subcontractors. At all times, Subcontractor shall keep all premises, driveways and streets where it performs Work clean of trash and debris caused by the Work, and upon completion of Work in an area, Subcontractor shall leave the area broom clean and ready for use. Subcontractor is responsible for the expense of removing any trash, debris, and surplus materials left over or resulting from the performance of the Work. Subcontractor shall be responsible for proper and environmentally sound cleanup and disposal, in conformance with applicable laws and regulations, of all debris, spills, waste, and other things resulting from performance of the Work. If, after twenty-four (24) hours' notice by Contractor to Subcontractor, Subcontractor fails to comply immediately with this Section, Contractor may perform such necessary clean-up without further notice and deduct the cost plus a markup of twenty percent (20%) from any amounts due to Subcontractor or charge Subcontractor for such amount. In the event Contractor is unable to determine which subcontractor is responsible for cleanup of debris, spills, waste, or other things, Contractor may apportion the cost of such clean-up among the subcontractors (including Subcontractor) that Contractor determines to be responsible, and in such manner as Contractor determines to be equitable, and Subcontractor shall be bound by Contractor's determination.

12. Payment Terms.

12.1 Upon final acceptance of the Work by Contractor and Owner and contingent upon Subcontractor's delivery to Contractor of complete releases of claims of lien and releases of all other claims in a form acceptable to Contractor and evidence in a form acceptable to Contractor that Subcontractor has paid its subcontractors and/or materialmen as more fully set forth herein, Contractor will pay Subcontractor for the Work in conformity with prices contained in Schedule 1, which prices shall be linked directly to a standard (e.g. schedule of values or unit prices); provided that, all payments to Subcontractor by Contractor are expressly contingent upon and subject to receipt of payment for the Work by Contractor from Owner, even if (a) Contractor has posted a payment bond with Owner or (b) the Primary Contract is on a "cost plus" or other reimbursement basis requiring Contractor to pay subcontractors prior to being reimbursed by Owner or (c) the Primary Contract otherwise requires or guarantees payment by Contractor to Subcontractor. Subcontractor expressly accepts and has the risk

of non-payment for the Work by Owner. Notwithstanding the provision by Contractor of a payment or other bond, letter of credit or other security securing or guaranteeing payment to Subcontractor, including any such provision in the Primary Contract, Subcontractor shall not make any claim against such bond or letter of credit or other security or avail itself of any such provision in the Primary Contract unless and until Owner has paid Contractor in full for the Work performed by Subcontractor. Subcontractor shall cooperate fully with Contractor in supplying any documentation required by Owner to release payments to Contractor, including receipts and releases of lien. Subcontractor shall not suspend or stop Work by reason of or on account of the Owner withholding any amount from any invoice. Contractor may retain from any payments due to Subcontractor the same percentage that is retained by Owner from payments to Contractor under the Primary Contract or a greater percentage and for a different time period than is set forth in the Primary Contract. In connection with any payment, Subcontractor shall provide a complete and current list of all of Subcontractor's subcontracts and purchase orders, the price of each subcontract and purchase order, the date of the most recent invoice on each, the date of the most recent payment on each, the current amount due and owing on each subcontract and purchase order and a general release and waiver of all liens from all subcontractors and suppliers. Any payment shall constitute full and complete payment for all Work performed by Subcontractor and identified in Subcontractor's invoice, but shall not constitute acceptance of any defective work or materials. Contractor shall not be obligated to pay for any work or materials not included in the description of the Work or any properly authorized Change Order. Subcontractor waives its right to payment for Work invoiced more than ninety (90) calendar days after completion of the Work. No application for payment shall be complete, nor shall Contractor be required to process such application or make any payment to Subcontractor, nor shall payment be earned or due and owing, unless Subcontractor is in strict compliance with this Agreement and Contractor has approved the application as to form and content and received the signed acceptance copy of this Subcontract, an insurance certificate evidencing coverage per this Agreement, performance and payment bonds (if required), and any other documentation required to be submitted and all other conditions have been satisfied.

12.2 Right to Set Off. Contractor may offset against amounts due to Subcontractor under this Agreement or withhold from Subcontractor any amounts determined by Contractor to be due from Subcontractor under this Agreement, the Primary Contract or otherwise for, including but not limited to, (a) defective work not remedied or defective materials not removed and replaced, (b) claims filed or reasonable evidence indicating the possible filing of mechanics' liens or claims against the Project, premises or buildings, Owner, Contractor, or Contractor's surety (if any) or against the funds for construction of the improvement, (c) failure or claimed failure of Subcontractor to make payments

properly to its subcontractors, materialmen, or laborers or failure or claimed failure of Subcontractor's subcontractors of any tier to make payment to anyone below them, (d) any indebtedness owed by Subcontractor to Contractor, (e) damage to the Owner, Contractor, or another subcontractor, (f) unsatisfactory or untimely prosecution of the Work by Subcontractor, (g) a reasonable doubt that the Agreement can be completed for the balance then unpaid, (h) unsatisfactory or untimely delivery of submittals, (i) any failure of Subcontractor to comply with the Contract Documents, (j) the Owner withholding payment from Contractor, (k) any failure of Subcontractor to honor its indemnity or insurance obligations to Contractor, or (l) a reasonable need to protect Contractor from or for damages, obligations, or liability that exists or is reasonably anticipated to be owed by Subcontractor. Contractor may make direct or joint check payments to Subcontractor and Subcontractor's suppliers and/or subcontractors. Contractor's periodic payment to Subcontractor neither constitutes nor implies approval or acceptance of the Work.

13. Subcontractor's Covenant to Pay its Debts. Subcontractor warrants that it has sufficient funds and credit to pay currently all bills incurred in the performance of the Work without the necessity of resorting to earnings for Work performed hereunder, and agrees that failure to pay such bills shall be a breach of this Agreement for which Contractor may terminate this Agreement or may, but is not required to, withhold all sums otherwise payable under this Agreement for past and future earnings until Subcontractor presents satisfactory evidence of payment, and in case any such bill or claim is disputed by Subcontractor, Contractor may, for the purposes of this Agreement consider the same to be valid until discharged and released or until satisfactory security is given for Contractor's indemnification. At Contractor's option, Contractor may, but shall not be required to, pay any such bill or claim and recover the same from Subcontractor or any surety or deduct the same from any payments (progress or retainage) otherwise due hereunder. Any and all payments made in good faith in the belief that Subcontractor is liable, whether liable or not, shall be conclusive of Contractor's right to reimbursement, and a sworn itemized statement thereof or the checks or other evidence of payment shall be conclusive evidence of the fact and extent of Subcontractor's liability to Contractor.

14. Waiver of Right to File Liens. Subcontractor waives any rights that it may have under applicable law, the Primary Contract or any other agreement or requirement to file mechanic's, materialman's or other liens or encumbrances of any kind against Contractor or Owner, or against the Work or the Project covered by this Agreement or the Primary Contract, or to make any claim against, or pursuant to, any bond provided by Contractor, and shall promptly discharge any such claims, liens or encumbrances filed or made by Subcontractor or any of Subcontractor's subcontractors (of any tier), employees, agents, independent contractors, if any, or any others claiming to have performed any part of the Work. At Contractor's request, Subcontractor shall provide (a) a release in a form acceptable to Contractor of any mechanic's or materialman's or

other liens or encumbrances or any claim against or pursuant to any bond provided by Contractor in connection with the Work, and (b) an affidavit disclosing the identity and address of all persons or entities that have supplied materials or labor or anything else in connection with the Work and releases in a form acceptable to Contractor from any of such persons or entities. Contractor shall have the right (but not the obligation) to make payments directly to such persons and entities. In addition to the requirements of Section 12, final payment to Subcontractor is expressly contingent upon Subcontractor delivering the releases and affidavits contemplated by this Section and those contemplated in Section 12.

15. Insurance Requirements.

15.1 Subcontractor shall provide and maintain at its own expense the minimum insurance coverages set forth in Section 13(a)(i)-(vi) of the Primary Contract with such insurance companies and in such form as will be satisfactory to Contractor and Owner. Such policies shall also comply with the remainder of Section 13 of the Primary Contract and shall be procured and maintained with forms and insurers acceptable to Contractor and must have a minimum Best Rating of A-, VII or better. All insurance required under this Agreement must be on an "occurrence" basis and not on a "claims made" basis. Subcontractor shall not allow insurance required by this Agreement to lapse, be canceled, reduced in limits or coverage, non-renewed, or materially changed or have restrictive modifications added during the life of this Agreement, including the warranty period or other periods of required coverage. Subcontractor, prior to commencement of any Work, shall provide Contractor with ACORD certificates of insurance and insurance policy endorsements evidencing the coverages required by this Agreement in a form acceptable to Contractor, which certificates and endorsements shall also provide that—in addition to the requirements set forth in Section 13 of the Primary Contract—(i) Contractor is named as an additional insured under the insurance policies required by this Agreement, and in the case of Subcontractor's commercial general liability insurance policy, Subcontractor shall include as additional insureds Contractor, along with its subsidiaries, affiliates and employees, and such other persons and entities as may be designated by Contractor; (ii) the insurance carrier must provide notice to Contractor of any cancellation of or material modification of such insurance policies in accordance with the requirements of the policies; and (iii) coverages afforded under the policies will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to Contractor. Failure of Contractor to object to a lack of a certificate of insurance or endorsement or to the coverages indicated thereon or provided by Subcontractor shall not constitute a waiver by Contractor of any of Subcontractor's obligations. The insurance requirements as set forth in this Agreement are minimum requirements only, and any additional coverages that may be necessary to further protect Subcontractor are the sole responsibility of Subcontractor. In the event of any cancellation or policy change not acceptable to Owner, Owner may, at its option and in its sole

discretion, provide replacement insurance coverage and charge any resulting premium expense to Contractor or Subcontractor. Subcontractor agrees to indemnify, defend, and hold harmless Contractor from all such charges and related expenses in the event that Owner charges Contractor such a premium expense for Subcontractor's insurance. The maintenance of the insurance required by this Agreement shall not relieve Subcontractor of any liability to Contractor under this Agreement or otherwise. The required insurance certificates and endorsements must be furnished to Contractor no later than five (5) days after execution of this Agreement and before performing any Work at the address set forth on the first page of Schedule 1 and to:

Legal Department
MasTec North America, Inc
800 Douglas Road, 12th Floor
Coral Gables, FL 33134
Facsimile: 305-406-1907

In addition to the foregoing insurance, Contractor may require Subcontractor to obtain at Subcontractor's expense a performance or payment bond in such amount and form and with such bonding companies as Contractor may determine. Any such bonding requirement will be specified in Schedule 2. In the alternative, Contractor may require Subcontractor to pay a pro-rata portion of the premium on any bond required of Contractor by Owner under the Primary Contract. Subcontractor's surety, if any, shall be bound by its bonds until all claims against the insurance, including claims under Section 16 and other indemnification obligations have been resolved and evidence of the resolution acceptable to Contractor has been furnished to Contractor.

15.2 Subcontractor shall have a continuing obligation to keep the lists of any personnel used to perform any of the Work that are employed by leasing companies current and shall ensure that leasing companies employing such personnel maintain the worker's compensation and other insurance coverages required by this Agreement. Subcontractor's failure to comply with this part shall constitute a material breach of this Agreement. Subcontractor shall indemnify and hold Contractor harmless from all losses, claims, damages, costs (including the cost to Contractor of purchasing required insurance coverage for Subcontractor or Contractor and attorneys' fees), and liability arising from or related to Subcontractor's failure to comply with the requirements of Section 15 (including this Section 15.2). If Subcontractor fails to procure and maintain the insurance coverage as required by this Agreement, Subcontractor shall be liable for paying and performing any obligations that Subcontractor's insurer would have paid or performed if Subcontractor had procured and maintained the required insurance coverage; and, in addition to all other rights, Contractor may, but shall not be obligated to, obtain such insurance and charge all costs for such

insurance to Subcontractor, and Contractor also has the right to terminate this Subcontract for default of the Subcontractor.

15.3 To the extent of coverage afforded by builder's risk or any other property insurance applicable to the Work or the Project, regardless of whether such insurance is owned by or for the benefit of Subcontractor, Contractor, the Owner, or their respective contractors, subcontractors, and agents, Contractor and Subcontractor agree to waive all rights against (a) each other and any of their contractors, subcontractors, sub-subcontractors, agents, and employees, each of the other; and (b) the Owner and any of its contractors, subcontractors, agents, and employees, whether under subrogation or otherwise, for loss or damage to the extent covered by such insurance, except such rights as they may have to the proceeds of such insurance. A waiver of subrogation shall be effective as to a party even though that party would otherwise have a duty of indemnification, contractual or otherwise, did not pay the insurance premium directly or indirectly, and whether or not the party had an insurable interest in the property damaged. Any deductible amount applied to any loss payable under any builder's risk or other property insurance applicable to the Work or the Project shall be borne by the insured party whose work is damaged in direct proportion as their individual losses shall bear to the total losses incurred in a single event, regardless of whether such loss is to work installed and completed, to materials stored on or off site, or to materials in transit. Neither Contractor nor the Owner represents that any builder's risk or property insurance applicable to the Work, if any, is adequate to protect the interests of Subcontractor. It shall be the obligation of Subcontractor to determine whether such insurance is in effect and provides adequate protection for its insurable interests, or whether Subcontractor should purchase and maintain supplementary property insurance that it deems necessary to protect its interests in the Work.

16. Indemnification.

16.1 To the fullest extent permitted by law, Subcontractor agrees to indemnify, defend and hold harmless Owner, Company Indemnities, as that term is defined by the Primary Contract, Contractor, and Contractor's directors, officers, employees and agents (collectively the "Indemnitees") and each of them from and against any loss, costs, damages, claims, expenses (including attorneys' fees), liabilities, causes of action, lawsuits, penalties, judgments, and demands (collectively referred to as "Liabilities") in whole or in part arising out of or in connection with any of the following:

- a) any and all mechanics' and materialmen's liens arising by reason of or related to the Work or any part thereof;
- b) the performance or nonperformance of the Work contemplated by this Agreement which is or is alleged to be directly or indirectly caused, in whole or in part, by any act, omission, default, or negligence (whether active or passive) of Subcontractor or its employees, agents or

- subcontractors, regardless of whether it is, or is alleged to be, caused in whole or part (whether joint, concurrent, or contributing) by any act, omission, default or negligence (whether active or passive) of the Indemnitees, or any them; or
- c) the failure of Subcontractor or its employees, agents, or subcontractors to comply with any of the terms or provisions of this Agreement; or
 - d) any breach by Subcontractor of any of the representations or warranties of this Agreement; or
 - e) the negligence or other wrongdoing on the part of any employee, agent, or subcontractor of Subcontractor;
 - f) the termination, disturbance, interruption or other interference with services of any type of utility or other public or private facility damaged, harmed or disturbed or caused to be disturbed by Subcontractor or any of its agents, employees or subcontractors;
 - g) any injury, damage or loss to persons (including injury to Subcontractor's employees and agents and the employees and agents of its subcontractors or suppliers) or property occurring during, arising from or arising in connection with: (i) the Work, including, without limitation, any defective, non-conforming or omitted Work; (ii) the entry upon or possession of Work site by the Subcontractor or its subcontractors; or (iii) the acts or omissions of Subcontractor or its or its subcontractor's agents, employees, or invitees, or any other person for whom Subcontractor is responsible;
 - h) any contractual indemnity obligation of Owner to any third party arising out of the injuries, damages, and losses specified in the preceding paragraph;
 - i) any acts or omissions of Subcontractor that would cause Subcontractor's independent contractor status to be jeopardized;
 - j) any claims by third parties for acts or omissions committed by Subcontractor or its subcontractors as an alleged agent of Contractor or Owner;
 - k) the conduct of Subcontractor's business;
 - l) any claims by Subcontractor's subcontractors regarding acts or omissions by Subcontractor or any breach of the contractual relationship between Subcontractor and any of its subcontractors;
 - m) the failure of Subcontractor or its employees, agents, or subcontractors to conform to statutes, ordinances, or other regulations or requirements of any governmental authority in connection with the performance of the Work provided for in this Agreement, including any and all Liabilities relating to any theft of service acts—like those contemplated by 47 U.S.C. §§ 605 and 553;
 - n) any assertions under worker's compensation or similar employee benefit acts by Subcontractor or any of its or its subcontractor's agents or employees;

- o) any assertions by an employee or former employee of Subcontractor, or any of its subcontractors, for which Subcontractor's Liability to such employee or former employee would otherwise be limited to payments under state worker's compensation laws or an employee liability policy, premises liability principles or any other law or form of legal duty or obligation;
- p) any wage and hour claim, failure to pay overtime, misclassification, or other employment or pay dispute brought by any of Subcontractor's or its subcontractor's agents or employees under the Fair Labor Standards Act or comparable state or local statute or regulation; or
- q) any allegation of an employment, joint employment, co-employment or other relationship between any Company Indemnitee and Subcontractor or its subcontractors or any of their personnel; or
- r) liquidated damages, incurred by Contractor due to delays caused by Subcontractor.

16.2 Contractor and Subcontractor agree that the indemnification given herein shall be limited to the amount of loss suffered by the Indemnitees or _____ Dollars (\$_____) per occurrence, whichever is less, which amount is stipulated by the Parties to bear a reasonable commercial relationship to the value of the Agreement.

16.3 Contractor and Subcontractor agree that any judgment entered against the Indemnitees, or any of them, or Subcontractor, shall not be determinative of the issue as to whether the act, omission, default, or negligence upon which the action was brought was that of the Indemnitees or of Subcontractor.

16.4 The foregoing indemnity obligations shall be in addition to any other indemnity obligations of Subcontractor set forth in this Agreement.

16.5 Contractor will provide Subcontractor with written notice of any written claim covered by this Section 16 (it being understood that a failure to do so shall not affect any of the Indemnitees' ability to be indemnified and/or recover damages, except to the extent that the defense of such claim is materially prejudiced by such failure), and Subcontractor shall promptly thereafter assume the defense of such claim with counsel reasonably satisfactory to the applicable Indemnitee(s). The fees of such counsel shall be paid by Subcontractor, although Contractor shall have the right, at its option, to participate in the settlement or defense of the claim, with the counsel of its own choosing and at its own expense. Neither Subcontractor nor any Indemnitee shall settle or compromise any indemnified claim or consent to the entry of judgment without the prior written consent of the other, which consent shall not be unreasonably withheld or delayed.

17. Termination, Suspension or Delay of Work. If the Primary Contract to which this Agreement refers is terminated, suspended or delayed for any reason, this Agreement shall be terminated, suspended or delayed on the same basis and upon the same effective date as the termination, suspension or delay of the Primary Contract. Upon such a termination, suspension or delay of this Agreement, Subcontractor shall only be entitled to recover from Owner or Contractor such amounts as are payable to Subcontractor and actually received by Contractor for the portion of the Work completed by Subcontractor, less Contractor's anticipated gross profit from the Work. Subcontractor is not entitled to mobilization, start-up, demobilization or other amounts, or consequential, special, incidental, liquidated or punitive damages, or for commercial loss or lost profits, unless such amounts or damages are awarded to and actually received by Contractor, in which case Subcontractor may recover such amounts or damages for the portion of the Work completed by Subcontractor less the same percentage constituting Contractor's gross profit retained by Contractor from all other amounts payable by Owner. Subcontractor shall not be entitled to any other remedy for a termination, suspension or delay under this Section 17 including any amounts directly from Contractor. In the event the Owner suspends the Work due to Unavoidable Delay in accordance with Section 11(b) of the Primary Contract and then decides to resume the Work, Subcontractor shall have ten (10) working days from the date of Owner's notice of the resumption of Work to return to the Work site and recommence the Work.

18. Contractor's Remedies.

18.1 Should:

- a) Subcontractor at any time (i) fail to supply sufficient skilled workers, supervisors, equipment, or materials of proper quality and quantity; or (ii) fail to proceed with the Work in the sequence or pursuant to the schedule directed by Contractor for any reason, including any labor disputes or picketing; or (iii) fail to prosecute the Work with promptness and diligence; or (iv) cause the stoppage, delay of, or disruption or interference with or damage to the work of Contractor or of any other contractors or subcontractors on the Project; or (v) breach any of the provisions of this Agreement, including a breach of any of the applicable provisions of the Primary Contract; or (vi) fail to make prompt payment to one of its subcontractors or material suppliers; or (vii) fail to consistently perform in accordance with any applicable key performance indicators (or, "KPIs") established by the Primary Contract; or
- b) Contractor determine that the Work or any portion thereof is not being performed in compliance with this Agreement; or
- c) there be filed by or against Subcontractor a petition in bankruptcy or for an agreement or reorganization (Contractor being unwilling to

accept and hereby declines performance by any trustee in bankruptcy or any assignee); or

- d) Subcontractor fail to comply with its indemnification obligations to Contractor or fail to maintain required insurance or bonds; or
- e) Subcontractor become insolvent, be unable to pay its debts as they come due, make a general assignment for the benefit of creditors, file a voluntary petition in bankruptcy or for reorganization or have filed against it an involuntary petition, or takes any other similar action;

then, in any of such events (each of which shall constitute a default hereunder on Subcontractor's part), and in addition to any other rights and remedies provided by this Agreement or by law, Contractor may immediately without further notice and at the risk of Subcontractor (i) perform and furnish through Contractor or through others any labor, services, equipment, or materials for the Work and deduct the cost thereof plus a twenty percent (20%) markup on such costs from any money due or to become due to Subcontractor under this Agreement or recover such amounts from Subcontractor (and its surety, if any), or (ii) terminate Subcontractor for all or any portion of the Work, and either (1) demand completion of the Agreement by Subcontractor's surety, if any, or any other relief under any applicable bond or (2) enter upon the premises and take possession for the purpose of completing the Work, of all materials, equipment, scaffolds, tools, appliances, and other items thereon, all of which Subcontractor hereby transfers, assigns, and sets over to Contractor for such purpose, and employ persons as necessary to complete the Work and to provide all the labor, services, materials, equipment, and other items required therefore (and Contractor has the right to any combination of all the foregoing remedies). In case of default by Subcontractor or a termination under this Section 18.1, Subcontractor shall not be entitled to receive any further payment under this Agreement until the Work shall be wholly completed to the satisfaction of Contractor and shall have been accepted by Contractor, at which time, if the unpaid balance of the amount to be paid under this Agreement for Work actually performed by Subcontractor shall have been received by Contractor from Owner and exceeds the cost incurred by Contractor in completing the Work (plus a markup of twenty percent (20%) on all such costs for overhead and profit), such excess shall be paid by Contractor to Subcontractor; but if such cost (plus a markup of twenty percent (20%) on all such costs for overhead and profit) shall exceed the unpaid balance of the Agreement price actually received by Contractor from Owner, then as soon as this condition exists Subcontractor, and its surety, if any, shall pay the difference to Contractor and shall continue to make payments as such amounts accrue. Such cost shall include the cost of completing the Work to the satisfaction of Contractor and of performing and furnishing all labor, services, materials, equipment, design, documentation, warranties, as-builts, and other items required therefore, and also all losses, damages, costs, and expense (including attorneys' fees and expert fees) incurred by reason of or resulting

from, directly or indirectly, Subcontractor's default or other breach of this Agreement or the enforcement of Contractor's rights under this Agreement or any bond provided by Subcontractor.

18.2 Upon termination of this Agreement for any reason, Subcontractor shall immediately cease all work and vacate the job site, and shall return all Assets supplied by Contractor, Owner or other subcontractors. Contractor may offset against any amounts due to Subcontractor by Contractor under this Agreement or any other agreement between Contractor or any of its affiliates and Subcontractor the amount of any losses, claims or other damages recoverable by Contractor from Subcontractor under this Agreement or otherwise.

18.3 If it is later determined that any termination by Contractor under Section 17 or Section 18.1 was exercised without legal right or is invalid, then the termination shall be deemed to be a convenience termination pursuant to the terms of Section 18.4 below effective on the date determined by Contractor and without written notice.

18.4 Contractor for its own convenience shall have the right, unconditionally and for any reason and at any time, to terminate this Agreement by written notice and to require Subcontractor to cease Work hereunder. Such termination shall be effective at the time and in the manner specified in the notice (or as specified in Section 18.3) and shall be without prejudice to any claims which Contractor or the Owner may have against Subcontractor. Subcontractor shall be paid fifteen (15) days after Contractor receives payment from the Owner for the direct value of the Work completed by Subcontractor in full compliance with this Agreement as of the date of termination, and Subcontractor shall have no right to any payment for Work not performed (including hard costs, overhead, or profit) or any other claimed damages.

18.5 All payments to Subcontractor by Contractor related to Section 17 or Section 18 (including all subsections) are expressly contingent upon and subject to receipt of payment for the Work by Contractor from Owner, even if (a) Contractor has posted a payment bond with Owner or (b) the Primary Contract is on a "cost plus" or other reimbursement basis requiring Contractor to pay subcontractors prior to being reimbursed by Owner or (c) the Primary Contract otherwise requires or guarantees payment by Contractor to Subcontractor. Subcontractor expressly accepts and has the risk of non-payment for the Work by Owner.

18.6 Subcontractor agrees to replace or remove personnel from the Project in the event and in the manner in which Contractor—with or without cause—directs it to do so. Contractor shall provide notice of any such direction in writing (e-mail

is permitted), and Subcontractor agrees that it will not thereafter permit personnel identified by the notice to perform any Work.

19. Defective/Incomplete Work. In addition to Subcontractor's responsibilities under Section 2 of this Agreement, Subcontractor shall, within twenty-four (24) hours after receiving written notice from Contractor so to do, proceed to remedy all incomplete and defective Work and/or to remove from the site all materials found to be defective by Contractor or Owner, whether assembled or not, and to dismantle all portions of the Work which shall be condemned as unsound or found in any way by Contractor or Owner to fail to conform to the requirements of the Agreement or the Primary Contract, and to replace, at Subcontractor's own expense, all work damaged or destroyed thereby, and to replace with sound materials all materials that are removed from the site. Subcontractor guarantees that its Work shall be free from any defects due to faulty materials or workmanship, or any violation of the Agreement requirements, for the same period of time as Contractor is liable to the Owner for the same. Subcontractor, in addition to removing and replacing, at its own expense its defective Work, shall pay for all damage caused by such defects, and all expenses necessary to replace or repair satisfactorily any other work damaged or disturbed in making repairs to or replacement of its own Work. If Subcontractor fails to remedy all defective or incomplete Work and other work after notice by Contractor, Contractor may remedy such conditions and back charge Subcontractor for such costs and expenses plus 10%.

20. Survival of Provisions. Without limiting the survivability of other provisions of this Agreement, Subcontractor's obligations set forth in Sections 1, 2, 3, 5, 7, 8.2, 9, 11, 12, , 13, 14-19 and Schedule 1 shall survive expiration or termination of this Agreement for any reason. Additionally, any and all representations, warranties, and indemnifications of Subcontractor shall survive the termination of this Agreement for a period of five (5) years.

21. Notices. Any notice required by this Agreement shall be effective and deemed delivered (a) three (3) business days after posting with the United States Postal Service when mailed by certified mail, return receipt requested, properly addressed and with the correct postage, (b) one (1) business day after pickup by the courier service when sent by well known and reputable overnight courier, properly addressed and prepaid or (c) one (1) business day after the date of the sender's electronic confirmation of receipt when sent by facsimile transmission. Notices must be sent to the addresses or facsimile numbers set forth on Schedule 1, unless either Party notifies the other in writing of an address or facsimile number change, which change shall take effect three (3) business days after receipt (as defined in the preceding sentence) of the change by the receiving Party.

22. Governing Law and Dispute Resolution.

22.1 Governing Law. This Agreement is governed by the laws of the State of Florida, without regard to its conflict of laws rules.

22.2 Dispute Resolution. All disputes between the Parties arising from, related to or in connection with this Agreement shall be resolved in the following manner:

- a) As a condition precedent to any further action, including arbitration or litigation, appropriate representatives from each Party's business team—including at least one representative from each Party with authority to bind that Party—shall meet in person and seek to amicably resolve all differences between the Parties.
- b) In the event that any dispute(s) between the Parties arising from, related to or in connection with this Agreement remain unresolved following the meeting described in the preceding paragraph, the Parties irrevocably agree that such dispute(s) shall be subject to binding arbitration in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association, to be conducted in Coral Gables, Florida before a panel of three (3) arbitrators. However, notwithstanding the preceding sentence, in the event that Owner is a party to an existing action or proceeding arising from, related to or in connection with the Project, Subcontractor agrees to be bound by the dispute resolution procedures of the Primary Contract and consents to the jurisdiction and venue of the dispute involving the Owner and Contractor.

23. Beneficial Parties/Assignment/Merger/Modification. This Agreement: (a) inures to the benefit of and is binding upon the Parties and their respective successors and permitted assigns; (b) may not be assigned except that Contractor may assign and delegate its rights and obligations under this Agreement to any affiliate of Contractor, Contractor's surety, Contractor's lenders, the Owner, and any party to whom Contractor is required by Owner to make an assignment; and Subcontractor may assign its right to accounts receivable under the limited circumstances set forth in Section 35 below; (c) contains the entire agreement of the Parties with respect to the subject matter of this Agreement and supersedes, replaces, and takes priority over any earlier or contemporaneous understanding or agreement between the Parties, including any master agreements or other similar services agreements entered into between the Parties prior to the execution of this Agreement; (d) may not be amended except by a writing signed by each of the Parties; (e) may not be modified or waived unless in writing, and signed by a duly authorized representative of each Party. Any assignment or subletting by Subcontractor without the prior written consent of Contractor shall be void and of no effect and shall vest no right or right of action in the assignee or the subcontractor against Contractor.

24. Delays. Subcontractor shall not be entitled to be paid additional compensation by Contractor because of additional expenses incurred by Subcontractor due to delays to the Work caused by Contractor, other subcontractors or any other third parties. In the event that Subcontractor becomes aware of an Unavoidable Delay—as

that term is defined in the Primary Contract—it shall notify Contractor in writing within three (3) calendar days after the initial occurrence of such Unavoidable Delay.

25. Severability. Any provision of this Agreement that is prohibited or unenforceable in any jurisdiction shall, as to that jurisdiction, be ineffective to the extent of the prohibition or unenforceability without invalidating the remaining provisions of this Agreement and any prohibition or unenforceability in any jurisdiction shall not invalidate or render unenforceable the provision in any other jurisdiction. To the maximum extent permitted by applicable law, the Parties to this Agreement waive any provision of law that renders any provision of this Agreement prohibited or unenforceable in any respect.

26. Non-waiver. No failure or delay of Contractor or Owner in exercising any power or right under this Agreement or the Primary Contract shall operate as a waiver thereof, nor shall any single or partial exercise of any such right or power, or any abandonment or discontinuance of steps to enforce such a right or power, preclude any other or further exercise thereof or the exercise of any other right or power.

27. Joint Venture/Partnership. Nothing in this Agreement shall be deemed to create a joint venture or partnership between the Parties.

28. Attorneys' Fees. If any legal proceeding is brought to enforce or interpret this Agreement or any provision thereof, the prevailing party in any such proceeding shall be entitled to recover from the other party its reasonable attorneys' and paralegal fees and court costs, before and at trial and at all appellate levels.

29. Time is of the Essence. As to Subcontractor's performance hereunder, time is of the essence.

30. Construction of Contract. This Agreement was negotiated pursuant to an arms-length transaction and is the product of joint drafting. Each Party acknowledges that it has had sufficient opportunity to consult with attorneys regarding the terms of this Agreement before signing it. This Agreement shall not be construed against any Party more strictly than against the other Party.

31. WAIVER OF JURY TRIAL. CONTRACTOR AND SUBCONTRACTOR KNOWINGLY, VOLUNTARILY, IRREVOCABLY, UNCONDITIONALLY AND INTENTIONALLY WAIVE THE RIGHT TO A TRIAL BY JURY IN RESPECT OF ANY LITIGATION BASED HEREON, ARISING OUT OF, UNDER OR IN CONNECTION WITH THIS AGREEMENT, OR ANY COURSE OF CONDUCT, COURSE OF DEALINGS, STATEMENTS (WHETHER VERBAL OR WRITTEN) OR ACTIONS OF ANY PERSON OR PARTY AND RELATED TO THIS AGREEMENT; THIS IRREVOCABLE WAIVER OF THE RIGHT TO A JURY TRIAL BEING A MATERIAL INDUCEMENT FOR CONTRACTOR AND SUBCONTRACTOR TO ENTER INTO THIS AGREEMENT.

32. Counterparts. This Agreement may be executed on any number of counterparts with the same effect as if the signatures were on the same instrument.

33. Headings. The headings of each Section in this Agreement are merely for informational purposes and not to be construed as forming part of the Agreement.

34. LIMITATION OF LIABILITY. NEITHER PARTY SHALL BE LIABLE FOR INDIRECT, SPECIAL, INCIDENTAL AND CONSEQUENTIAL DAMAGES, INCLUDING BUT NOT LIMITED TO, LOST PROFITS, LOSS OF USE, LOSS OF BONDING CAPACITY, INCREASED COSTS OF BORROWING, LOSS OF BUSINESS, LOSS OF REPUTATION, OR DAMAGES RESULTING FROM BUSINESS INTERRUPTION WHETHER BASED IN WARRANTY, CONTRACT, TORT, STRICT LIABILITY, EQUITY, OR ANY OTHER LEGAL THEORY, AND WHETHER OR NOT ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. THIS SECTION 34 SHALL NOT APPLY TO ANY LIABILITY OR OBLIGATIONS OF SUBCONTRACTOR UNDER SECTIONS 2.4, 5, 6, 8.2, 15.1, 15.2, 16, OR 35.

35. Assignment of Accounts Receivable. Subcontractor may not assign its accounts receivable due from Contractor hereunder or any other monies otherwise due from Contractor to any third-party, factoring company or otherwise, without first obtaining Contractor's written consent to such assignment. Such written consent shall only be valid if it is provided by a service line or division president of Contractor and shall only be provided by Contractor if legitimate business reasons justify providing the same. Under any circumstances arising from the assignments contemplated in this Section, including those in which Contractor consents to such an assignment, Subcontractor shall indemnify, defend and hold harmless Contractor and Owner and their respective officers, directors, stockholders, affiliates, employees, agents, subcontractors, independent contractors and other representatives (collectively, the "Assignment Indemnitees") from and against all claims, damages, liabilities, losses, penalties, injuries, and expenses (including attorneys' and paralegal fees and court costs and including penalties and interest) incurred or suffered, directly or indirectly (including consequential, punitive and other special damages) (collectively, "Damages"), by the Assignment Indemnitees and arising out of or resulting from, directly or indirectly, the assignment contemplated in this Section. The text of this Section 35 is in addition to and does not limit any similar language contained elsewhere in this Agreement.

36. Public Relations. Subcontractor agrees that it shall at all times conduct its operations and manage its personnel in such a manner that its actions, or the actions of its subcontractors, agents, and employees, will not jeopardize Owner or its public relations in the Community, as that term is defined by the Primary Contract. Further, Subcontractor shall not engage in actions that may detrimentally affect Owner or its reputation.

37. Publicity. Subcontractor shall not issue a press release or any other publicity, including listing Owner in a customer list, relating to this Agreement or the fact that Subcontractor is providing services to Owner without Contractor's and Owner's prior written approval.

38. Identification Cards. All Subcontractor personnel that enter Owner's property, or the property of any Customer, as that term is defined by the Primary Contract, or as otherwise directed by Owner, must wear and prominently display identification badges provided by Owner while performing the Work. Subcontractor shall not duplicate any identification cards, and identification cards may only be used by the individual named on it. Subcontractor may be charged a reasonable processing fee for the production of such cards or for the reproduction of lost or stolen cards. Subcontractor is responsible for returning to Contractor identification cards for any individual who ceases to perform Work.

39. Notice of Incidents. Subcontractor shall promptly report to Contractor in writing each known incident in the course of the Work resulting in material property damage, death, or significant personal injury.

40. Access. At no time shall the Work or any related operations prevent or materially interfere with normal access to or from any public or private property. Subcontractor shall provide and maintain adequate safety precautions and bridging over any open trench created in connection with the Work as reasonably required to maintain vehicle or pedestrian traffic flow and in accordance with applicable laws, ordinances, and regulations. Overnight bridging on thoroughfares shall not occur without the Subcontractor first obtaining any required governmental approval and the Owner's approval. In the event the Work requires any lane blockages or street closures, Subcontractor shall notify Contractor and the appropriate governmental authorities in accordance with any applicable legal requirements.

41. Leakage Detection. If the Work requires Subcontractor to have direct contact with Owner's active outside network, drop wires, or connect materials for Owner's customers, Subcontractor must, at all times during the performance of the Work, have activated and operational leakage detection devices. Such devices must be approved by Owner and capable of detecting signal leakage on all frequency line-ups in use by Owner in the Community, as that term is defined by the Primary Contract. They must also be professionally calibrated annually and checked daily for proper operation. Subcontractor must ensure that all workmanship is free from any and all defects that would result in the radiation of signals out of Owner's network. Any damage to Owner's network that results in signal leakage will be immediately reported to Contractor.

42. Non-disparagement. Subcontractor agrees that it shall not at any time during the term of the Primary Contract directly or indirectly make, publish, or otherwise communicate any disparaging remarks concerning Owner, its marks, its Customers (as

that term is defined by the Primary Contract), or any product or service offered or provided by Owner or the cable/broadband industry generally.

43. Change in Control. Neither Subcontractor nor any of its subcontractors may effect a Change in Control, as that term is defined by the Primary Contract, without the prior written consent of Owner, which consent must be requested at least one hundred twenty (120) days prior to the effective date of the anticipated Change in Control and shall not be unreasonably withheld.

44. Property Damage Complaints. To the extent that Contractor receives any complaint referenced by Section 14(a)(ix) of the Primary Contract and such complaint involves Subcontractor or the Work, Subcontractor shall diligently and promptly provide any information or corrective action plan, or perform work thereunder, as requested by Contractor, and Subcontractor shall do so in a timely manner that does not prejudice Contractor under the Primary Contract.

45. Training. All individuals performing the Work must be certified according to Owner's minimum requirements set for each product or service in order to complete the assigned Work in a satisfactory manner. This includes the requirement that all individuals performing power supply maintenance work as part of the Work be certified in accordance with the requirements contained in Exhibit C to the Primary Contract. Subcontractor otherwise agrees to submit its personnel to any other training required by Owner or Contractor in order to perform the Work.

46. Definition of "subcontractor." As used throughout this Agreement, references to Subcontractor's "subcontractor" or "subcontractors" shall include reference to any person or entity that has a contract or agreement with or through Subcontractor or any of its subcontractors—regardless of the tier of such contractor—in connection with the performance of the Work.

47. Additional Terms. Additional terms and conditions applicable to this Agreement, if any, are set forth on Schedule 1.

Executed:

SEFNCO Communications, Inc.

Fiberco General Engineering Contractors Inc

By:

By:

Name:

Name: David Zuniga

Title:

Title: president

SCHEDULE 1

Name of Contractor: SEFNCO Communications, Inc.
("Contractor")

Address of Contractor: 1019 39th Ave SE, Suite 200
Puyallup, WA 98374

With a copy to:

Legal Department
MasTec North America, Inc
800 Douglas Road, 12th Floor
Coral Gables, FL 33134
Facsimile: 305-406-1907

Telephone/Fax No.: 877-385-2903/ 866-492-9650(Fax)

Name of Subcontractor: Fiberco General Engineering Contractors Inc
("Subcontractor")

Address of Subcontractor:

Telephone/Fax No.:

Federal Employer Identification No.:

Owner:

Primary Contract: dated as of _____ by and between Contractor and Subcontractor.

Primary Contract Location:

Effective Date:

Work: _____

and all other things and performance required by the Agreement.

Pricing: See Statement of Work; Work Task Matrix

Schedule of Completion: Term of Contract

(If necessary, attach additional sheets to complete any of the above items.)



As a preferred payment option, SEFNCO Communications offers payees the opportunity to receive future payments electronically, rather than by check. In addition to having the money deposited electronically, you will also be notified of the deposit via e-mail. The e-mail will provide you with all the information that would normally be on your check stub.

To receive payments electronically:

- (1) Complete the attached form.
- (2) Attach a voided check or company letterhead.
- (3) An authorized signature/title must be provided for processing.

Signing up for Vendor Automated Clearing House (ACH) payments provide many benefits for our vendors:

Faster Payments

- › ACH payments can be credited to your account in less than three business days. Payments made through the U.S. Postal Service can take seven to ten business days.
- › Banks do not hold ACH payments like they do checks. Your funds are available as soon as the ACH payment is credited to your account.

Fewer Hassles

- › ACH payments eliminate the need for paper checks and envelopes as well as the fuel and energy used to prepare and deliver checks.
- › Your ACH payment cannot be lost in the mail or sent to an outdated address.
- › Receive immediate notification your ACH payment (with remittance detail) sent to the email address you provide.
- › Save time by not traveling to the bank or waiting in lines to deposit your check.

If you have any questions about Vendor ACH payments, please feel free to contact our Subcontractor Coordinator - carmijo@sefnco.com

SEFNCO Communications
Subsidiary of MasTec North America
1019 39TH Ave
Puyallup, WA 98374
accountspayable@sefnco.com

MasTec North America, Inc.
700 Commerce Drive Suite 235
Woodbury, MN 55125

As a preferred payment option, SEFNCO Communications offers payees the opportunity to receive future payments electronically, rather than by check. In addition to having the money deposited electronically, you will also be notified of the deposit via e-mail from MasTec. The e-mail will provide you with all the information that would normally be on your check stub. To receive payments electronically: Complete this form, attach a voided check or company letterhead, sign, scan. **An authorized signature and title must be provided for processing.**

Payee Name:	_____	DATE	_____
Payee Centralized Email:	_____		
Payee Phone:	_____	SSN or FEIN#	_____
Remit Address	_____		
Name	_____	Title	_____
	(REQUIRED)		(REQUIRED)
AUTHORIZED SIGNATURE	_____		
	(REQUIRED)		

Bank Name:	_____
Bank Address:	_____ _____
Bank Phone:	_____
Bank Routing #	_____
Account #	_____
IBAN or Swift #	_____
	(If Applicable for foreign vendors)

TAPE VOIDED CHECK HERE

Voided Check not necessary, but recommended. In lieu of a voided check, attach company letterhead.

PROJECT WORK ORDER 02

This Project Work Order ("Work Order") is made as of 01/01/2020, by and between MasTec North America, Inc., (the "Contractor") and Fiberco General Engineering Contractors, Inc. (the "Subcontractor") in connection with the parties' Subcontractor Agreement dated 10/23/2017 (the "Agreement"). Any additional capitalized terms in this Work Order shall have the same meaning as the term has in the Agreement. The Contractor and Subcontractor agree as follows:

1. The Project is:
 - The Owner's fiber initiative was developed to create a network to support cellular and enterprise customer growth by overbuilding and leveraging Owner's existing and future network infrastructure.
2. The location of the Project is:
 - In and around San Francisco, CA specifically in the Urban Area Code Entity number 78904 and San Jose, CA specifically in the Urban Area Code Entity number 79039.
3. This Work Order is being issued in connection with the execution of the following Prime Contract and all corresponding Amendments by the Owner and Contractor, which are incorporated into the Agreement by reference:
 - Agreement for Outside Plant Services between Verizon Sourcing LLC and MasTec, Inc.; Agreement Number ieMA-01573-2016;
 - Amendment Number One to Agreement for Outside Plant Services between Verizon Sourcing LLC and MasTec, Inc.; Amendment Number ieAGR-00678-2017;
 - Amendment Number Three to Agreement for Outside Plant Services between Verizon Sourcing LLC and MasTec, Inc.; Amendment Number ieAGR-00835-2017;
 - Amendment Number Four to Agreement for Outside Plant Services between Verizon Sourcing LLC and MasTec, Inc.; Amendment Number ieAGR-01353-2017;
 - Amendment Number Eleven to Agreement for Outside Plant Services between Verizon Sourcing LLC and MasTec, Inc.; Amendment Number ieAGR-01056-2018; and
 - Amendment Number Eleven to Agreement for Outside Plant Services between Verizon Sourcing LLC and MasTec, Inc.; Amendment Number ieAGR-01578-2018.
4. The scope of Subcontractor's Work under this Work Order is set forth in Exhibit A-1 hereto.
5. The schedule applicable to the Subcontractor's Work under this Work Order is set forth in Exhibit B-2 hereto.
6. As full and final compensation for the performance of its Work under this Work Order in conformance with Exhibits A-1 and B-2 hereto and the other Contract Documents, Contractor shall pay to Subcontractor pursuant to the Unit Rate Schedule attached as Exhibit B-3.

7. Omitted
8. Agreement Section 22, Choice of Law/Venue shall be deleted and replaced with the following.

“22. Choice of Law/Venue. The parties and each of them recognize that Contractor has offices in the State of Florida and that Contractor is a wholly owned subsidiary of MasTec, Inc., which operates out of and is headquartered in Florida and prepared and authorized execution of this Agreement in California. This Agreement shall be governed by the laws of the State of California without regard to its conflict of laws rules. In the event that the Contractor does not choose to utilize the dispute resolution procedure set forth in Section 37, the parties and each of them agree and submit to the exclusive jurisdiction of the State and Federal Courts located in San Francisco, California in the event any action or proceeding is commenced by either party arising from, related to or in connection with this Agreement.”

9. The follow shall be added to the Agreement after Section 36, Additional Terms.

“37. Dispute Resolution.

37.1 The Parties desire to resolve any property damage disputes, controversies and claims arising out of or relating to this Agreement through arbitration and without litigation. Accordingly, the Parties agree to use the following alternative procedure with respect to such claims. The term “Dispute” means any dispute, controversy or claim to be resolved in accordance with the dispute resolution procedure specified in this Section.

37.2 As a condition precedent to any further action, including arbitration or litigation, appropriate representatives from each Party’s business team—including at least one representative from each Party with authority to bind that Party—shall meet in person and seek to amicably resolve all Disputes and/or differences between the Parties.

In the event that any Dispute(s) between the Parties arising from, related to or in connection with this Agreement remain unresolved following the meeting described in the preceding paragraph, the Parties irrevocably agree that such dispute(s) shall be subject to binding arbitration in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association, to be conducted in Coral Gables, Florida before a panel of three (3) arbitrators. However, notwithstanding the preceding sentence, in the event that Owner is a party to an existing action or proceeding arising from, related to or in connection with the Project, Subcontractor agrees to be bound by the dispute resolution procedures of the Primary Contract and consents to the jurisdiction and venue of the dispute involving the Owner and Contractor.”

10. The follow shall be added to the Agreement after Section 37, Dispute Resolution.

“38. Workaround.

- 38.1 In the event Subcontractor fails through its own fault to furnish Work that conform to approved Specifications by the agreed upon original or an amended delivery or completion date, for reasons other than delays caused by the Contractor's or Owner's failure to meet its obligations to Subcontractor, and the Contractor determines that Subcontractor's failure to meet its obligations will cause Contractor or Owner to incur additional costs to meet commitments to its customers, then Contractor may notify Subcontractor in writing that a "Workaround" condition exists.
- 38.2 Subcontractor shall then be granted a two (2) day cure period from the original or amended delivery or completion date to meet its obligations before the Contractor may invoke Subcontractor's liability under this Workaround provision, except if Subcontractor's failure causes or may cause a loss of service or other emergency situation as determined by Contractor, in which case no such cure period shall apply. Upon determination that a Workaround condition exists, Subcontractor and Contractor and/or Owner shall promptly participate in the joint preparation of a Workaround plan to resolve the problem. Contractor, however, shall have final approval of the Workaround plan to be performed.
- 38.3 Subcontractor shall be liable for the incremental costs incurred by Contractor or Owner which costs would not otherwise have been expended, to meet commitments to its customers. Contractor shall substantiate any such incremental costs with reasonable proof, if requested by Subcontractor. Any sum for which Subcontractor may be liable to Contractor or Owner hereunder shall appear as a credit. Should the applicable Order be paid in full, this credit may be taken in lieu of payment due on present or future Work undertaken by Subcontractor. If Contractor does not contemplate future Work against which such credit shall be taken, Subcontractor shall make payment in full to Contractor of the amount that would have otherwise been credited.
- 38.4 The receipt of damages under this Section is not an exclusive remedy and shall not preclude Contractor or Owner from any other rights and remedies available at law or in equity or to which it is entitled under the terms and conditions of this Agreement.

11. Except as specifically modified in the Work Order, all other provisions of the Agreement remain unchanged and binding.

[Remainder of page intentionally left blank]

MasTec North America, Inc.

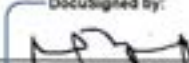
(The Contractor)

By  DocuSigned by:
4F387E7423D34E1

Title Sr. Director of Operations

Fiberco General Engineering Contractors, Inc.

(The Subcontractor)

By  DocuSigned by:
D84C0F5414DC4D9

Title president

[Remainder of page intentionally left blank]

Subject: Temporary Laydown comments - 6983 Pentz Rd

message

David Zuniga <dzuniga.fibercoinc@gmail.com>
To: "Vierra, Anne" <avierra@townofparadise.com>

Fri, Oct 15, 2021 at 4:21 PM

Hi Anne,

Thank you for your email. Please see the following in response to your comments. I am attaching a copy of the revised plot plan, the erosion sediment control plan, and also photos for the confirmations requested. I will print 4 copies of the revised plot maps along with the Sediment and Erosion plan and the photos and forward them to you overnight delivery for Monday morning delivery, for your review.

1. Please provide proof of legal access via Kingdom Court, if there is access via Kingdom Ct how do you plan to protect existing trees next to the proposed entrance? Per revised Plot Plan, and attached photos the proposed entrance has been moved to Pentz Road which appears to be the original access to the property. The revised map shows the Gravel Tracking control at the entrance.
2. Please confirm there is no planned access from Pentz Road if there is legal access to Kingdom Court, if you do plan to use Pentz Rd, and encroachment permit is required Please see # 1 above.
3. Please ensure there is no vehicular loading over the existing onsite septic tank, or confirm the septic tank can accommodate the proposed loading. Per revised Plot Plan, and attached photos, the onsite septic tank has been identified and staked out by Mr Bill Martin, a representative of the property owner, and our onsite foreman. They have identified the tank and markers and have been placed around it so that it will be kept clear. Please see attached photos.
4. Provide an Erosion and Sediment Control Plan, including silt fence at temporary downslope chain link fence (parallel to Pentz Road). Per revised Plot Plan, and attached Sediment Control Plan, please see Erosion Control Plan and revised map showing silt fence and hay waddles to be placed along the entire downslope section of the property.
5. Confirm extents of onsite temporary chain link fence (it is only shown on Pentz and partially along Kingdom Ct.) Per revised Plot Plan, and photos, there is existing fencing along Kingdom Court for the extent of the property. Temporary fencing will only be necessary along Pentz road on the east side of the property.

Let me know if you have any further information.

Thank you,

David Zuniga
Fiberco
(051) 858-5201 Cell

On Thu, Oct 14, 2021 at 2:20 PM Vierra, Anne <avierra@townofparadise.com> wrote:

Good Afternoon David,

Your application for Temporary Use for a Laydown Yard located at 6983 Pentz Rd has completed its review by our departments. There are a few items that need some more clarification before the permit can be approved.

1. Please provide proof of legal access via Kingdom Court, if there is access via Kingdom Ct how do you plan to protect existing trees next to the proposed entrance?
2. Please confirm there is no planned access from Pentz Road if there is legal access to Kingdom Court, if you do plan to use Pentz Rd, and encroachment permit is required.
3. Please ensure there is no vehicular loading over the existing onsite septic tank, or confirm the septic tank can accommodate the proposed loading.
4. Provide an Erosion and Sediment Control Plan, including silt fence at temporary downslope chain link fence (parallel to Pentz Road).
5. Confirm extents of onsite temporary chain link fence (it is only shown on Pentz and partially along Kingdom Ct.)

Thank you for your attention to these matters

Anne Vierra
Assistant Planner






(530) 872-6291 ext. 412

Fax (530) 872-6201

aviserra@townofparadise.com

3 attachments

-  **Plot Map_6983 Pentz Road-Rev 10-15-2021.pdf**
336K
-  **Fiberco- Erosion and Sediment Control Plan REVISED 10-15-2021.pdf**
170K
-  **Photos- 6983 Pentz Road.pdf**
1074K

DEPARTMENT USE ONLY:

Receipt No. _____ Fee _____

Project No. _____

TOWN OF PARADISE APPLICATION FOR TEMPORARY USE PERMIT

Applicant's Name Fiberco General Engineering Contractors Inc Phone (951)858-5201

Applicant's Mailing Address 211 N Granite Street # E, Corona, CA 92879

Applicant's Interest in Property (Owner, Lessee*, Other*) Lessee

Applicant's Email dzuniga.fibercoinc@gmail.com

Owner's Name Joyce Powell, Trustee, Jay and Joyce Powell Family Trust Phone (530)520-5170

Owner's Mailing Address 835 W. Victor, Visalia, CA 93277

Property Address 6983 Pentz Road, Paradise, CA

AP Number(s) 050-082-023 Existing Use Vacant

Zone CS General Plan Designation _____ Lot Size 1.66 Acres

Explain briefly and completely the activities of the proposed temporary use: _____

Place temporary 6' chain link fence; 50' from C/L of Pentz road;

Place temporary gate to create a temporary construction equipment and material laydown area during construction of underground utilities (communication lines)

Days/Hours of Operation Monday - Friday 6AM - 6PM; Saturday 6AM - 4PM Sunday- Closed

Proposed method of sewage disposal Portable toilets Proposed source of water Permitted construction

Number of/type of fuel tanks proposed on-site None water meter

Additional information: _____

[If additional information and remarks, attach supplemental sheet(s).]

***NOTE:** If applicant is NOT the property owner, the owner's signature or attached letter of authorization signed by the landowner MUST accompany this application.

I hereby declare under penalty of perjury that the foregoing statements and the attached plot plan are true, accurate, complete, and correct to the best of my knowledge and belief.

Applicant's Signature  Date 10/7/2021

Property Owner Signature _____ Date _____

PLEASE ALLOW AT LEAST FOURTEEN (14) DAYS FOR PROCESSING

Erosion and Sediment Control Plan

Applicant: Fiberco General Engineering Contractors Inc

Address: 6983 Pentz Road, Paradise

Fiberco construction laydown yard activities will be conducted under site-specific SWPPPs. Site-specific SWPPPs will include erosion control and sedimentation measures, including BMPs, for soil-disturbing activities.

There will be no excavation activities proposed at this location. It will be a lay down area of materials and for overnight parking of trucks and equipment related to the construction of Utility lines.

Elements of the "Town of Paradise Stormwater Pollution Prevention Program" (attached) will be incorporated into site-specific SWPPPs. Specifically, site-specific SWPPPs will include the following elements as needed:

- Location of all soil-disturbing activities. Please see attached plot map showing
- Location of all streams and drainage structures that would be directly affected by soil disturbing activities (such as stream crossings by access roads)
- Location and type of all BMPs that would be installed to protect aquatic resources
- Proposed schedule for the implementation and maintenance of erosion control measures
- Description of erosion control practices, including appropriate design details

1 Project Information

Project Name:	6983 Pentz Road- (no excavation) - temporary laydown area
Project Address:	6983 Pentz Road
Project Size: (Indicate sq. ft. or acres)	1.66 Acres
Anticipated Construction Start Date:	10/20/2021
Anticipated Construction End Date:	12/31/2022
Approximate Soil Disturbance: (Indicate sq. ft or acres)	N/A
Number of Storm Drain Inlets within 50 ft. of the soil disturbance.	N/A

2 Owner Information

Name:	Joyce Powell, Trustee, Jay and Joyce Powell Family Trust
Address:	8355 W Victor, Visalia, CA 93277
Phone Number:	(530) 520-5170
Email:	martinandpowell@gmail.com

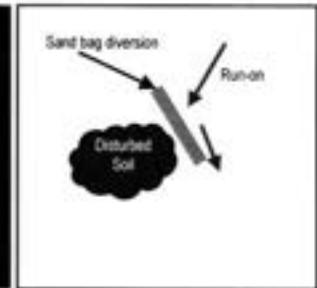
3 Contractor Information

Name:	Contractor / Tenant: Fiberco General Engineering Contractors Inc
Company Name:	Fiberco General Engineering Contractors Inc
Address:	211 N Granite Street E, Corona, CA 92879
Phone Number:	(951) 858-5201
Email:	dzuniga.fibercoinc@gmail.com

4 Best Management Practices

4.1 Run-On Control BMPs

When surface flow of storm water runoff is allowed to pass through disturbed soils at an active construction project it can mobilize sediment and carry it into the municipality's storm drainage system and into the local receiving waters. This results in deposition of sediment in the municipal drainage system which causes more frequent maintenance and can cause flooding. The sediment is also harmful to the local waterways.



Does storm water have the potential to run-on to the construction site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes, will storm water surface flow be diverted around any disturbed soil areas? Show how it will be diverted on the site map.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

4.2 Erosion Control BMPs

The definition of erosion is the detachment of soil particles. These particles can become detached by rain, wind, or construction activity. Although construction, by nature, disturbs soil. It is vital to place a temporary or permanent covering over disturbed soil as soon as possible. Projects are not allowed to leave areas of exposed soil that do not have a cover. On the table below and on the site map show how you will prevent erosion at your project.

CASQA Fact Sheet	BMP Name	BMP Selected? (Yes/No)	Describe the BMP to be implemented. If not used, state the reason why.
EC-1	Scheduling (work will be conducted during the dry season)	Yes	Project will pause during rain
EC-2	Preservation of Existing Vegetation (existing vegetated areas will not be disturbed)	Yes	All existing vegetation to be preserved
EC-4	Area to be vegetated with landscaping, turf, or hydroseeding	Yes	Re-seeding once job complete
EC-7	Temporary Erosion Control using an erosion control blanket or geotextile	Yes	Erosion control blanket as needed
EC-6 & EC-8	Area covered with a temporary or permanent mulch including straw, wood, compost, hydromulch, or equivalent	Yes	Temporary mulch and straw as needed
EC-16	Non-Vegetated Stabilization (covered with aggregate, paving, permanent structures / surfaces)	Yes	Stabilization by aggregate surfaces
WE-1	Wind Erosion Control (kept moist to prevent wind erosion)	Yes	Moisture as needed in wind conditions

4.3 Temporary Sediment Control BMPs

Sediment control is accomplished by two ways. First, giving sediment every opportunity to settle out of storm water runoff while still on the project. Second, remove sediment from surfaces that has been carried or tracked off site before it enters the municipal drains. Each project must have effective perimeter sediment control. Drain inlets within 50 feet of the project must be protected. Any visible track out or sedimentation onto municipal property must be removed as soon as possible. On the table below and on the site map show how you will control sediment at your project.

CASQA Fact Sheet	BMP Name	BMP Selected? (Yes/No)	Describe the BMP to be implemented. If not used, state the reason why.
SE-1	Temporary Silt Fence	Yes	Downflow silt fence to be placed
SE-2 or SE-3	Sediment basin or trap (all or some of the storm water drains to a retention pond or basin where sediment can settle out)	Yes	Sediment traps at culvert inlets
SE-5	Temporary Fiber Rolls / Straw Wattles	Yes	Straw wattles to be placed downflow
SE-6 or SE - 8	Temporary Gravel Bag Berm or Sand Bag Barrier	Yes	Temp gravel bag barrier-culvert inlets
SE-7	Street Sweeping (inspect roads and sidewalks daily and sweep as necessary)	Yes	Street sweeping daily as needed
MS4 Standard	Curb cutback (maintain a minimum of 4 inches of elevation difference between the disturbed soil and the top of the existing curb, sidewalk, or paved surface)	Yes	Curb cutback as needed
SE-10	Temporary Drain Inlet Protection (mandatory for any DI's within 50 feet of the project)	Yes	Block or place gravel bag barrier
SE-13	Compost Socks / Biofilter Bags	Yes	Use socks bags as needed
MS4 Standard	Stabilized Construction Exit – Constructed with aggregate at the project owner's specification, but it must be effective in controlling trackout.	Yes	Place Gravel stabilization control at exit
TC-2	Stabilized Construction Roadways	Yes	Place gavel stabilizatiol-roadways
WM-03	Stockpile Management (stockpiles that have not been actively used in the last 14 days must be covered with an erosion control blanket or plastic sheeting and contained with a fiber roll or gravel bag berm)	Yes	Place Stockpile management blankets

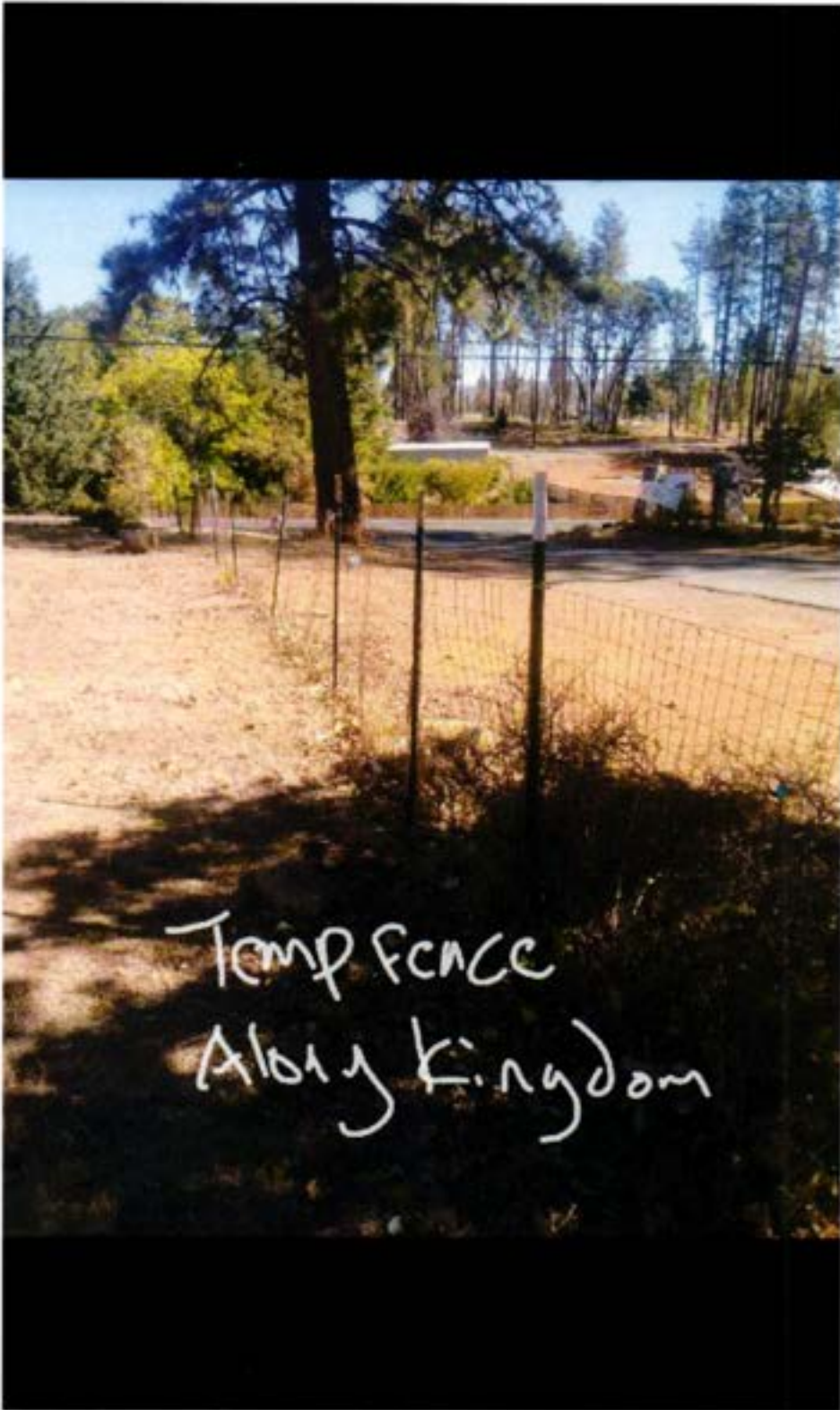
4.4 Non-Storm Water Pollution Control BMPs

The Town ordinances prohibit the discharge to its municipal drainage system of any wash water, unpermitted construction site dewatering, saw cutting or grinding slurries, unpermitted hydrotest water, chlorinated swimming pool or fountain water, concrete or paint wash out, or spills of hazardous materials or other substances. On the table below, list any of the activities that may apply to your project; and on the site map show the location of these activities.

CASQA Fact Sheet	BMP Name	Activity Planned? (Yes/No)	Describe the BMP to be implemented. If not used, state the reason why.
NS-3	Paving, Sealing, Saw-cutting, Coring, and Grinding Operations	No	
NS-7	Potable Water / Irrigation Testing and Discharge to the Municipal Drainage System	No	
NS-8	Vehicle and Equipment Cleaning Performed on Site	No	
NS-9 & WM-04	Vehicle and Equipment Fueling Performed on Site	No	
NS-10	Vehicle and Equipment Maintenance Performed on Site	No	
NS-12/13 & WM-08	Concrete, Stucco, Plaster, Tile, or Masonry Work	No	
WM-09	Temporary Sanitary Waste Facilities (port-a-potties)	Yes	Rental and weekly servicing of portable toilets by local provider
WM-01	Storage of Hazardous Materials on the Project Site (paints, solvents, acids, fuel, lubricants, etc.)	No	

Photos 6983 Pentz Road

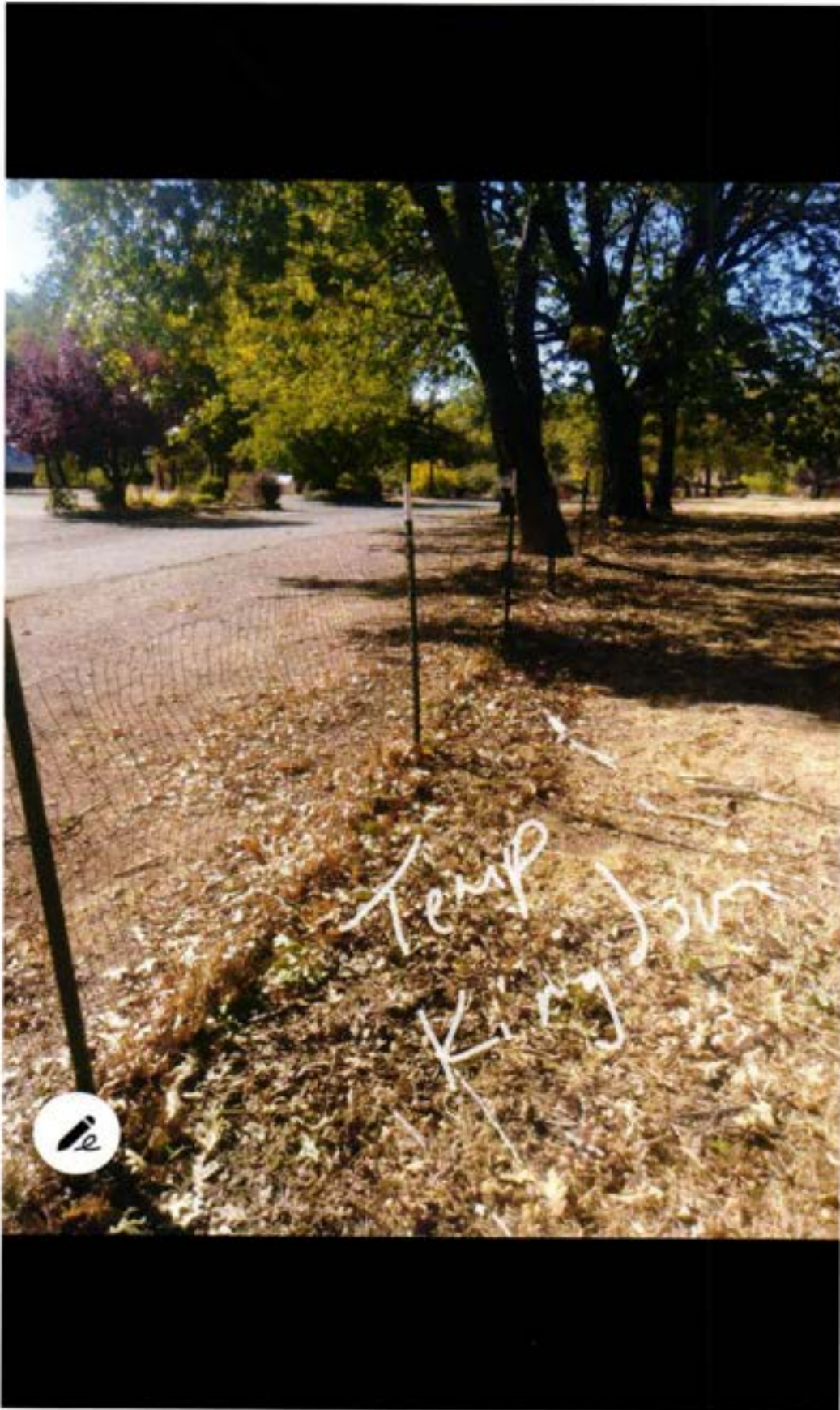




Temp Fence
Along Kingdom



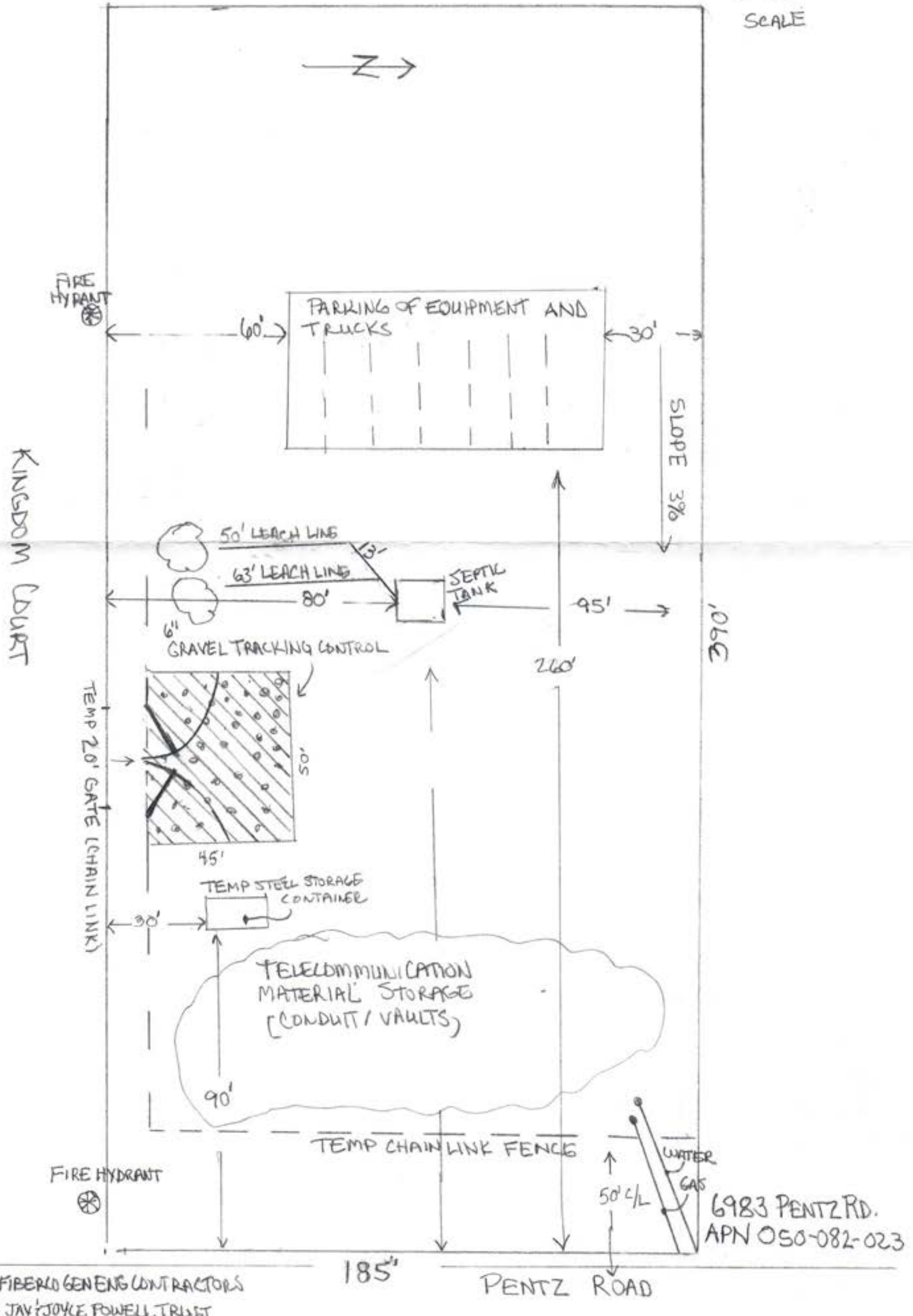
Temp
Fence
Pen



PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT
 APPLICANT: FIBERLO GEN. ENG. CONTR.
 PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFRNCO

1" = 20'
SCALE

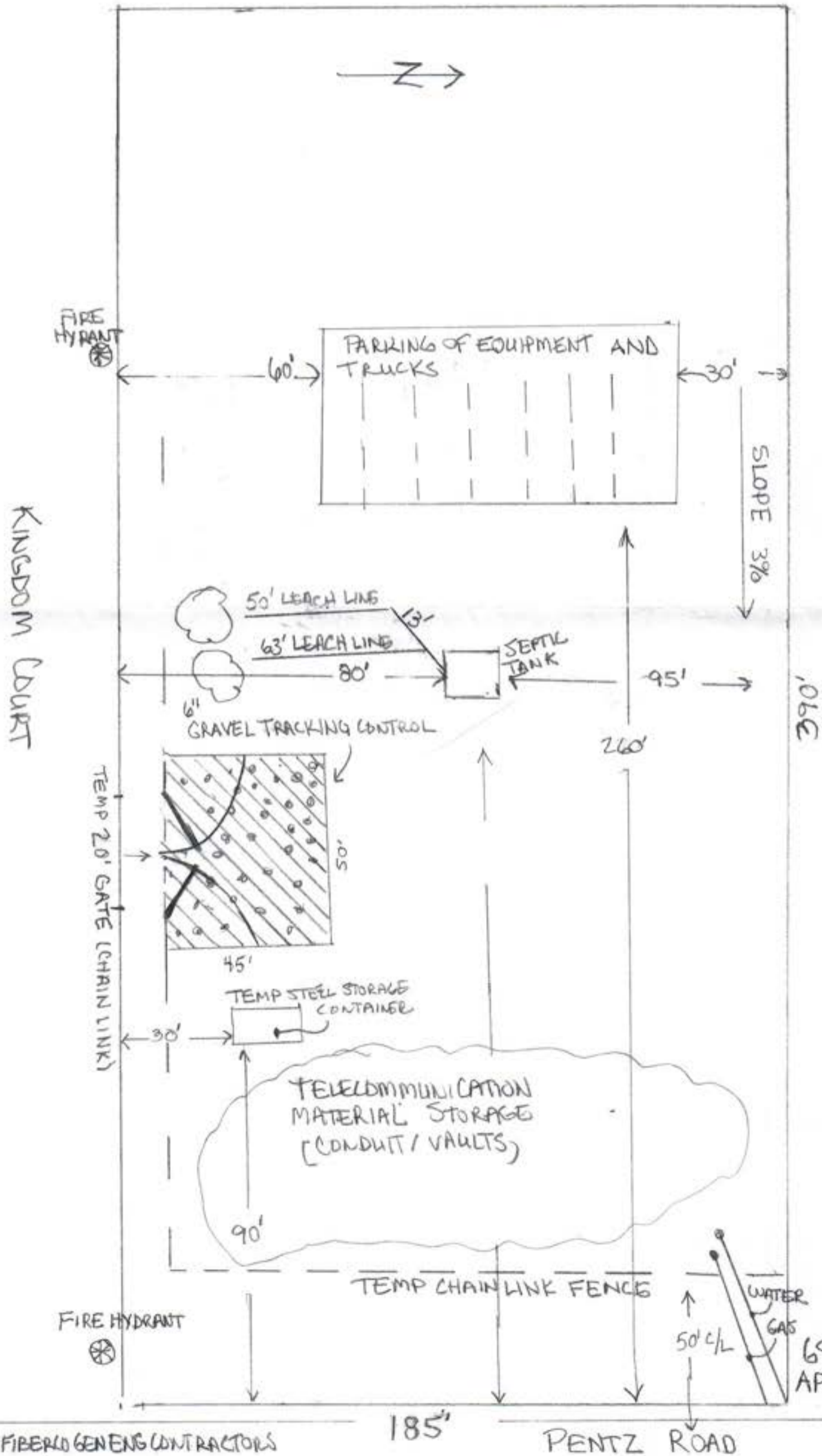


LESSEE: FIBERLO GEN ENG CONTRACTORS
 OWNER: JAV & JOYCE POWELL TRUST

PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT
 APPLICANT: FIBERCO GEN. ENG. CONTR.
 PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFFNCO

1" = 20'
SCALE

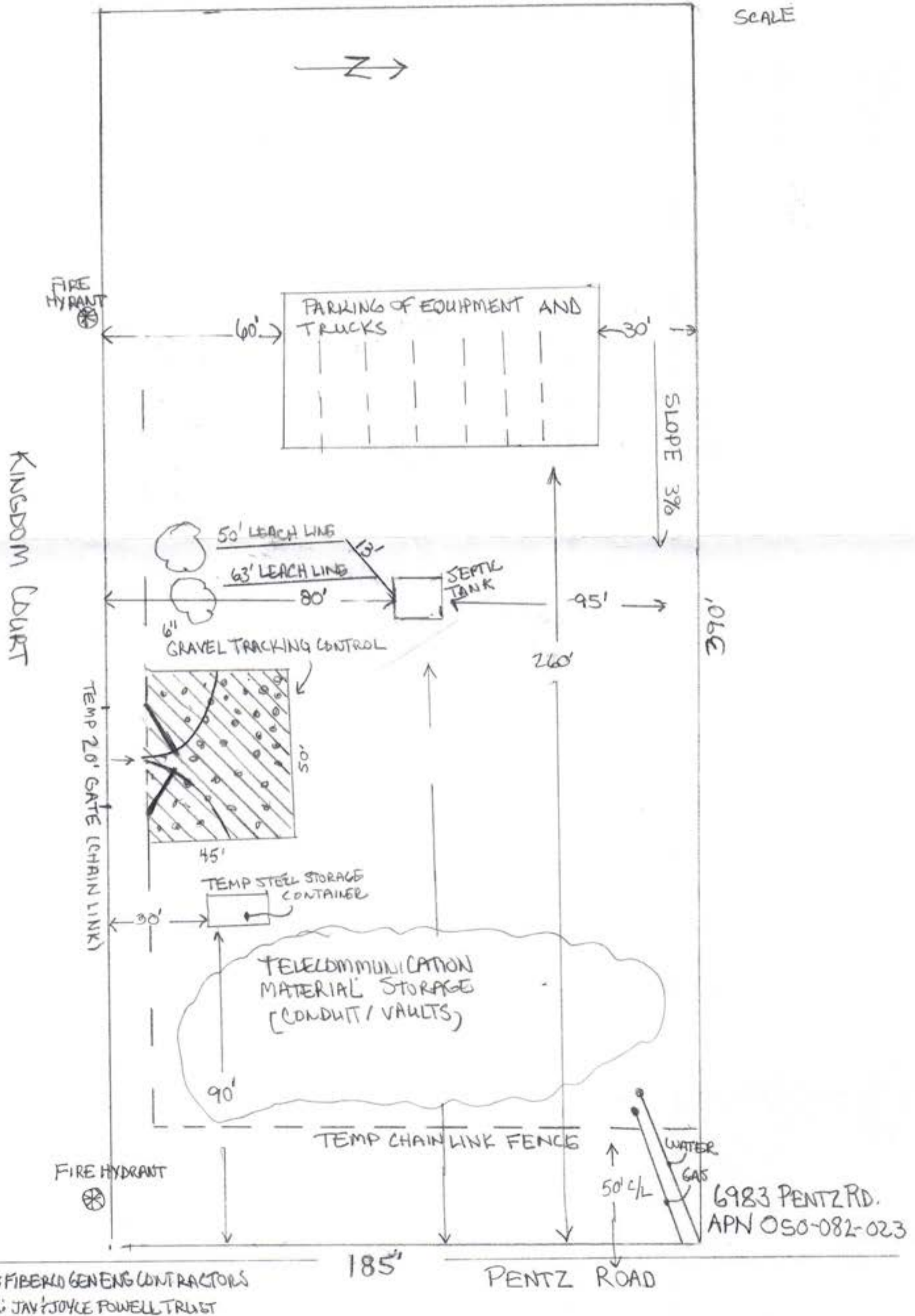


LESSEE: FIBERCO GEN ENG CONTRACTORS
 OWNER: JAY & JOYCE POWELL TRUST

PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT
 APPLICANT: FIBERLO GEN. ENG. CONTR.
 PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFRNCO

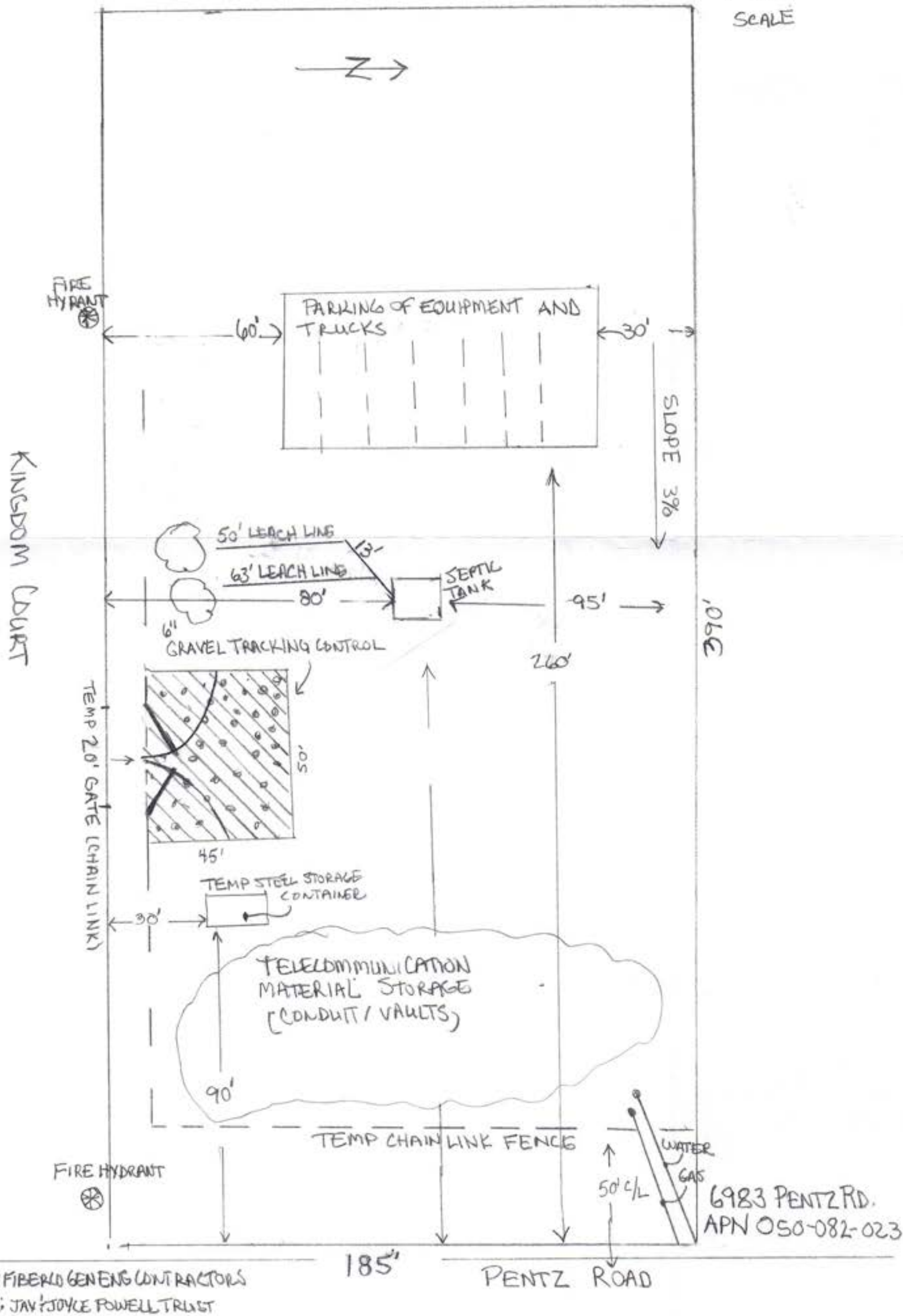
1" = 20'
SCALE



PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT
 APPLICANT: FIBERLO GEN. ENG. CONTR.
 PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SEFWCD

1" = 20'
SCALE



REVISED 10/15/2021

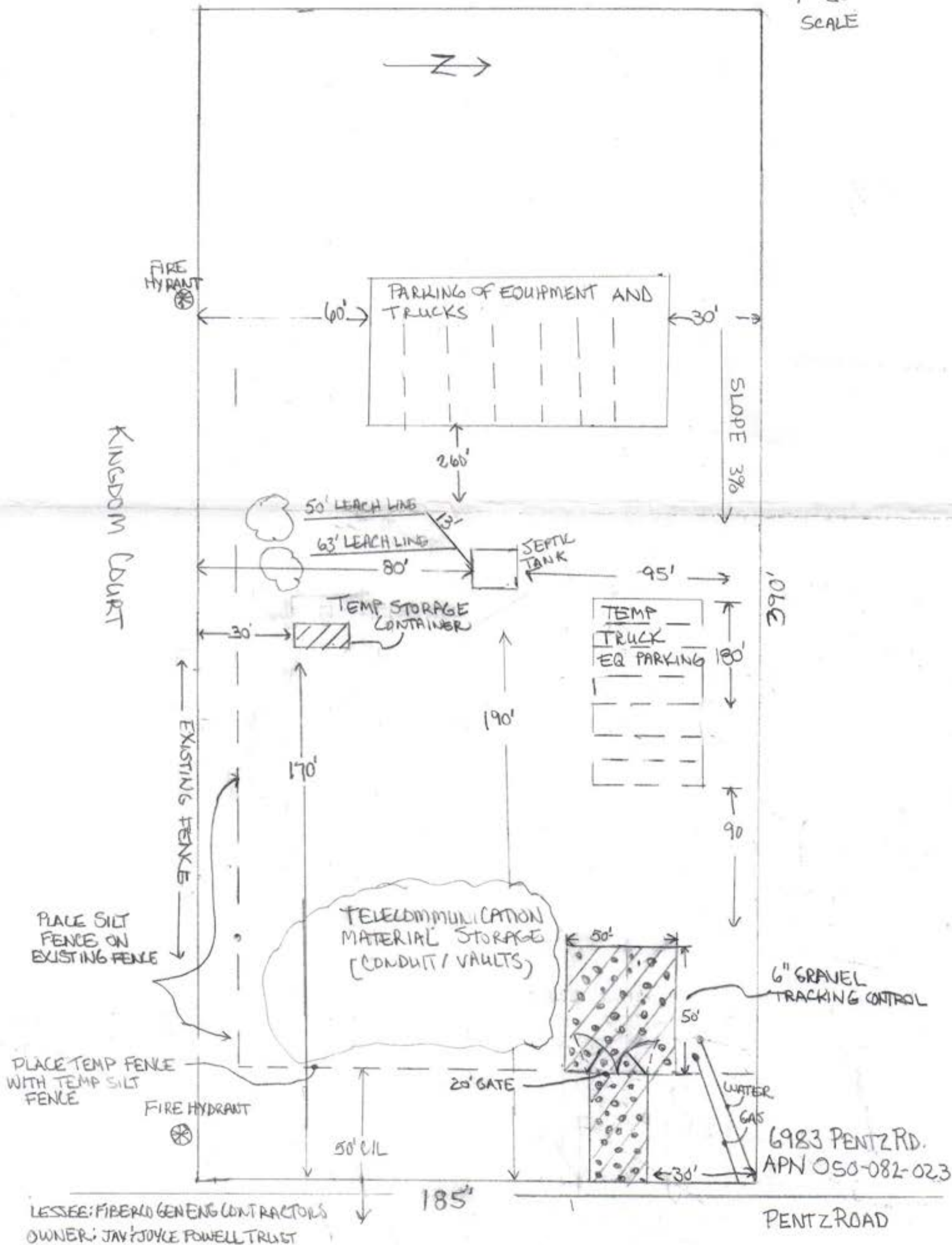
PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT

APPLICANT: FIBERCO GEN. ENG. CONTR.

PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFRNCO

1" = 20'
SCALE



REVISED 10/15/2021

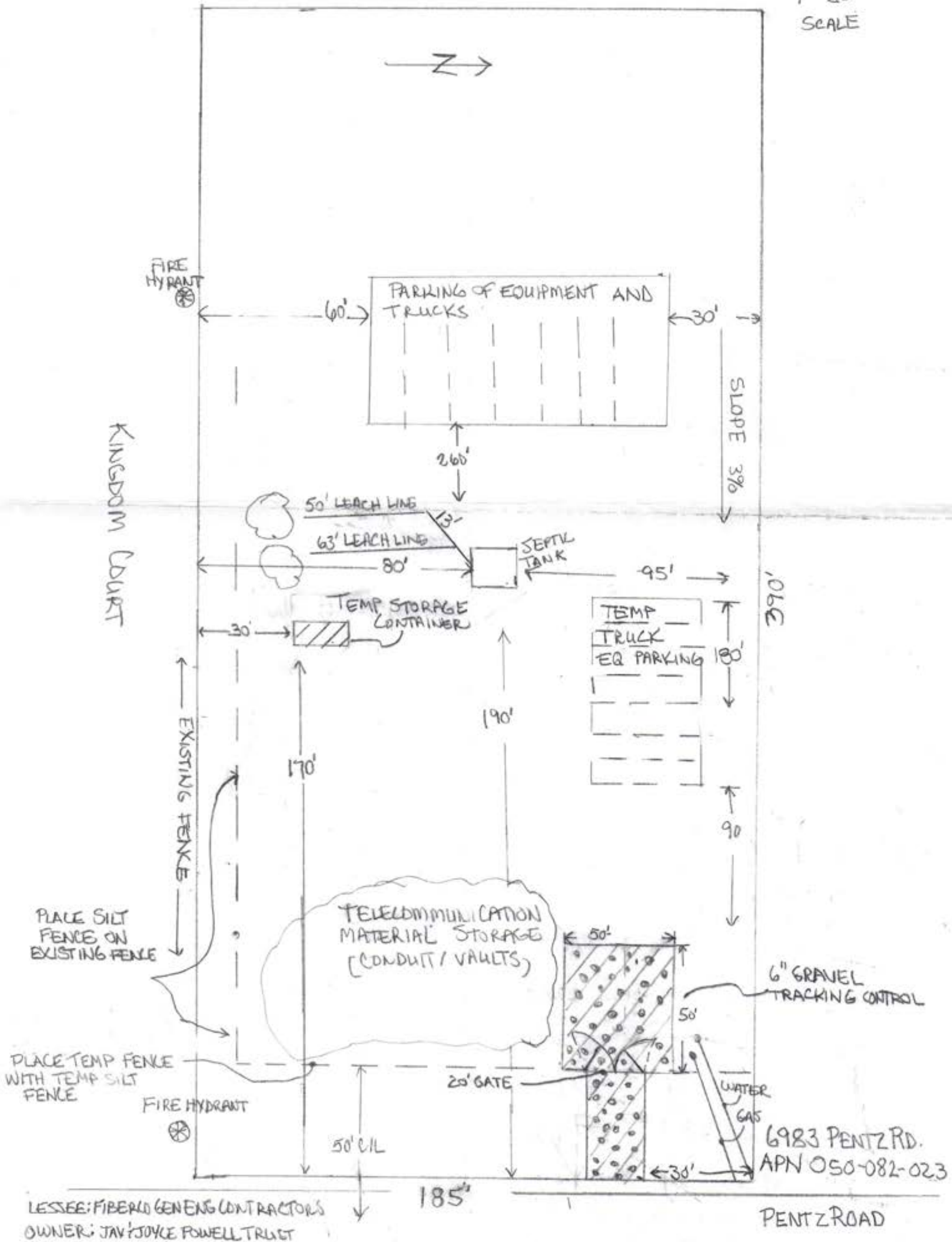
PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT

APPLICANT: FIBERCO GEN. ENG. CONTR.

PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SEFWCO

1" = 20'
SCALE



REVISED 10/15/2021

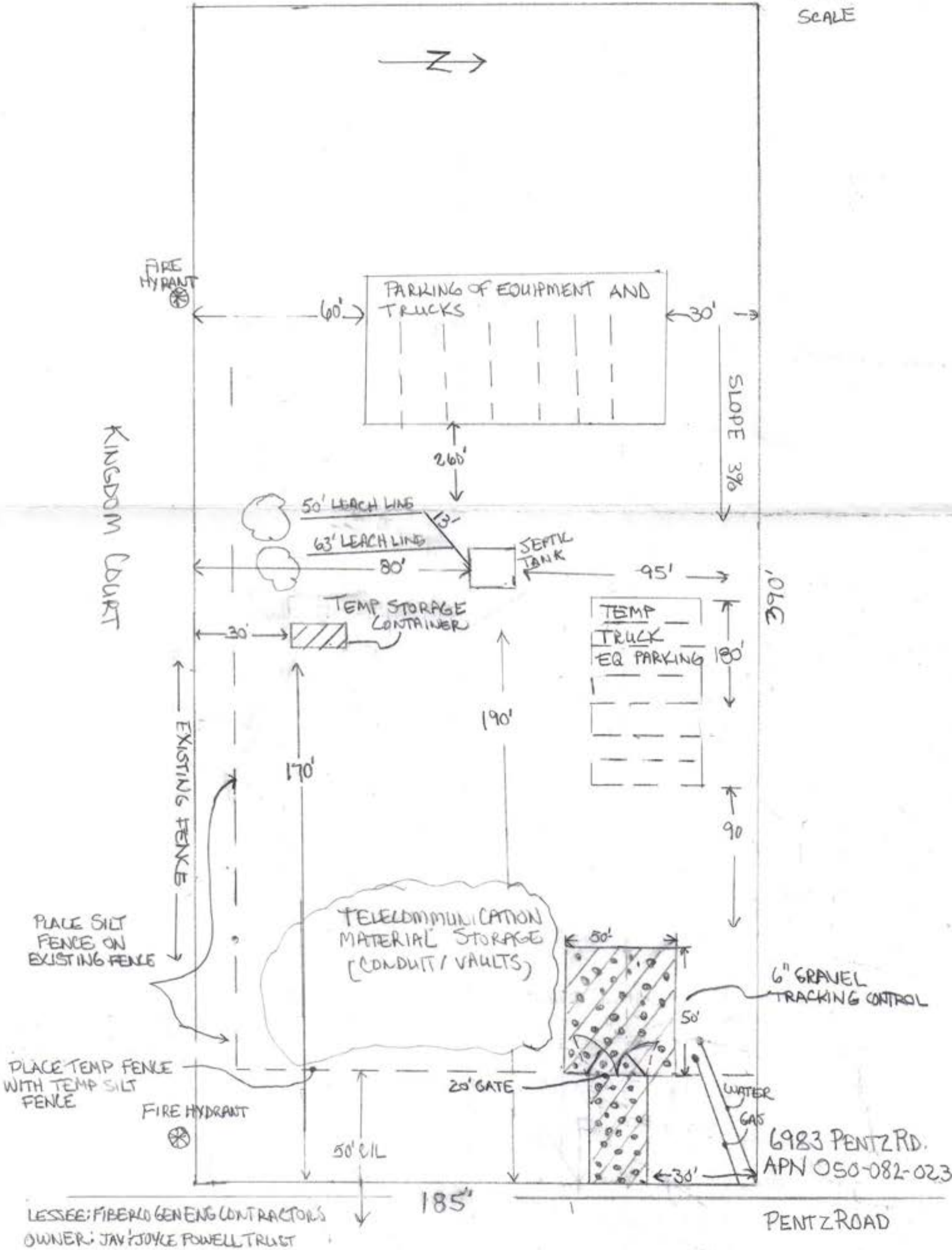
PLOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT

APPLICANT: FIBERCO GEN. ENG. CONTR.

PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFRNCO

1" = 20'
SCALE



LESSEE: FIBERCO GEN ENG CONTRACTORS
OWNER: JAV & JOYCE POWELL TRUST

6983 PENTZ RD.
APN 050-082-023

PENTZ ROAD

REVISED 10/15/2021

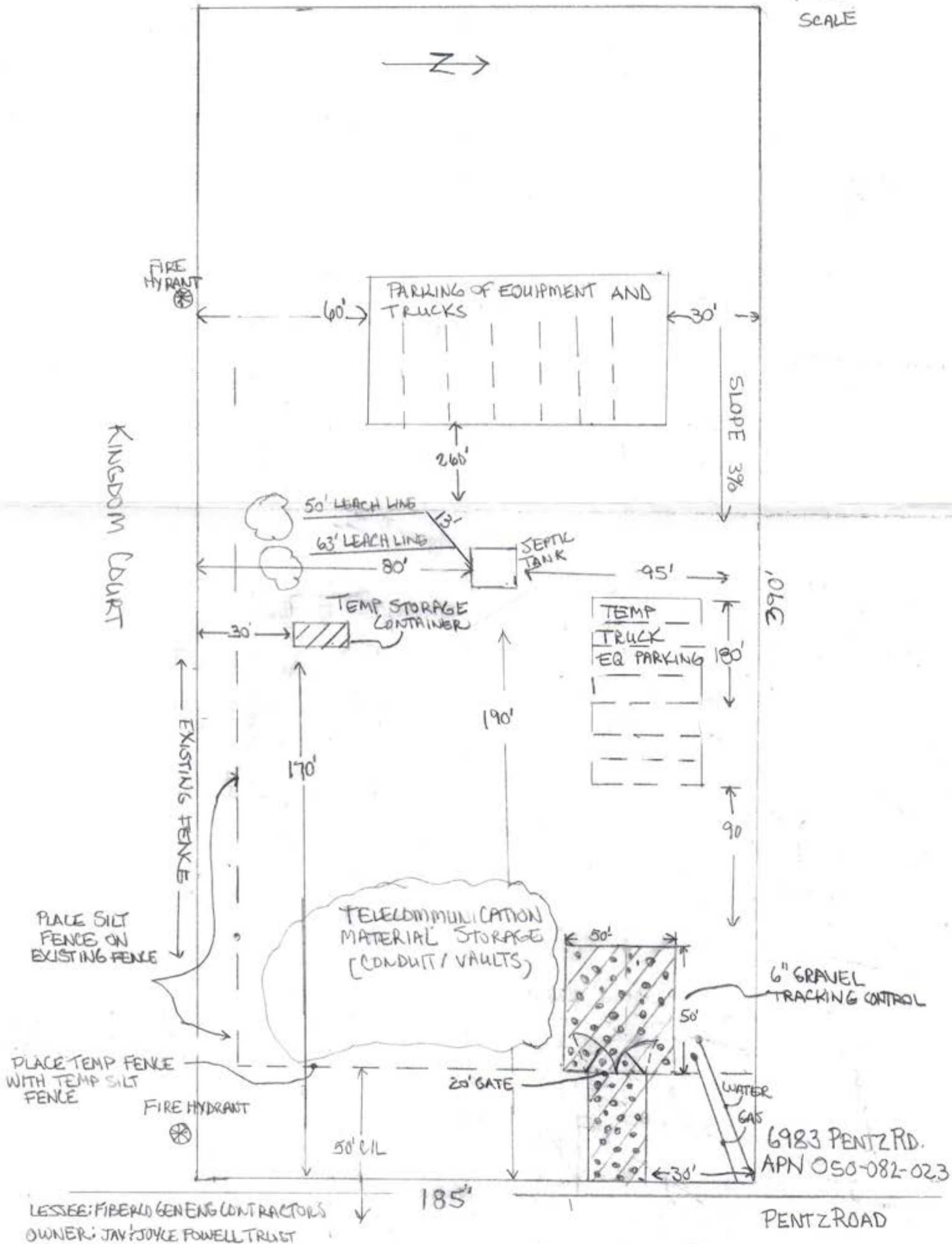
LOT PLAN

6983 PENTZ ROAD - TEMP USE PERMIT

APPLICANT: FIBERLO GEN. ENG. CONTR.

PURPOSE: TEMP LAYDOWN AREA - CONSTRUCTION OF UTILITY LINES - COMCAST / SFRNCO

1"=20'
SCALE



- Permits
 - [Apply / New Permit](#)
 - [Search for Permit](#)
 - [Pay Fees](#)
- Projects
 - [Apply for New Project](#)
 - [Search Projects](#)
 - [Pay Fees](#)
- Contractor
 - [Search Contractors](#)
- Properties
 - [Search Property](#)
- Inspections
 - [Schedule](#)
 - [Cancel](#)
 - [Scheduled](#)
- Violations
 - [Search](#)
- Shopping Cart
 - [Pay All Fees](#)
 - [Paid Items](#)
- Contact
 - [Contact us](#)

Property Search

Search By: SEARCH

[Click here for search examples](#)

Search Results

Search Results

SITE_APN
050-082-023
050-082-023
050-082-023

Parcel #050-082-023

Parcel Info	Land Use	Building	Legal Desc	Inspections
<p>Address: 6983 PENTZ RD </p> <p>City/State/Zip: PARADISE, CA, 95969</p> <p>Property Type: ADDRESS</p> <p>APN: 050-082-023</p> <p>Subdivision:</p> <p>Tract:</p> <p>Block:</p> <p>Lot:</p> <p>Sect-Twp-Rng:</p> <p>Lot Size (SF): 72309.6</p> <p style="margin-top: 20px;">View Public Property Documents</p>				


- Permits
 - [Apply / New Permit](#)
 - [Search for Permit](#)
 - [Pay Fees](#)
- Projects
 - [Apply for New Project](#)
 - [Search Projects](#)
 - [Pay Fees](#)
- Contractor
 - [Search Contractors](#)
- Properties
 - [Search Property](#)
- Inspections
 - [Schedule](#)
 - [Cancel](#)
 - [Scheduled](#)
- Violations
 - [Search](#)
- Shopping Cart
 - [Pay All Fees](#)
 - [Paid Items](#)
- Contact
 - [Contact us](#)

Property Search

Search By: SEARCH

[Click here for search examples](#)

Search Results

 **Search Results**

SITE_APN
050-082-023
050-082-023
050-082-023

Parcel #050-082-023

Parcel Info	Land Use	Building	Legal Desc	Inspections
<p>Zoning Code 1: TOWN OF PARADISE</p> <p>Zoning Code 2:</p> <p>General Plan: Town of Pa</p> <p>Census Code:</p> <p>School District: PARADISE UNIFIED</p> <p>Tax Rate Area: 005001</p> <p>Impact Area:</p> <p>Inspector Area:</p> <p>SRA Area:</p> <p>Acreage:</p> <p>Panel Number:</p> <p>Flood Zone:</p>				

- Permits
 - [Apply / New Permit](#)
 - [Search for Permit](#)
 - [Pay Fees](#)
- Projects
 - [Apply for New Project](#)
 - [Search Projects](#)
 - [Pay Fees](#)
- Contractor
 - [Search Contractors](#)
- Properties
 - [Search Property](#)
- Inspections
 - [Schedule](#)
 - [Cancel](#)
 - [Scheduled](#)
- Violations
 - [Search](#)
- Shopping Cart
 - [Pay All Fees](#)
 - [Paid Items](#)
- Contact
 - [Contact us](#)

Property Search

Search By: SEARCH

[Click here for search examples](#)

Search Results

Search Results

SITE_APN
050-082-023
050-082-023
050-082-023

Parcel #050-082-023


Parcel Info	Land Use	Building	Legal Desc	Inspections
# Units: 0				
# Stories: 0				
# Bedrooms: 0				
# Bathrooms: 0				
Year Built: 0				

- Permits
 - [Apply / New Permit](#)
 - [Search for Permit](#)
 - [Pay Fees](#)
- Projects
 - [Apply for New Project](#)
 - [Search Projects](#)
 - [Pay Fees](#)
- Contractor
 - [Search Contractors](#)
- Properties
 - [Search Property](#)
- Inspections
 - [Schedule](#)
 - [Cancel](#)
 - [Scheduled](#)
- Violations
 - [Search](#)
- Shopping Cart
 - [Pay All Fees](#)
 - [Paid Items](#)
- Contact
 - [Contact us](#)

Property Search

Search By: SEARCH

[Click here for search examples](#)

Search Results		Parcel #050-082-023				
		Parcel Info	Land Use	Building	Legal Desc	Inspections
		<p>There is currently no legal description on this record.</p>				
SITE_APN						
050-082-023						
050-082-023						
050-082-023						

- Permits
 - [Apply / New Permit](#)
 - [Search for Permit](#)
 - [Pay Fees](#)
- Projects
 - [Apply for New Project](#)
 - [Search Projects](#)
 - [Pay Fees](#)
- Contractor
 - [Search Contractors](#)
- Properties
 - [Search Property](#)
- Inspections
 - [Schedule](#)
 - [Cancel](#)
 - [Scheduled](#)
- Violations
 - [Search](#)
- Shopping Cart
 - [Pay All Fees](#)
 - [Paid Items](#)
- Contact
 - [Contact us](#)

Property Search

Search By: SEARCH

[Click here for search examples](#)

Search Results	Parcel #050-082-023														
<div style="display: flex; align-items: center; margin-bottom: 10px;"> Search Results </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px 5px;">SITE_APN</td> </tr> <tr> <td style="padding: 2px 5px;">050-082-023</td> </tr> <tr> <td style="padding: 2px 5px;">050-082-023</td> </tr> <tr> <td style="padding: 2px 5px;">050-082-023</td> </tr> </table>	SITE_APN	050-082-023	050-082-023	050-082-023	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%; text-align: left; padding: 2px;">Parcel Info</th> <th style="width: 25%; text-align: left; padding: 2px;">Land Use</th> <th style="width: 25%; text-align: left; padding: 2px;">Building</th> <th style="width: 25%; text-align: left; padding: 2px;">Legal Desc</th> <th style="width: 25%; text-align: left; padding: 2px;">Inspections</th> </tr> </thead> <tbody> <tr> <td colspan="5" style="padding: 10px; text-align: center;">There are currently no inspections on this record.</td> </tr> </tbody> </table>	Parcel Info	Land Use	Building	Legal Desc	Inspections	There are currently no inspections on this record.				
SITE_APN															
050-082-023															
050-082-023															
050-082-023															
Parcel Info	Land Use	Building	Legal Desc	Inspections											
There are currently no inspections on this record.															

Parcel Number Search

Searches for Parcel Number
across all templates

Enter APN or Parcel Number

sample parcel number 001-001-001

Sort results by: **Relevance** ▼

Results 0 - 0 of 0

No results found

APPENDIX D-2

HISTORIC MAPS

Vacant Land

6983 PENTZ RD APN 050-082-023

PARADISE, CA 95969

Inquiry Number: 7158980.3

October 25, 2022

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

10/25/22

Site Name:

Vacant Land
6983 PENTZ RD APN 050-08
PARADISE, CA 95969
EDR Inquiry # 7158980.3

Client Name:

KCE Matrix
1112 W Burbank Blvd Suite 301
Burbank, CA 91506
Contact: Aram Kaloustian



The Sanborn Library has been searched by EDR and maps covering the target property location as provided by KCE Matrix were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting www.edrnet.com/sanborn.

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # AAD1-4367-8455
PO # KCE-2022-427E
Project Vacant Land



Sanborn® Library search results

Certification #: AAD1-4367-8455

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

Limited Permission To Make Copies

KCE Matrix (the client) is permitted to make up to FIVE photocopies of this Sanborn Map transmittal and each fire insurance map accompanying this report solely for the limited use of its customer. No one other than the client is authorized to make copies. Upon request made directly to an EDR Account Executive, the client may be permitted to make a limited number of additional photocopies. This permission is conditioned upon compliance by the client, its customer and their agents with EDR's copyright policy; a copy of which is available upon request.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice. Copyright 2022 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, LLC or its affiliates. All other trademarks used herein are the property of their respective owners.

APPENDIX D-3

AERIAL PHOTOGRAPHS



Vacant Land

6983 PENTZ RD APN 050-082-023

PARADISE, CA 95969

Inquiry Number: 7158980.8

October 26, 2022

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package

10/26/22

Site Name:

Vacant Land
6983 PENTZ RD APN 050-08
PARADISE, CA 95969
EDR Inquiry # 7158980.8

Client Name:

KCE Matrix
1112 W Burbank Blvd Suite 301
Burbank, CA 91506
Contact: Aram Kaloustian



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2016	1"=500'	Flight Year: 2016	USDA/NAIP
2012	1"=500'	Flight Year: 2012	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2006	1"=500'	Flight Year: 2006	USDA/NAIP
1998	1"=500'	Acquisition Date: January 01, 1998	USGS/DOQQ
1993	1"=500'	Acquisition Date: July 30, 1993	USGS/DOQQ
1984	1"=500'	Flight Date: June 29, 1984	USDA
1975	1"=500'	Flight Date: September 24, 1975	USGS
1973	1"=500'	Flight Date: June 30, 1973	USGS
1969	1"=500'	Flight Date: August 04, 1969	USGS
1952	1"=500'	Flight Date: July 01, 1952	USDA

When delivered electronically by EDR, the aerial photo images included with this report are for ONE TIME USE ONLY. Further reproduction of these aerial photo images is prohibited without permission from EDR. For more information contact your EDR Account Executive.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2022 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, LLC or its affiliates. All other trademarks used herein are the property of their respective owners.



INQUIRY # 7158980.8

YEAR: 2016

— = 500'





INQUIRY # 7158980.8

YEAR: 2012

— = 500'





INQUIRY # 7158980.8

YEAR: 2009

— = 500'





INQUIRY # 7158980.8

YEAR: 2006

— = 500'





INQUIRY # 7158980.8

YEAR: 1998

— = 500'





INQUIRY #: 7158980.8

YEAR: 1993

— = 500'





INQUIRY #: 7158980.8

YEAR: 1984

— = 500'





INQUIRY # 7158980.8

YEAR: 1975

— = 500'





INQUIRY # 7158980.8

YEAR: 1973

— = 500'





INQUIRY # 7158980.8

YEAR: 1969

— = 500'





INQUIRY # 7158980.8

YEAR: 1952

— = 500'



APPENDIX D-4

HISTORICAL TOPOGRAPHIC MAPS

Vacant Land

6983 PENTZ RD APN 050-082-023

PARADISE, CA 95969

Inquiry Number: 7158980.4

October 25, 2022

EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Historical Topo Map Report

10/25/22

Site Name:

Vacant Land
6983 PENTZ RD APN 050-08
PARADISE, CA 95969
EDR Inquiry # 7158980.4

Client Name:

KCE Matrix
1112 W Burbank Blvd Suite 301
Burbank, CA 91506
Contact: Aram Kaloustian



EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by KCE Matrix were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:**Coordinates:**

P.O.#	KCE-2022-427E	Latitude:	39.788446 39° 47' 18" North
Project:	Vacant Land	Longitude:	-121.580404 -121° 34' 49" West
		UTM Zone:	Zone 10 North
		UTM X Meters:	621551.69
		UTM Y Meters:	4405240.99
		Elevation:	2202.57' above sea level

Maps Provided:

2018	1891
2015	
2012	
1994	
1980	
1953	
1895	
1893	

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2022 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, LLC or its affiliates. All other trademarks used herein are the property of their respective owners.

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

2018 Source Sheets



Paradise East
2018
7.5-minute, 24000

2015 Source Sheets



Paradise East
2015
7.5-minute, 24000

2012 Source Sheets



Paradise East
2012
7.5-minute, 24000

1994 Source Sheets



Paradise East
1994
7.5-minute, 24000
Aerial Photo Revised 1993

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1980 Source Sheets



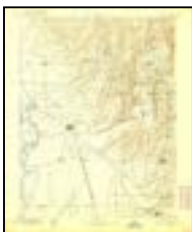
Paradise East
1980
7.5-minute, 24000
Aerial Photo Revised 1973

1953 Source Sheets



Paradise
1953
15-minute, 62500
Aerial Photo Revised 1951

1895 Source Sheets



Chico
1895
30-minute, 125000

1893 Source Sheets



Chico
1893
30-minute, 125000

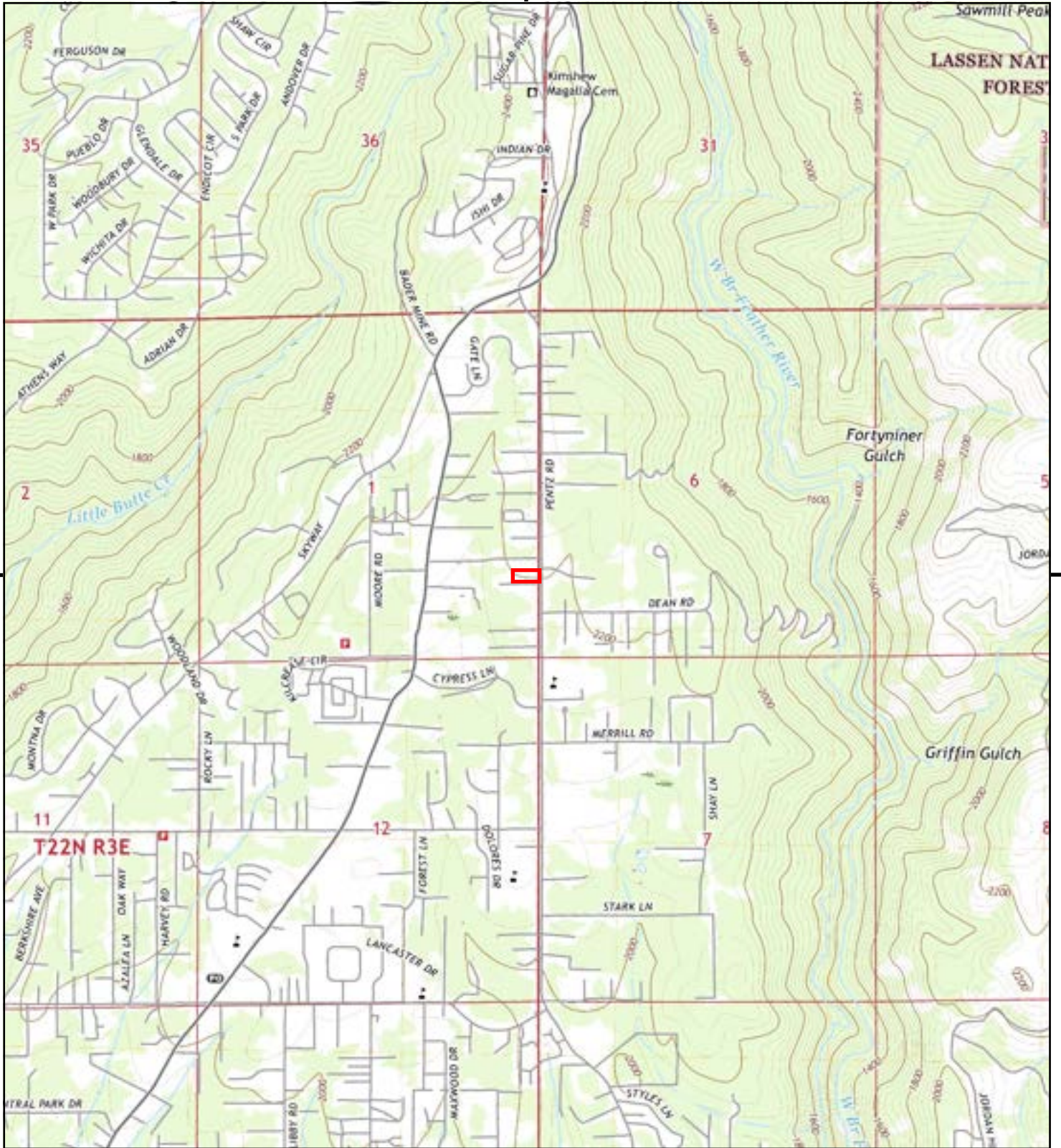
Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

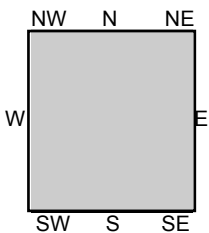
1891 Source Sheets



Chico
1891
30-minute, 125000



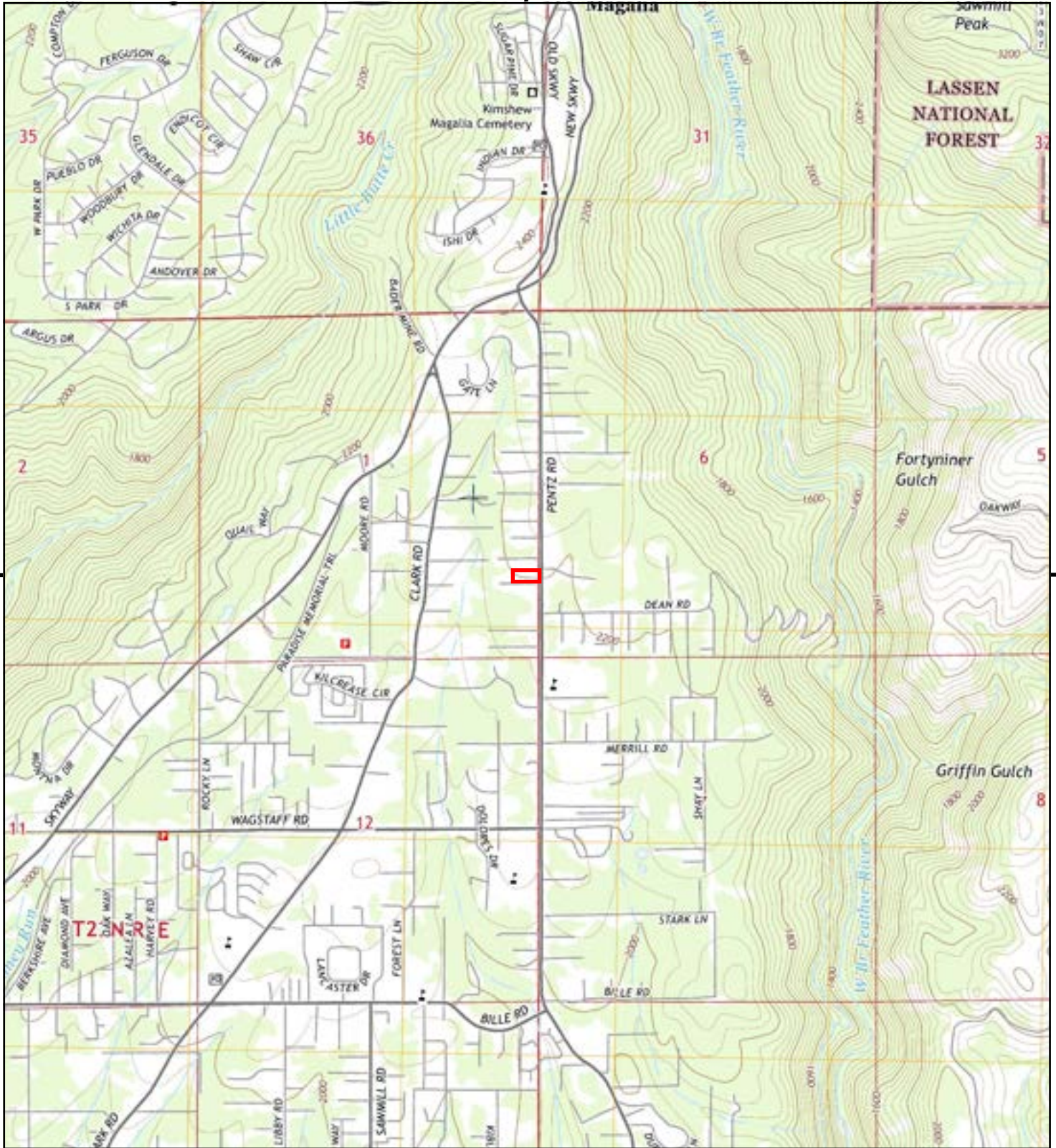
This report includes information from the following map sheet(s).



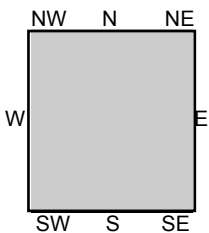
TP, Paradise East, 2018, 7.5-minute

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE, CA 95969
 CLIENT: KCE Matrix





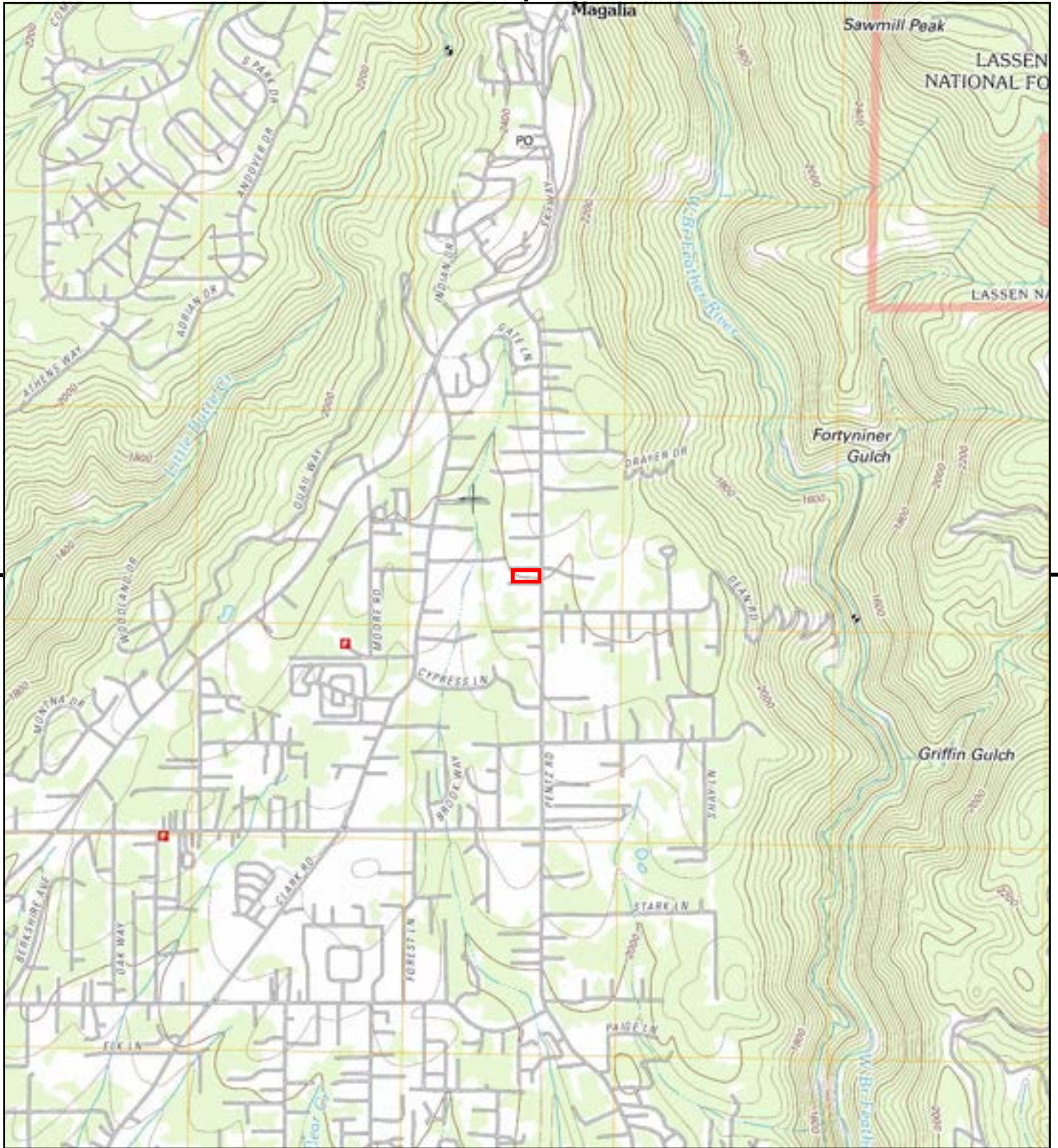
This report includes information from the following map sheet(s).



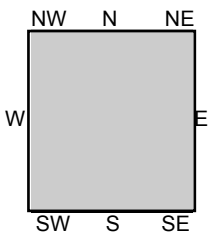
TP, Paradise East, 2015, 7.5-minute

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE, CA 95969
 CLIENT: KCE Matrix





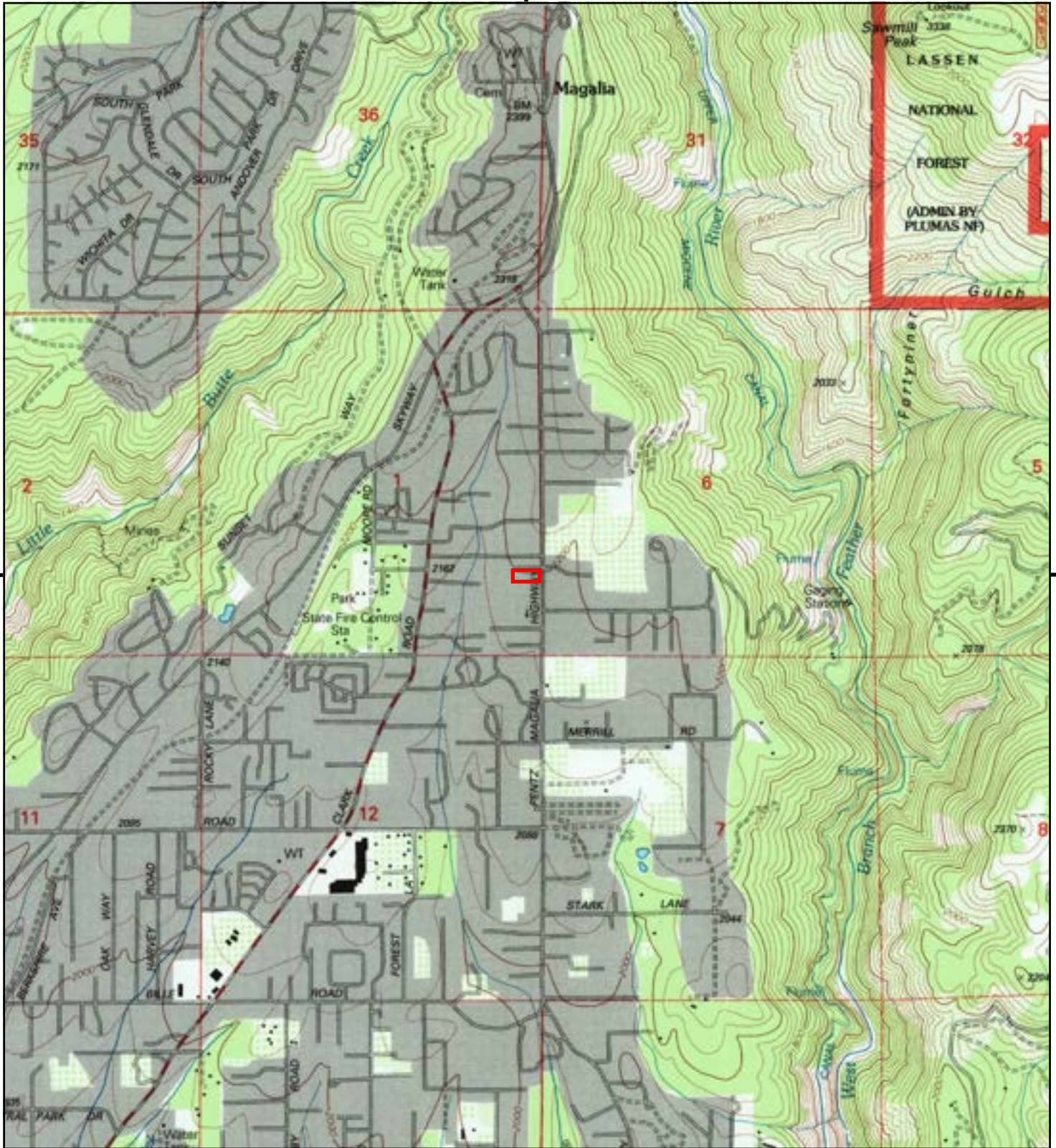
This report includes information from the following map sheet(s).



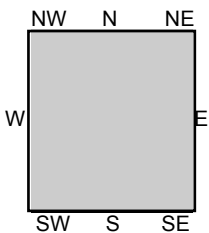
TP, Paradise East, 2012, 7.5-minute

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE, CA 95969
 CLIENT: KCE Matrix





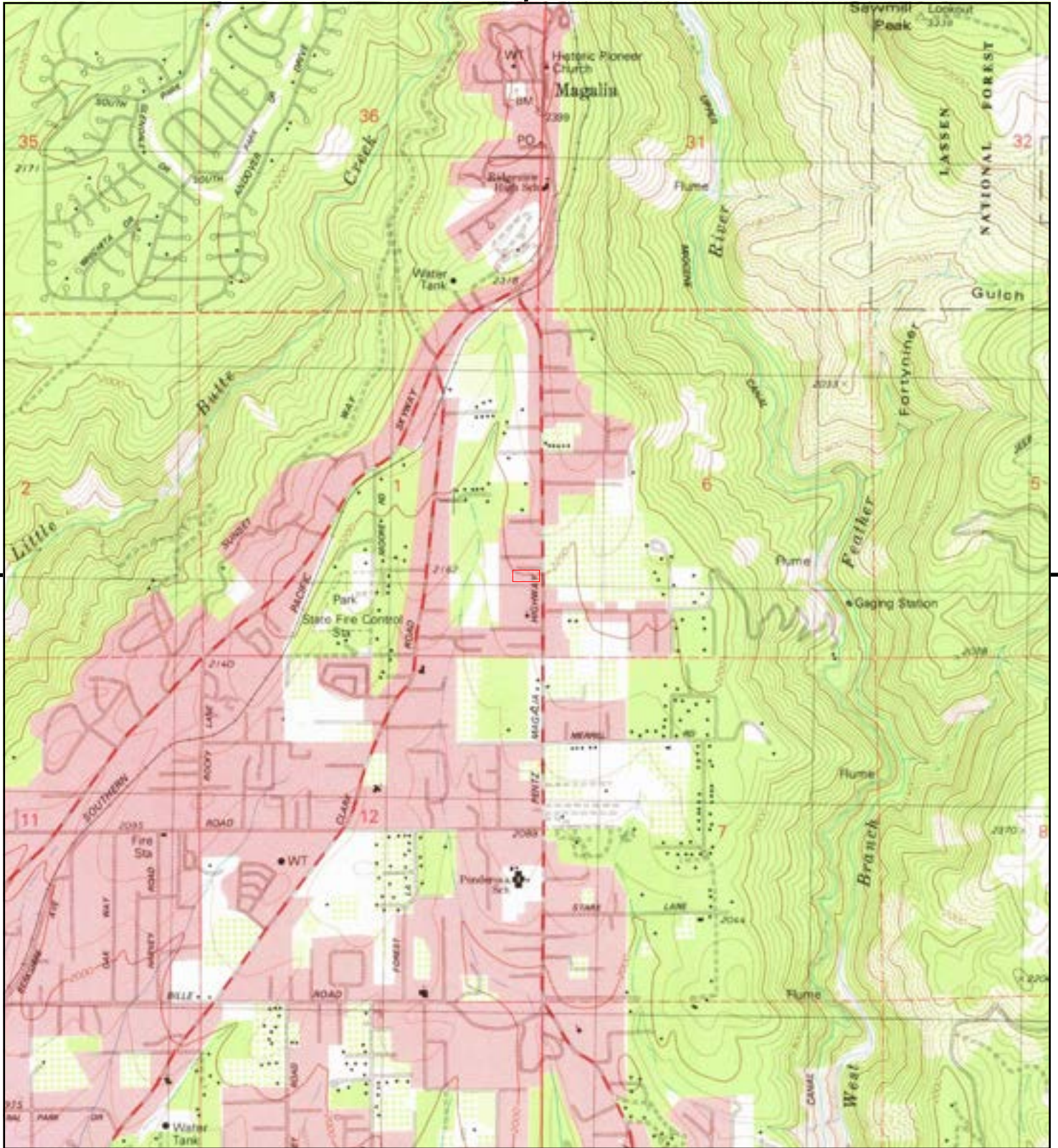
This report includes information from the following map sheet(s).



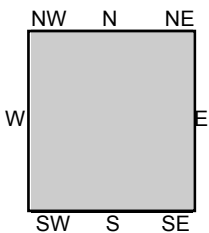
TP, Paradise East, 1994, 7.5-minute

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE, CA 95969
 CLIENT: KCE Matrix





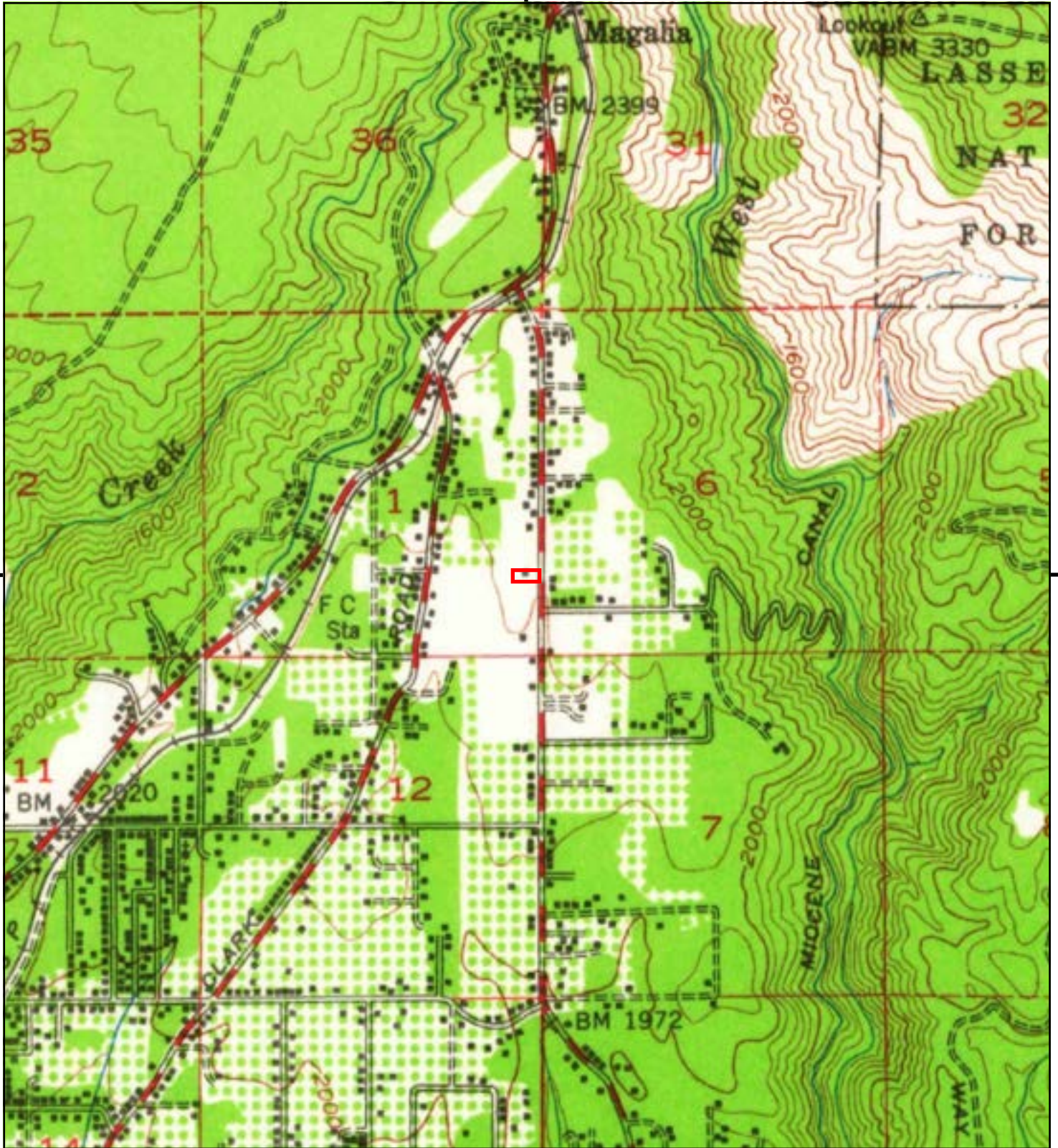
This report includes information from the following map sheet(s).



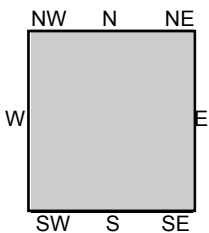
TP, Paradise East, 1980, 7.5-minute

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE, CA 95969
 CLIENT: KCE Matrix





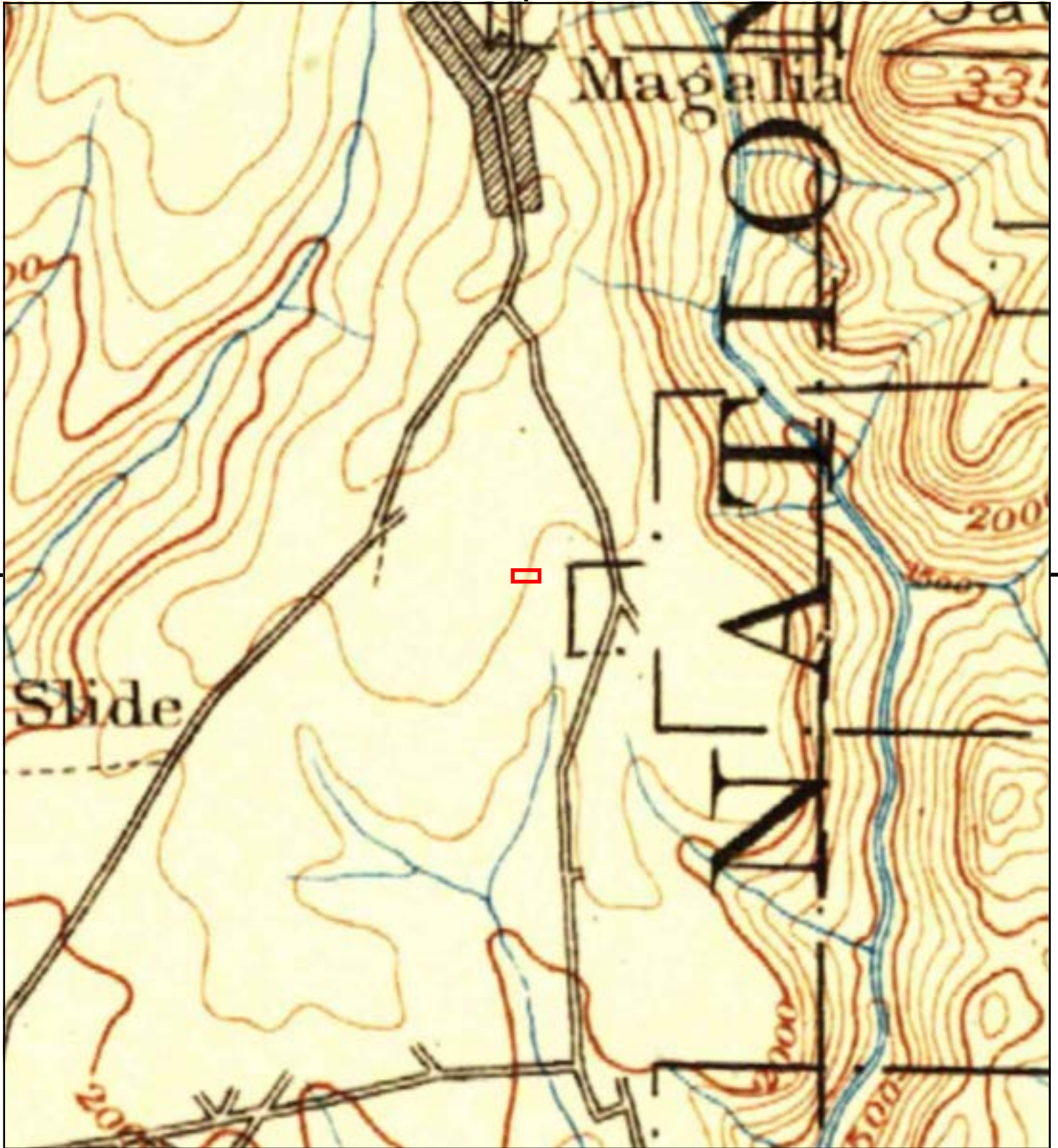
This report includes information from the following map sheet(s).



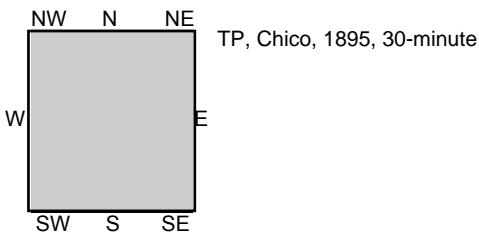
TP, Paradise, 1953, 15-minute

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE, CA 95969
 CLIENT: KCE Matrix



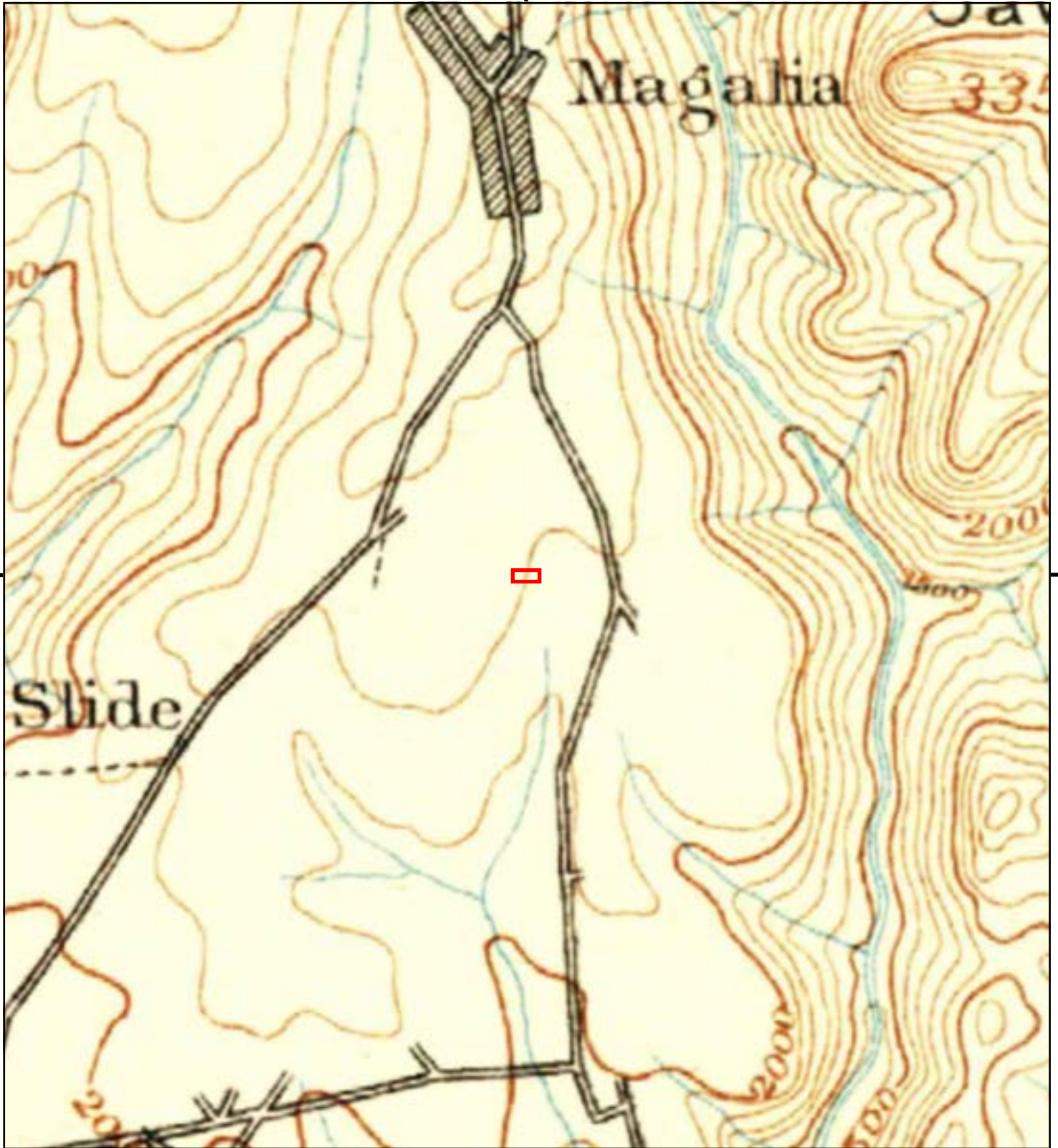


This report includes information from the following map sheet(s).

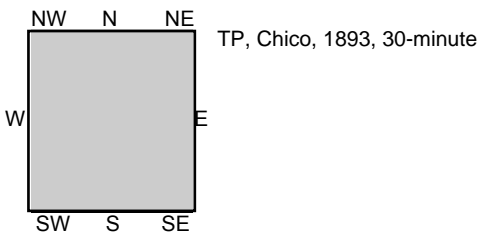
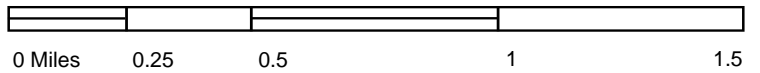


SITE NAME: Vacant Land
ADDRESS: 6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969
CLIENT: KCE Matrix



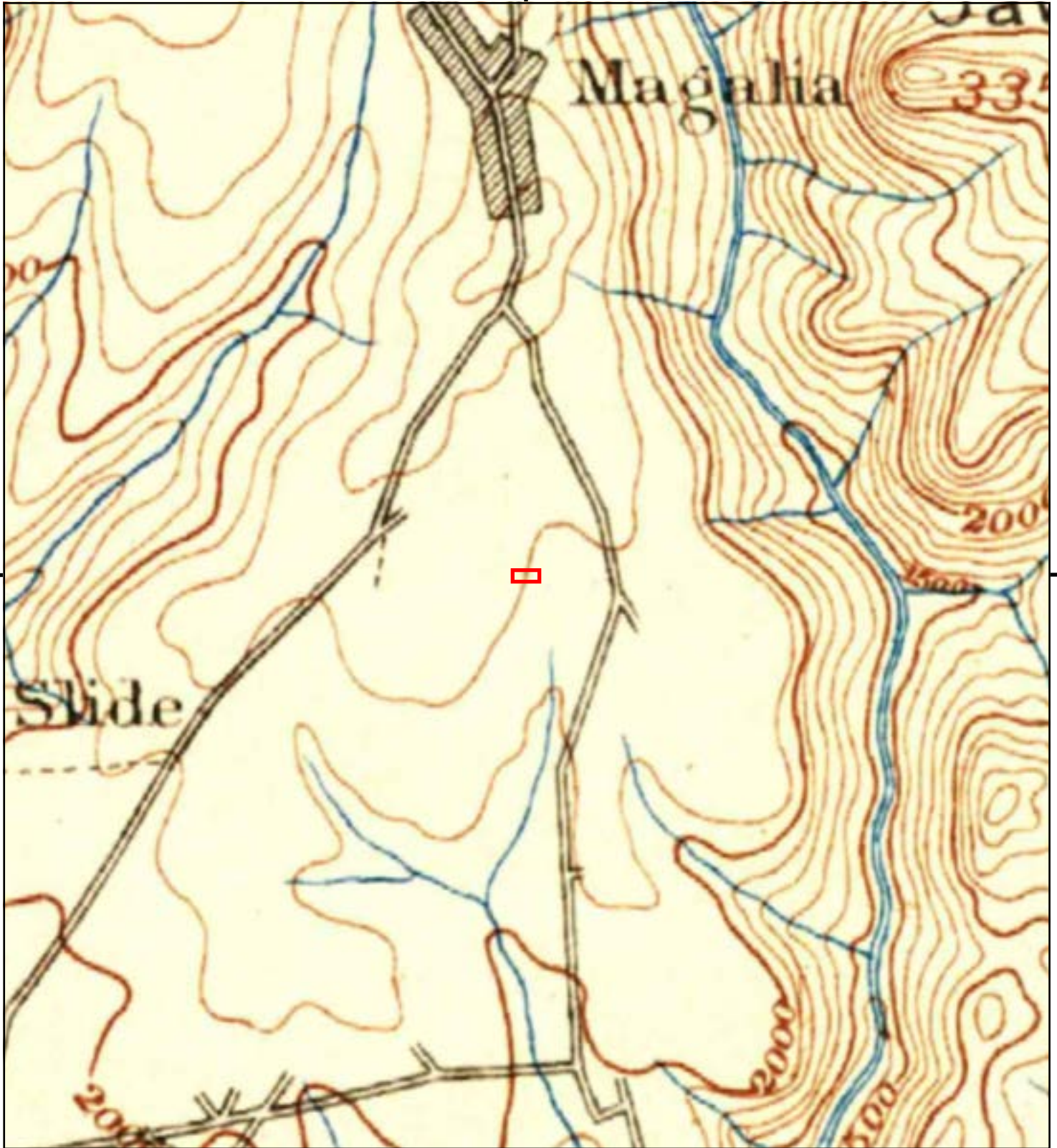


This report includes information from the following map sheet(s).

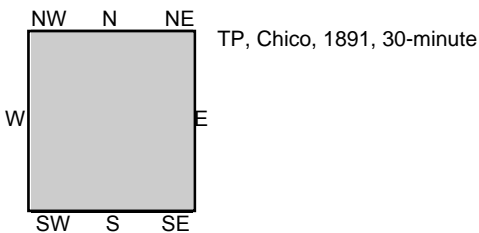
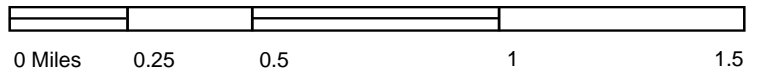


SITE NAME: Vacant Land
ADDRESS: 6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969
CLIENT: KCE Matrix





This report includes information from the following map sheet(s).



SITE NAME: Vacant Land
ADDRESS: 6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969
CLIENT: KCE Matrix



APPENDIX D-5

CITY DIRECTORY ABSTRACT

Vacant Land

6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

Inquiry Number: 7158980.5
October 28, 2022

The EDR-City Directory Image Report

TABLE OF CONTENTS

SECTION

Executive Summary

Findings

City Directory Images

Thank you for your business.

Please contact EDR at 1-800-352-0050
with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OR DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2020 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc. or its affiliates is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available city directory data at 5 year intervals.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

EDR is licensed to reproduce certain City Directory works by the copyright holders of those works. The purchaser of this EDR City Directory Report may include it in report(s) delivered to a customer. Reproduction of City Directories without permission of the publisher or licensed vendor may be a violation of copyright.



RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Target Street</u>	<u>Cross Street</u>	<u>Source</u>
2017	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2014	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2010	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2005	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2000	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1995	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1992	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1986	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1981	<input type="checkbox"/>	<input type="checkbox"/>	Haines Criss-Cross Directory
1975	<input type="checkbox"/>	<input type="checkbox"/>	Haines Criss-Cross Directory
1971	<input type="checkbox"/>	<input type="checkbox"/>	Haines Criss-Cross Directory

FINDINGS

TARGET PROPERTY STREET

6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
-------------	-----------------	---------------

PENTZ RD

2017	pg A2	EDR Digital Archive	
2014	pg A5	EDR Digital Archive	
2010	pg A8	EDR Digital Archive	
2005	pg A11	EDR Digital Archive	
2000	pg A14	EDR Digital Archive	
1995	pg A17	EDR Digital Archive	
1992	pg A20	EDR Digital Archive	
1986	pg A22	Haines Criss-Cross Directory	
1986	pg A23	Haines Criss-Cross Directory	
1981	-	Haines Criss-Cross Directory	Street not listed in Source
1975	-	Haines Criss-Cross Directory	Street not listed in Source
1971	-	Haines Criss-Cross Directory	Street not listed in Source

FINDINGS

CROSS STREETS

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
-------------	-----------------	---------------

APPLE VIEW WAY

2017	pg. A1	EDR Digital Archive	
2014	pg. A4	EDR Digital Archive	
2010	pg. A7	EDR Digital Archive	
2005	pg. A10	EDR Digital Archive	
2000	pg. A13	EDR Digital Archive	
1995	pg. A16	EDR Digital Archive	
1992	pg. A19	EDR Digital Archive	
1986	pg. A21	Haines Criss-Cross Directory	
1981	-	Haines Criss-Cross Directory	Street not listed in Source
1975	-	Haines Criss-Cross Directory	Street not listed in Source
1971	-	Haines Criss-Cross Directory	Street not listed in Source

City Directory Images

-



APPLE VIEW WAY 2017

1801	MCCOY, JOHN L
1806	KING, AMENA
1807	HENDRIX, RANDALL W
1812	DAY, RUSSELL A
1813	OHOLLERAN, AMY
1818	MITCHELL, BRODIE C
1819	BARKER, TRAVIS L
1824	FRYE, JENNIFER
1825	WHITECOMB, LEONARD M
1830	PROCHNOW, MARK K
1831	BUILTWRIGHT CONSTRUCTION WRIGHT, LARRY R
1836	CHRISTENSEN, SCOTT P

PENTZ RD 2017

6800 BOWER, THERESA L
RAINEY, STEVEN J
SIMS, SHARON
SMITH, TYLER A
6808 HURLEY, GARY V
6814 GERVAIS, LOUIS L
6830 PARADISE UNIFIED SCHOOL DISTRICT
6835 PLATE, RYAN P
6839 CLARK, SHARLEE
6845 LABOSKY, PHILIP W
6853 CARPENTER, LOREN J
6854 FIT ONE PARADISE
6881 LACOURSE, MAE W
6886 RICHARDS, WILLIAM T
6889 CHICOU, BOB E
6890 MATHIESON, KENNETH D
6910 PASTRANO, ALICE R
6920 DAME, LEANN
6930 ENGLANT, TONY B
6933 HOPE CHRISTIAN CHURCH
6942 ABETTER PEST CONTROL CO
SUIHKONEN, OWEN V
6947 COVERT, JOSEPH A
6952 SUIHKONEN, OWEN V
6955 ALDRIDGE, NOEL
6962 HEGENBART, PAUL A
6975 PARADISE RIDGE SOUTHERN BAPTIST CHUR
7035 ADLER, PHYLLIS A
ALICE, BARBER
BARBER, RONALD E
BRUHL, GORDON J
BUNTING, STEPHEN M
CHARVEL, SUSAN
CRISP, BARBARA J
DAULTON, ILENE V
DICKERSON, ERMA
EAGLES, RICK L
ELAINE, GARCIA
ESSER, ALVIN
FLOYD, JUDY
HEDLUND, HOWARD C
HICKEY, VAL R
JOHNSON, FAITH A
LESESNE, BENJAMIN H
LEWIS, JOHN L
MACY, RONA E
MORRIS, MICHAEL M
NEWCOMER, JESSICA C
RICHARDS, DIANE D
ROBINSON, KATHERINE

PENTZ RD 2017 (Cont'd)

7035 SHIELDS, ROBIN W
SINCLAIR, JOYCE D
SPEED, RON E
THOMAS, MERLE A
VALANTE, MATTHEW
WATTS, CYNTHIA A
WILLIAMS, ROBERT L
7050 NOBLE ORCHARD CO
7055 VICK, DONALD R
7072 LYNCH, GREGG M
7080 BYERS, MITCH
7083 LINEBARGER, MICHAEL A
7086 CSUTORAS, KAREN R
7091 PAYNE, GEORGE W
7100 DESMOND, IRENE R

-



APPLE VIEW WAY 2014

1800	HOOPER, CHARLES I
1801	CRISTOBAL, PENNY
1806	OCCUPANT UNKNOWN,
1807	HENDRIX, RANDALL W
1812	DAY, RUSSELL A
1813	CORONADO, MIKE A
1818	OCCUPANT UNKNOWN,
1819	CANDLER, DAVID T
1824	FRYE, JEFF
1825	MCKENZIE, HELENE L
1830	OCCUPANT UNKNOWN,
1831	BUILTWRIGHT CONSTRUCTION
	WRIGHT, LARRY R
1836	CHRISTENSEN, SCOTT P

PENTZ RD 2014

6800 RAINEY, STEVEN J
SIMS, DAVID A
TOMASINI, CINDY
6808 GALLAND, JEFFREY D
6814 GERVAIS, LOUIS R
6820 BROWN, KATHERINE
6830 PARADISE UNIFIED SCHOOL DISTRICT
6835 PLATE, RYAN P
6839 SHAPOVALOV, O
6845 LABOSKY, PHILIP W
6853 CARPENTER, LOREN J
6854 FIT ONE PARADISE
6881 BRANNON, GENE D
6884 JOHNSON, BRIAN G
6886 RICHARDS, WILLIAM T
6888 FAAPEPELE, IUTA A
6889 OCCUPANT UNKNOWN,
6890 MATHIESON, KENNETH D
6900 BEARDSLEY, ROBERT L
6910 OCCUPANT UNKNOWN,
6930 ENGLANT, TONY B
6933 HOPE CHRISTIAN CHURCH
6942 A BETTER PEST CONTROL CO
SUIHKONEN, OWEN V
6947 COVERT, JOSEPH A
6952 OCCUPANT UNKNOWN,
6955 AMBER, ALDRIDGE
6962 PAUL, HEGENBART
6975 PARADISE RIDGE SOUTHERN BAPTIST CHUR
7035 ADLER, PHYLLIS A
ALLEN, LARRY
BLAND, CHERYL L
BRUHL, GORDON J
CHAMBERS, RUSS
CHARVEL, SUSAN
CRISP, BARBARA J
DAULTON, ILENE V
ELAINE, GARCIA
ESSER, PHYLLIS E
FIACK, JANE F
FISCHER, ALICE A
GARCIA, BRANDO
GATLIN, TIMOTHY G
HICKEY, VAL R
MACY, RONA E
MCGUIRE, MERRITT E
MORGAN, CHRISTOPHER B
MORRIS, NORMAN M
MULLINS, GERI R
NEAL, CONNIE L

PENTZ RD 2014 (Cont'd)

7035	PARENT, PHYLLIS PASILIS, KENT R PEPPAS, BONNIE B ROBINSON, KATHERINE SHIELDS, ROBIN W SINCLAIR, JOYCE D THOMAS, MERLE A VALANTE, MATTHEW WATTS, CYNTHIA A WILLIAMS, ROBERT L
7050	NOBLE ORCHARD CO
7055	VICK, DONALD R
7070	NOBLE, JAMES A
7072	LYNCH, GREGG M
7075	SHAW, ROBERT
7080	OCCUPANT UNKNOWN,
7083	LINEBARGER, WILLIAM D
7086	CSUTORAS, KAREN R
7091	BASFORD, ADRIANNA
7093	KENNEDY, MATT D
7095	KINCAID, HAZEL
7100	DESMOND, IRENE R

APPLE VIEW WAY 2010

1800	OCCUPANT UNKNOWN,
1801	TYRANOWSKI, KRYSTAL
1804	WALL, JAMES
1806	OCCUPANT UNKNOWN,
1807	HENDRIX, RANDALL W
1812	DAY, RUSSELL A
1813	CORONADO, MICHAEL A
1818	OCCUPANT UNKNOWN,
1819	DOLESHAL, DOROTHY R
1830	STEELE, SCOTT G
1831	BUILTWRIGHT CONSTRUCTION WRIGHT, LARRY R
1836	CHRISTENSEN, SCOTT P

PENTZ RD 2010

6800 DAYTON, STEPHEN M
DRUEHL, WILLIAM W
GIBBLE, MICHELLE
6808 GALLAND, JEFFREY D
6814 GERVAIS, LOUIS R
6820 HUTH, ALYSSA
6830 CHILDRENS COMM CHARTER SCHOOL
6835 STATON, CURTIS D
6839 JONES, FRANK
6845 WEBBER, SUZANNE L
6853 CARPENTER, LOREN J
6854 FIT ONE ATHLETIC CLUB
FIT ONE PARADISE
6881 BRANNON, GENE D
6884 ENGELHARDT, AMBER
6886 BRANDT, HERMAN L
6888 OCCUPANT UNKNOWN,
6890 MATHIESON, KENNETH D
6900 BEARDSLEY, ROBERT L
6910 MCDONALD, MICHAEL A
6930 ENGLANT, TONY B
6933 HOPE CHRISTIAN CHURCH
6942 ABETTER PEST CONTROL CO
SUIHKONEN, OWEN V
6947 COVERT, JOSEPH A
6952 OCCUPANT UNKNOWN,
6955 OCCUPANT UNKNOWN,
6962 HEGENBART, PAUL A
6975 PARADISE RIDGE SOUTHERN BAPT
7035 ADLER, PHYLLIS A
ALEXANDER, JAMES
ALLOWAY, ERNEST L
BLEVINS, RITA
CARRILLO, C
CHAMBERS, THOMAS R
CHARVEL, SUSAN
CRISP, BARBARA J
DAULTON, ILENE V
ENTWISTLE, DUSTIN
ESSER, PHYLLIS E
GARCIA, RITA M
GATLIN, TIMOTHY G
HALL, ARTHUR R
HICKEY, VAL R
MOORHEAD, DONNA S
MORRIS, NORMAN M
MULLINS, GERALDINE K
NEAL, CONNIE L
PASILIS, KENT R
PEPPAS, BONNIE B

PENTZ RD 2010 (Cont'd)

7035	REAGAN, FLORENCE H SPEED, RON SWARTOUT, JOAN VALANTE, MATTHEW WALKER, PHYLLIS A WILLIAMS, ROBERT L
7050	VINCENT NOBLE ORCHARD CO
7055	KOERNER, WALTER J
7070	NOBLE, JAMES A
7072	OCCUPANT UNKNOWN,
7080	OCCUPANT UNKNOWN,
7083	LINEBARGER, WILLIAM D
7091	WESTIN, DAVID
7093	KENNEDY, MATT L
7100	DESMOND, IRENE R

-



APPLE VIEW WAY 2005

1800	HONEY LAKE INDUSTRIES HOOPER, CHARLES I
1801	WALL, RONALD A
1804	WALL, JAMES
1806	KING, DAVID J
1807	HENDRIX, RANDALL W
1812	DAY, RUSSELL A
1813	CORONADO, MICHAEL A
1818	GARMAN, CLINT E
1819	OCCUPANT UNKNOWN,
1824	FRYE, NANCY L
1830	STEELE, SCOTT G
1831	BUILT WRIGHT CONSTRUCTION WRIGHT, LARRY R
1836	CHRISTENSEN, SCOTT P

PENTZ RD 2005

6800 LUMBY, KELLY
MCWHORTER, WILLIAM
OZER, SHAYNA T
WRIGHT, LARRY
6814 GERVAIS, LOUIS R
6820 MULLANIX, GARY N
6830 OCCUPANT UNKNOWN,
6835 JUMPER, RUTH E
6839 JONES, FRANK
6845 LABOSKY, PHILIP W
6853 CARPENTER, LOREN J
6854 SPORTHAVEN HEALTH CLUB
6881 BRANNON, GENE
6884 BRANDT, HERMAN L
6888 WARNER, CARL O
6889 ERICKSON, BEN R
6890 MATHIESON, KENNETH D
6900 BEARDSLEY, ROBERT L
6910 MCDONALD, MICHAEL G
6930 DRAKE, CATHERINE A
6933 HOPE CHRISTIAN CHURCH
6942 OCCUPANT UNKNOWN,
6947 COVERT, JOSEPH A
6952 AYERS, KEITH N
6955 CLOUD SHARK MEDICAL DESIGN
COX, THERESA
6962 HEGENBART, PAUL A
6975 PARADISE RIDGE SOUTHERN BAPTIST CHUR
6983 OCCUPANT UNKNOWN,
7035 ADAMS, MARJORIE C
ALLOWAY, ERNEST L
BLEVINS, RITA
BREWER, WILLIAM E
BROOKS, LLOYD H
CHAMBERS, BETTY A
CHARVEL, SUSAN
CRISP, EMMET T
DAULTON, ILENE V
DUNLAP, IRA J
ENTWISTLE, JUDY A
ESSER, PHYLLIS E
HALL, ARTHUR R
KINCAID, HAZEL V
MCMILLAN, SYLVIA M
MULLINS, FRED H
NEEL, HOWARD
PASILIS, KENT R
PEPPAS, BONNIE B
REAGAN, FLORENCE H
ROSS, SI

PENTZ RD

2005

(Cont'd)

7035	SPARKS, RON
	STEVENS-DORYLAN, JANET
	SWARTOUT, GORDON
	WILLIAMS, ROBERT L
	WILSEY, MARJORIE L
7050	NOBLE ORCHARD CO
7055	KOERNER, WALTER J
7070	OCCUPANT UNKNOWN,
7072	PIPER, RICHARD L
7075	KELLER, RUBY M
7080	ROBERSON, ALEX J
7083	LINEBARGER, WILLIAM D
7091	PAYNE, GEORGE W
7093	VOIGT, JEFF S
7100	DESMOND, THELMA E

-



APPLE VIEW WAY 2000

1800	HOOPER, M S
1801	WALL, JAMES D
1806	KING, DAVID J
1807	RICHARD, RICK
1812	JOHNSON, ARTHUR Z
1813	CORONADO, MICHAEL
1818	BARNES, JOHN
1819	DOLESHAL, DOROTHY R
1824	OCCUPANT UNKNOWN,
1825	MASUEN, EMERAN A
1830	STEELE, SCOTT G
1831	BUILT WRIGHT CONSTRUCTION
	WRIGHT, LARRY R
1836	CHRISTENSEN, SCOTT P

PENTZ RD 2000

6800 MASON, J L
6820 CROSBY, M
6830 ALANO CLUB
6835 JUMPER, RUTH E
STATON, CURTIS
6839 YEOMAN, ELSIE S
6853 YEOMAN, JOHN C
6854 ACTIVE PHYSICAL THERAPY
CORINAS THERAPEUTIC MASSAGE
MOLLER, ROBIN L
SPORTHAVEN HEALTH CLUB
6881 LACOURSE, MAE Y
6884 BRANDT, HERMAN L
6889 ERICKSON, BEN
6930 DRAKE, FRANCIS M
6933 CHRISTIAN CHURCH OF PARADISE
6942 A BETTER PEST CONTROL COMPANY
SUIHKONEN, OWEN V
6947 MORRISSEY, MARIE
6952 AYERS, KEITH
6955 COX, THERESA C
6962 OCCUPANT UNKNOWN,
6975 PARADISE RIDGE SOUTHERN BAPTIST CHURCH
6983 OCCUPANT UNKNOWN,
7035 ADAMS, ELMA E
BROOKS, LLOYD
DENIGRIS, BRIDGET
DUNLAP, IRA J
ESSER, PHYLLIS
FISCHER, A
GALARNEAUX, KAREN
GUICHARD, V M
HALL, ARTHUR R
HANSEN, WILLIAM R
HARRELL, ISIAH
HASTY, MARY
HUTCHISON, CHARLES E
JOHNSTON, M E
KINCAID, WILLIAM
KING, J G
MAHONEY, CHARLES R
MCDOWELL, CARMEN V
MULLINS, FRED
PEPPAS, THOMAS S
READ, VERNIE E
REAGAN, HAROLD E
ROBERTSON, HAROLD F
STEWART, CONNIE E
TROTTER, VIRDA M
WILLIAMS, R L

PENTZ RD 2000 (Cont'd)

7035	WINKLES, RAY WOLFE, GAIL W YARBROUGH, A M
7050	NOBLE VINCENT NOBLE ORCHARD COMPANY NOBLE, JAMES
7055	KOERNER, WALTER
7072	MATHAN, DALIA R
7075	OCCUPANT UNKNOWN,
7079	LIGHTFOOT, STEPHEN
7080	OCCUPANT UNKNOWN,
7083	LINEBARGER, WILLIAM
7086	OCCUPANT UNKNOWN,
7091	PAYNE, GEORGE
7093	CERVANTES, PETER A
7100	DESMOND, THELMA F

APPLE VIEW WAY 1995

1801 WALL, JAMES D
1806 FRIENSHUH, BETTE A
1807 NIELSEN, RICK
1812 DAY, RUSSELL A
1813 LAWSON, EVELYN
1818 TRENTON, MICHAEL D
1819 DOLESHAL, FRANK
1824 BOOTHE, FRED G
1825 MASUEN, EMERAN A
1827 OCCUPANT UNKNOWNN
1830 STEELE, SCOTT
1831 BUILT WRIGHT CONSTRUCTION
WRIGHT, LARRY R

PENTZ RD 1995

6800 BABCOCK, MICHAEL
COX, AMY
PREECE, ROBERT
6819 OCCUPANT UNKNOWNN
6820 ROBINSON, PAUL
6830 ALANO CLUB OF PARADISE
6835 SCHAENEMAN, BRENT
6839 EISENBATH, TONY
6853 YEOMAN, JOHN C
6854 SPORTHAVEN HEALTH CLUB
6881 LACOURSE, MAE Y
6886 OCCUPANT UNKNOWNN
6888 CHRISTENSEN, DONALD L
6889 ERICKSON, BEN
6890 MATHIESON, KENNETH
6920 RYAN, RICHARD
6930 DRAKE, FRANCIS M
6933 CARPER, RICHARD
CHRISTIAN CHURCH OF PARADISE
PARADISE CHRISTIAN CHURCH ACAD
6947 COVERT, JOSEPH
6952 PETKUS, LEAH
6955 OCCUPANT UNKNOWNN
6962 HEGENBART, PAUL
6975 PARADISE RIDGE SOUTHERN BAPT
6983 MODRELL, GARY W
7029 OCCUPANT UNKNOWNN
7035 ADAMS, E E
DUNLAP, IRA J
DYKEMAN, IVA
FRENCH, HENRY
GUICHARD, VIOLA M
HALL, ARTHUR R
HANSEN, WILLIAM R
HASTY, MARY E
HUTCHISON, CHARLES E
MAHONEY, CHARLES R
MULLINS, FRED
NEEL, RICHARD H
NYY, T E
PEPPAS, THOMAS S
READ, VERNIE E
ROBERTSON, F E
TROTTER, VIRDA M
WILLIAMS, R L
YARBROUGH, A M
7050 NOBLE ORCHARD CO
NOBLE, JAMES
7055 COWEE, MERRILL S
7070 MENZELAAR, ALMA V



-

PENTZ RD

1995

(Cont'd)

7075 KELLER, EDGAR
7080 HANFORD, PETER
7083 LINEBARGER, WILLIAM
7091 PAYNE, GEORGE
7093 CERVANTES, PETER A
7100 DESMOND, THELMA F

APPLE VIEW WAY 1992

1801 WALL, JAMES D
1807 NIELSEN, RICK
1819 DOLESHAL, DOROTHY
1825 MASUEN, EMERAN A
1831 WRIGHT, LARRY R

PENTZ RD 1992

6820	ROBINSON, PAUL
6830	ALANO CLUB OF PRDSE ALCOHOLICS ANONYMS
6839	YEOMAN, GLEN L
6854	SPORTHAVEN HLTH CLB
6888	CHRISTENSEN, DONALD L
6889	ERICKSON, BEN
6930	DRAKE, FRANCIS M
6933	CARPER, RICHARD PARADISE CHRISTN CH
6947	COVERT, JOSEPH
6952	BEAVER, ROBERT
6955	ANDERSON, EUGENE
6962	HEGENBART, PAUL
6975	PARADISE RIDGE BAPT
7035	ADAMS, E E BUCK, PERRY M DYKEMAN, I GUICHARD, VIOLA M HALL, ARTHUR R MATTHEWS, WILLIAM L NYY, T E READ, VERNIE E ROBERTSON, F E YARBOROUGH, A M
7050	NOBLE ORCHARD CO NOBLE, JAMES
7055	PIRRUCCELLO, JOE
7070	MENZELAAR, ALMA V
7075	KELLER, EDGAR
7083	LINEBARGER, WILLIAM
7091	PAYNE, GEORGE
7093	GIBSON, STEVEN
7100	DESMOND, SAM Z

APPLE VIEW WAY 1986

APPLE VIEW WAY 95969
PARADISE

1825	BURNS LEE ANNE	877-8061
	BURNS MARK	877-8061
1886	BUILT WRIGHT CONSTR	877-5288
	WRIGHT LARRY R	877-5285
★	2 BUS	2 RES

PENTZ RD 1986

6753	MOLINE STANLEY R	877-2696
5800	FAY M	872-2764
6820	SMITH EDWARD B	877-8236
6830	ALAMO CLUB OF PROSE	872-9981
6835	YEOMAN C E	877-4836
6839	YEOMAN GLEN L	877-2089
6853	YEOMAN JOHN C	872-5043
	YEOMAN VERNA	872-5043
6854	SPORTHAVEN HLTH CLS	872-2232
6886	KELLEY PENNI	872-5181
6900	LAGERQUIST GUST	877-7037
6920	DRICKEY DAVID	872-2189
	DRICKEY DONNA	872-2189
6930	DRAKE FRANCIS M	877-6220
6933	CHRISTIAN CH PARDBE	877-7378
	PARADISE CHRISTH CH	877-7378
	SERL T	877-8679
6942	BARNES JUDY	872-8262
	BARNES LARRY	872-8262
6947	COVERT JOSEPH	877-5878
6955	ANDERSON EUGENE	877-7460
6975	PARADISE RIDGE BAPT	877-7391
7029	ARCHER ROXANNE	877-1746
7035.....	APARTMENTS	
	ADAMS E E	877-6508
	BROWN RUTH	877-3793
	BUCK PERRY M	872-0728
	DUNLAP IRA J	877-5540
	DYKEMAN IVA DELL	877-9749
	DYKEMAN RALPH	877-9749
	FEIL G	872-9353
	FRENCH HENRY	877-8140
	GUICHARD V M	877-8685
	HALL ARTHUR R	877-5831
	HANSEN S R	877-7645
	HANSEN WILLIAM R	877-8761
	HASTY MARY E	872-3063
	HUTCHISON CHARLES E	872-8349
	LINK EDWARD E	877-9020
	LONGE J V	872-1645
	MAHONEY CHAS R	872-4238
	MCGRAUDY E L	877-6427
	MOORE HARVEY O	877-0217
	MULLINS FRED	872-1658
	NEEL RICHARD H	877-1619
	NUDSON ILENE	872-2378
	NUDSON TOM	872-2378
	PEPPAS THOMAS S	877-9493
	PETERSON HELEN B	877-3392
	READ V E	877-9933
	RONCHETTI A	877-1070
	ROOS FRANK	872-1508
	STRATTON G M	877-8539

PENTZ RD 1986

PENTZ RD		95969 CONT
	VERZI L	877-8148
7035	.....
7050	NOBLE JAMES	877-8399
	NOBLE ORCHARD CO	877-4754
	NOBLE VINCENT	877-4794
7055	PIRRUCCELLO JOE	872-8426
7070	MENZELAAR ALMA V	877-9265
7075	KELLER EDGAR	877-2859
7080	HANFORD ELLA	877-7360
7083	NOBLE WILLIAM J	872-1693
7091	PAYNE GEORGE	877-9231
7093	COHN ED	872-2198
	COHN ROEENA	872-2198
7100	DESMOND SAM Z	877-8159
7104	CLANK E	877-5430

APPENDIX E

USER QUESTIONNAIRE AND TITLE REPORT

PHASE I ESA - USER QUESTIONNAIRE

KCE Matrix, Inc.

Site Address, APN, etc.: 6983 PENTZ RD (APN 050-082-023), PARADISE, CA 95969

In order to qualify for one of the *Landowner Liability Protections (LLPs)* offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the "*Brownfields Amendments*"), the *user* must provide the following information (if available) to the *environmental professional*. Failure to provide this information could result in a determination that "*all appropriate inquiry*" is not complete.

1. Environmental cleanup liens that are filed or recorded against the site

Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

No Yes, please explain _____

2. Activity and land use limitations that are in place on the site or that have been filed or recorded in a registry

Are you aware of any Activity and Use Limitations (AULs), such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

No Yes, please explain Land Use Zoning & Conditional Use Permit

3. Specialized knowledge or experience of the person seeking to qualify for the LLP

As the *user* of this *ESA*, do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

No Yes, please explain _____

4. Relationship of the purchase price to the fair market value of the *property* if it were not contaminated

Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*?

Yes No, there is a difference between the purchase price and the fair market value

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

please explain _____

5. Commonly known or reasonably ascertainable information about the *property*

Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*,

(a.) Do you know the past uses of the *property*?

No Yes, please explain house and orchard

- current use: temporary lay-down yard for utility

(b.) Do you know of specific chemicals that are present or once were present at the *property*?

No Yes, please explain _____

(c.) Do you know of spills or other chemical releases that have taken place at the *property*?

No Yes, please explain _____

(d.) Do you know of any environmental cleanups that have taken place at the *property*?

No Yes, please explain _____

6. The degree of obviousness of the presence of likely presence of contamination at the *property*, and the ability to detect the contamination by appropriate investigation

As the *user* of this *ESA*, based on your knowledge and experience related to the *property*, are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

No Yes, please explain _____

Note: *Landowner Liability Protections*, or *LLPs*, is the term used to describe the three types of potential defenses to Superfund liability in EPA's *Interim Guidance Regarding Criteria Landowners Must Meet in Order to Qualify for Bona Fide Prospective Purchaser, Contiguous Property Owner, or Innocent Landowner Limitations on CERCLA Liability* ("Common Elements" Guide) issued on March 6, 2003.

PHASE I ESA - USER QUESTIONNAIRE

KCE Matrix, Inc.

In addition, certain information should be collected, if available, and provided to *KCE Matrix, Inc.* to conduct the Phase I Environmental Site Assessment. This information is intended to assist *KCE Matrix, Inc.* but is not necessarily required to qualify for one of the *LLPs*. The information includes:

(a) The reason why the Phase I Environmental Site Assessment is required,

buyer due diligence

(b) The type of *property* and type of *property* transaction, for example, sale, purchase, exchange, etc.,

sale

(c) The complete and correct address for the *property* (a map or other documentation showing *property* location and boundaries is helpful)

6983 Pentz Road Paradise CA 95969

(d) The scope of services desired for the Phase I (including whether any parties to the *property* transaction may have a required standard scope of services or whether any considerations beyond the requirements of Practice E 1527 are to be considered),

—

(e) Identification of all parties who will rely on the Phase I *report*,

—

(f) Identification of the site contact and how the contact can be reached,

William "Bill" Martin (530) 520-5170 cell

(g) Any special terms and conditions which must be agreed upon by the *environmental professional*

—

(h) Any other knowledge or experience with the *property* that may be pertinent to the *environmental professional* for example, copies of any available prior *environmental site assessment reports*, documents, correspondence, etc., concerning the *property* and its environmental condition).

—

PHASE I ESA - USER QUESTIONNAIRE

KCE Matrix, Inc.

Vapor Encroachment Screening Section

1. Property Type:

- Commercial Industrial Multi Tenant Vacant Land

2. Are there any building/structures on the property?

- No Unknown Yes, type construction _____
-

3. Will buildings/structures be constructed on the property in the future?

- No Unknown Yes, type construction _____
-

4. If buildings exist or are proposed, do/will they have elevators?

- Yes No

5. Type of level below grade (existing or proposed)?

- Full Basement Crawl Space Slab on Grade Parking Garage Multi-Level

6. Ventilation in level below grade?

- Yes No Unknown

7. Sump pumps, floor drains, or trenches (existing or proposed)?

- Yes No Unknown

8. Radon or methane mitigation system installed?

- Yes No Unknown

9. Heating system type? (existing or proposed)? (CHECK ALL THAT APPLY)

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Hot Air Circulation | <input type="checkbox"/> Electric Baseboard | <input type="checkbox"/> Hot Air Radiation | <input type="checkbox"/> Heat Pump |
| <input type="checkbox"/> Hot Water Radiation | <input type="checkbox"/> Wood Stove | <input type="checkbox"/> Kerosene Heater | <input type="checkbox"/> Steam Radiation |
| <input type="checkbox"/> Fireplace | <input type="checkbox"/> Coal Furnace | <input type="checkbox"/> Radiant Floor Heat | <input type="checkbox"/> Hot Water Circulation |
| <input type="checkbox"/> Fuel Oil Furnace | <input type="checkbox"/> Gas Furnace | <input type="checkbox"/> Other | |

10. Type of fuel energy? (existing or proposed)? (CHECK ALL THAT APPLY)

- | | | | |
|--------------------------------------|-----------------------------------|----------------------------------|-----------------------------------|
| <input type="checkbox"/> Natural Gas | <input type="checkbox"/> Electric | <input type="checkbox"/> Propane | <input type="checkbox"/> Fuel Oil |
| <input type="checkbox"/> Kerosene | <input type="checkbox"/> Wood | <input type="checkbox"/> Coal | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Other | | | |

11. Have there ever been any environmental problems at the property?

- No Unknown Yes, describe _____
-

12. Does/will a gas station or dry cleaner operate anywhere on the property?

- Yes No Unknown

13. Do any tenants use hazardous chemicals in relatively large quantities on the property?

- No Unknown Yes, describe _____
-

PHASE I ESA - USER QUESTIONNAIRE

KCE Matrix, Inc.

Vapor Encroachment Screening Section Continued:

14. Have any tenants ever complained about odors in the building or experienced health related problems that may have been associated with the building?
 Yes No Unknown
15. Are the operations (or proposed operations to be performed) on the property OSHA regulated?
 Yes No Unknown
16. Are there any existing or proposed underground storage tanks (USTs) or above ground storage tanks (ASTs)?
 Yes No Unknown *1 septic tank*
17. Are there any sensitive receptors (for example, children, elderly, people in poor health, and so forth) that occupy or will occupy the property?
 Yes No Unknown

Print Name: William Bill Martin

Date: 10-28-22



First American Title

First American Title Company

211 East Caldwell Avenue
Visalia, CA 93277

California Department of Insurance License No. 151

Escrow Officer: Ann Kay
Phone: (559)635-6803
Fax No.: (866)590-2167
E-Mail: akay@firstam.com

E-Mail Loan Documents to: Lenders please contact the Escrow Officer for email address for sending loan documents.

Buyer: Pacific West Communities, Inc.
Owner: The Jay and Joyce Powell Family Trust
Property: 6983 Pentz Road
Paradise, CA 95969

PRELIMINARY REPORT

In response to the above referenced application for a policy of title insurance, this company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Exhibit A attached. *The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties.* Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Exhibit A. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

Please be advised that any provision contained in this document, or in a document that is attached, linked or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable by law.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated as of October 12, 2022 at 7:30 A.M.

The form of Policy of title insurance contemplated by this report is:

To Be Determined

A specific request should be made if another form or additional coverage is desired.

Title to said estate or interest at the date hereof is vested in:

JOYCE L. POWELL, TRUSTEE, SURVIVOR'S TRUST UNDER THE JAY AND JOYCE POWELL FAMILY TRUST DATED JANUARY 22, 2002

The estate or interest in the land hereinafter described or referred to covered by this Report is:

FEE

The Land referred to herein is described as follows:

(See attached Legal Description)

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in said policy form would be as follows:

1. General and special taxes and assessments for the fiscal year 2022-2023.

First Installment:	\$295.89, OPEN
Penalty:	\$0.00
Second Installment:	\$295.89, OPEN
Penalty:	\$0.00
Tax Rate Area:	005001
A. P. No.:	050-082-023-000

2. The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.
3. The herein described land lies within the bounds of Paradise Irrigation District. Note: For any amounts due, contact: Paradise Irrigation District 5325 Black Olive Drive Paradise, CA 95969 Phone: 530 877-4971
4. The herein described land lies within the bounds of Wastewater Design Assessment District, town of Paradise, as contained in Document Recorded December 28, 1990, under Butte County Recorder's Serial No. [90-55251](#). Note: For Assumption or Payoff Figures call Town of Paradise, two (2) weeks prior to close of escrow. Phone: 530 872-6291 Amendment thereof Recorded July 16, 1991, under Butte County Recorder's Serial No. [91- 28799](#).

5. An easement for ROAD PURPOSES and incidental purposes in the document recorded JANUARY 14, 1960 as [BOOK 1038, PAGE 519](#) of Official Records.

The location of the easement cannot be determined from record information.

6. Rights of the public in and to that portion of the land lying within any Road, Street, Alley or Highway.
7. Water rights, claims or title to water, whether or not shown by the Public Records.
8. Rights of parties in possession.

Prior to the issuance of any policy of title insurance, the Company will require:

9. With respect to the trust referred to in the vesting:
 - a. A certification pursuant to Section 18100.5 of the California Probate Code in a form satisfactory to the Company.
 - b. Copies of those excerpts from the original trust documents and amendments thereto which designate the trustee and confer upon the trustee the power to act in the pending transaction.
 - c. Other requirements which the Company may impose following its review of the material required herein and other information which the Company may require.

INFORMATIONAL NOTES

Note: The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than the certain dollar amount set forth in any applicable arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. If you desire to review the terms of the policy, including any arbitration clause that may be included, contact the office that issued this Commitment or Report to obtain a sample of the policy jacket for the policy that is to be issued in connection with your transaction.

1. The property covered by this report is vacant land.
2. According to the public records, there has been no conveyance of the land within a period of twenty-four months prior to the date of this report, except as follows:

None
3. We find no outstanding voluntary liens of record affecting subject property. Disclosure should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any possible security interest in the subject property.

The map attached, if any, may or may not be a survey of the land depicted hereon. First American expressly disclaims any liability for loss or damage which may result from reliance on this map except to the extent coverage for such loss or damage is expressly provided by the terms and provisions of the title insurance policy, if any, to which this map is attached.

LEGAL DESCRIPTION

Real property in the Town of Paradise, County of Butte, State of California, described as follows:

A PORTION OF LOT 41, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "OFFICIAL MAP OF THE SUBDIVISION OF SECTION 1, TOWNSHIP 22 NORTH, RANGE 3 EAST, MDM", WHICH MAP WAS RECORDED IN THE OFFICE OF THE RECORDER OF THE COUNTY OF BUTTE, STATE OF CALIFORNIA, ON JUNE 12, 1922, IN [BOOK "A" OF MAPS, AT PAGE\(S\) 12](#) AND 13, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 41; THENCE SOUTH 89 DEG. 40' WEST, 30 FEET TO A POINT IN THE WESTERLY LINE OF PENTZ ROAD, AS SHOWN ON SAID MAP AND THE TRUE POINT OF BEGINNING FOR THE PARCEL TO BE DESCRIBED; THENCE SOUTH 0 DEG. 09' EAST ALONG THE WESTERLY LINE OF SAID ROAD, A DISTANCE OF 185.0 FEET; THENCE LEAVING SAID ROAD, SOUTH 89 DEG. 40' WEST, 392.0 FEET; THENCE NORTH 0 DEG. 09' WEST, A DISTANCE OF 185.0 FEET TO A POINT IN THE NORTHERLY LINE OF SAID LOT 41; THENCE NORTH 89 DEG. 40' EAST ALONG SAID NORTHERLY LINE, A DISTANCE OF 392.0 FEET TO THE POINT OF BEGINNING.

APN: 050-082-023-000

NOTICE

Section 12413.1 of the California Insurance Code, effective January 1, 1990, requires that any title insurance company, underwritten title company, or controlled escrow company handling funds in an escrow or sub-escrow capacity, wait a specified number of days after depositing funds, before recording any documents in connection with the transaction or disbursing funds. This statute allows for funds deposited by wire transfer to be disbursed the same day as deposit. In the case of cashier's checks or certified checks, funds may be disbursed the next day after deposit. In order to avoid unnecessary delays of three to seven days, or more, please use wire transfer, cashier's checks, or certified checks whenever possible.

EXHIBIT A
LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS (BY POLICY TYPE)

CLTA STANDARD COVERAGE POLICY – 1990
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate of interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material unless such lien is shown by the public records at Date of Policy.

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13)
EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - a. building;

- b. zoning;
 - c. land use;
 - d. improvements on the Land;
 - e. land division; and
 - f. environmental protection.
- This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.
2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
 3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
 4. Risks:
 - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - c. that result in no loss to You; or
 - d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
 5. Failure to pay value for Your Title.
 6. Lack of a right:
 - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - b. in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
 7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.
 8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
 9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:
For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.
The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
Covered Risk 16:	1% of Policy Amount Shown in Schedule A or \$2,500 (whichever is less)	\$10,000
Covered Risk 18:	1% of Policy Amount Shown in Schedule A or \$5,000 (whichever is less)	\$25,000
Covered Risk 19:	1% of Policy Amount Shown in Schedule A or \$5,000 (whichever is less)	\$25,000
Covered Risk 21:	1% of Policy Amount Shown in Schedule A or \$2,500 (whichever is less)	\$5,000

2006 ALTA LOAN POLICY (06-17-06)
EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;

or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.

2. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.

3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

[Except as provided in Schedule B - Part II, [t[or T]his policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses, that arise by reason of:

[PART I

[The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material unless such lien is shown by the Public Records at Date of Policy.

PART II

In addition to the matters set forth in Part I of this Schedule, the Title is subject to the following matters, and the Company insures against loss or damage sustained in the event that they are not subordinate to the lien of the Insured Mortgage:]

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;

or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.

- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
 3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 or 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
 5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses, that arise by reason of: [The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material unless such lien is shown by the Public Records at Date of Policy.
7. [Variable exceptions such as taxes, easements, CC&R's, etc. shown here.]

ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (07-26-10)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;

or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.

(b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.

2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11,

- 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 28); or
(e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
 5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
 6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
 7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11(b) or 25.
 8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
 9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.
 10. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
 11. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

APPENDIX F

SITE PHOTOGRAPHS







































APPENDIX G

VAPOR ENCROACHMENT SCREEN

Vacant Land

6983 PENTZ RD APN 050-082-023

PARADISE, CA 95969

Inquiry Number: 7158980.2s

October 25, 2022

EDR Vapor Encroachment Screen

Prepared using EDR's Vapor Encroachment Worksheet

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Primary Map	2
Secondary Map	3
Map Findings	4
Record Sources and Currency	GR-1

Thank you for your business.
 Please contact EDR at 1-800-352-0050
 with any questions or comments.

Disclaimer - Copyright and Trademark Notice

The EDR Vapor Encroachment Worksheet enables EDR's customers to make certain online modifications that effects maps, text and calculations contained in this Report. As a result, maps, text and calculations contained in this Report may have been so modified. EDR has not taken any action to verify any such modifications, and this report and the findings set forth herein must be read in light of this fact. Environmental Data Resources shall not be responsible for any customer's decision to include or not include in any final report any records determined to be within the relevant minimum search distances.

This report contains information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OR DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.**

Purchaser accepts this report "AS IS". Any analyses, estimates, ratings, or risk codes provided in this report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can produce information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2022 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

A search of available environmental records was conducted by EDR. The report was designed to assist parties seeking to meet the search requirements of the ASTM Standard Practice for Assessment of Vapor Encroachment into Structures on Property Involved in Real Estate Transactions (E 2600).

STANDARD ENVIRONMENTAL RECORDS	Default Area of Concern (Miles)*	property	1/10	> 1/10
Lists of Federal NPL (Superfund) sites	1.0	0	0	0
Lists of Federal Delisted NPL sites	1.0	0	0	0
Lists of Federal sites subject to CERCLA removals and CERCLA orders	0.5	0	0	0
Lists of Federal CERCLA sites with NFRAP	0.5	0	0	0
Lists of Federal RCRA facilities undergoing Corrective Action	1.0	0	0	0
Lists of Federal RCRA TSD facilities	0.5	0	0	0
Lists of Federal RCRA generators	0.25	0	0	0
Federal institutional controls / engineering controls registries	0.5	0	0	0
Federal ERNS list	0.001	0	0	-
Lists of state- and tribal (Superfund) equivalent sites	1.0	0	0	0
Lists of state- and tribal hazardous waste facilities	1.0	0	0	0
Lists of state and tribal landfills and solid waste disposal facilities	0.5	0	0	0
Lists of state and tribal leaking storage tanks	0.5	0	0	0
Lists of state and tribal registered storage tanks	0.25	0	1	0
State and tribal institutional control / engineering control registries	not searched	-	-	-
Lists of state and tribal voluntary cleanup sites	0.5	0	0	0
Lists of state and tribal brownfield sites	0.5	0	0	0

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists	0.5	0	0	0
Local Lists of Landfill / Solid Waste Disposal Sites	0.5	0	0	0
Local Lists of Hazardous waste / Contaminated Sites	1.0	0	0	0
Local Lists of Registered Storage Tanks	0.25	0	2	0
Local Land Records	0.5	0	0	0
Records of Emergency Release Reports	0.5	0	0	0
Other Ascertainable Records	1.0	0	0	0

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records	1.0	0	0	0
Exclusive Recovered Govt. Archives	0.001	0	0	-

EXECUTIVE SUMMARY

EDR RECOVERED GOVERNMENT ARCHIVES

EDR Exclusive Records	1.0	0	0	0
Exclusive Recovered Govt. Archives	0.001	0	0	-

*The Default Area of Concern may be adjusted by the environmental professional using experience and professional judgement. Each category may include several databases, and each database may have a different distance. A list of individual databases is provided at the back of this report.

EXECUTIVE SUMMARY

TARGET PROPERTY INFORMATION

ADDRESS

VACANT LAND
6983 PENTZ RD APN 050-082-023
PARADISE, CA 95969

COORDINATES

Latitude (North): 39.788446 - 39° 47' 18.400269"
Longitude (West): 121.580404 - 121° 34' 49.46228"
Elevation: 2203 ft. above sea level

EXECUTIVE SUMMARY

SEARCH RESULTS

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
NOBLE ORCHARD UST: UST SWEEPS UST: SWEEPS UST HIST UST: HIST UST	7050 PENTZ RD	<1/10 NNE	▲ A1	8

ADDITIONAL ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
NOBLE ORCHARD UST: UST SWEEPS UST: SWEEPS UST HIST UST: HIST UST	7050 PENTZ RD	<1/10 NNE	▲ A1	8
NOBLE ORCHARD CA FID UST: CA FID UST	7050 PENTZ RD	<1/10 NNE	▲ A2	8

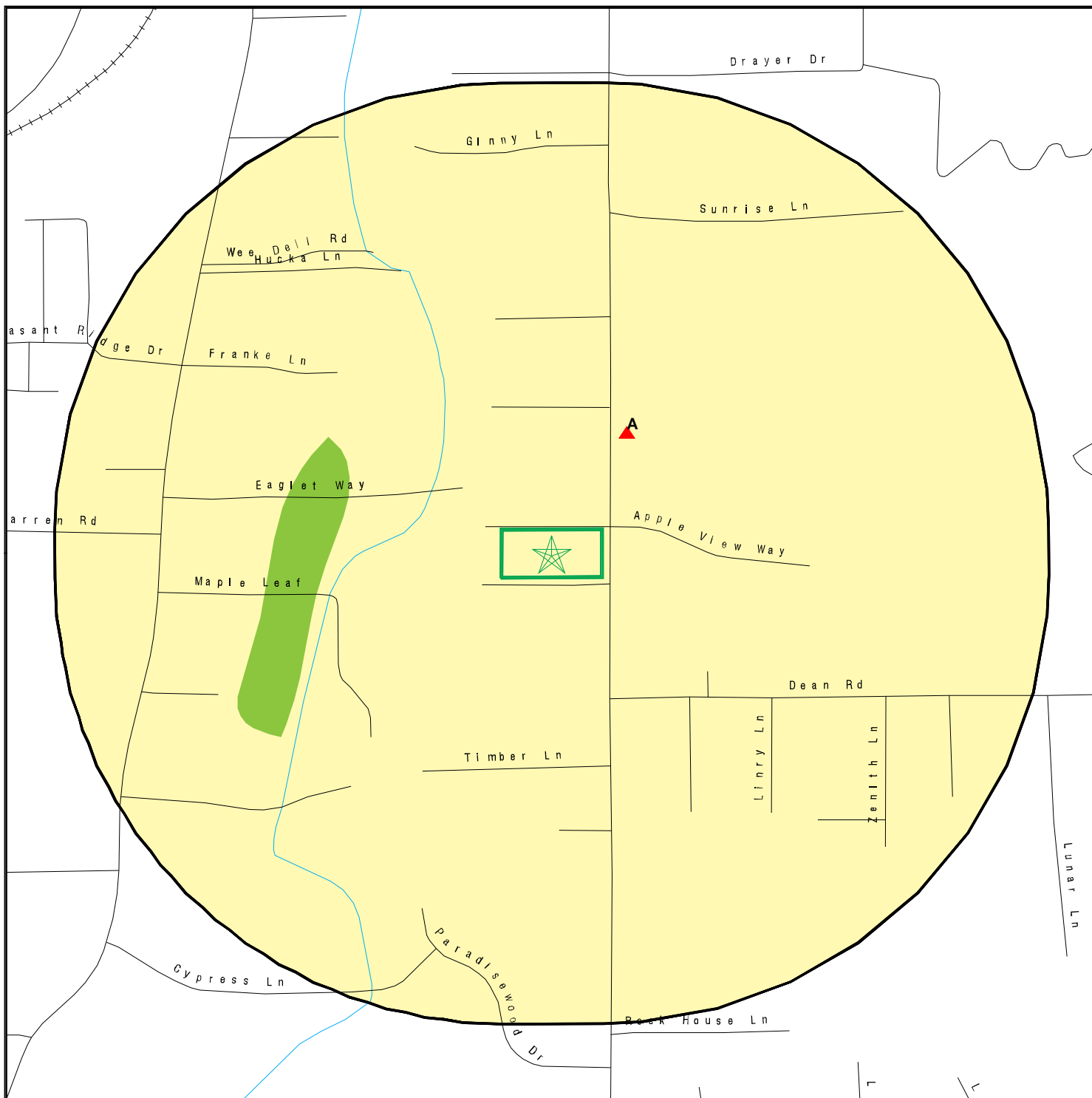
EDR HIGH RISK HISTORICAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
Not Reported				

EDR RECOVERED GOVERNMENT ARCHIVES

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
Not Reported				

PRIMARY MAP - 7158980.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites



Indian Reservations BIA

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

Areas of Concern

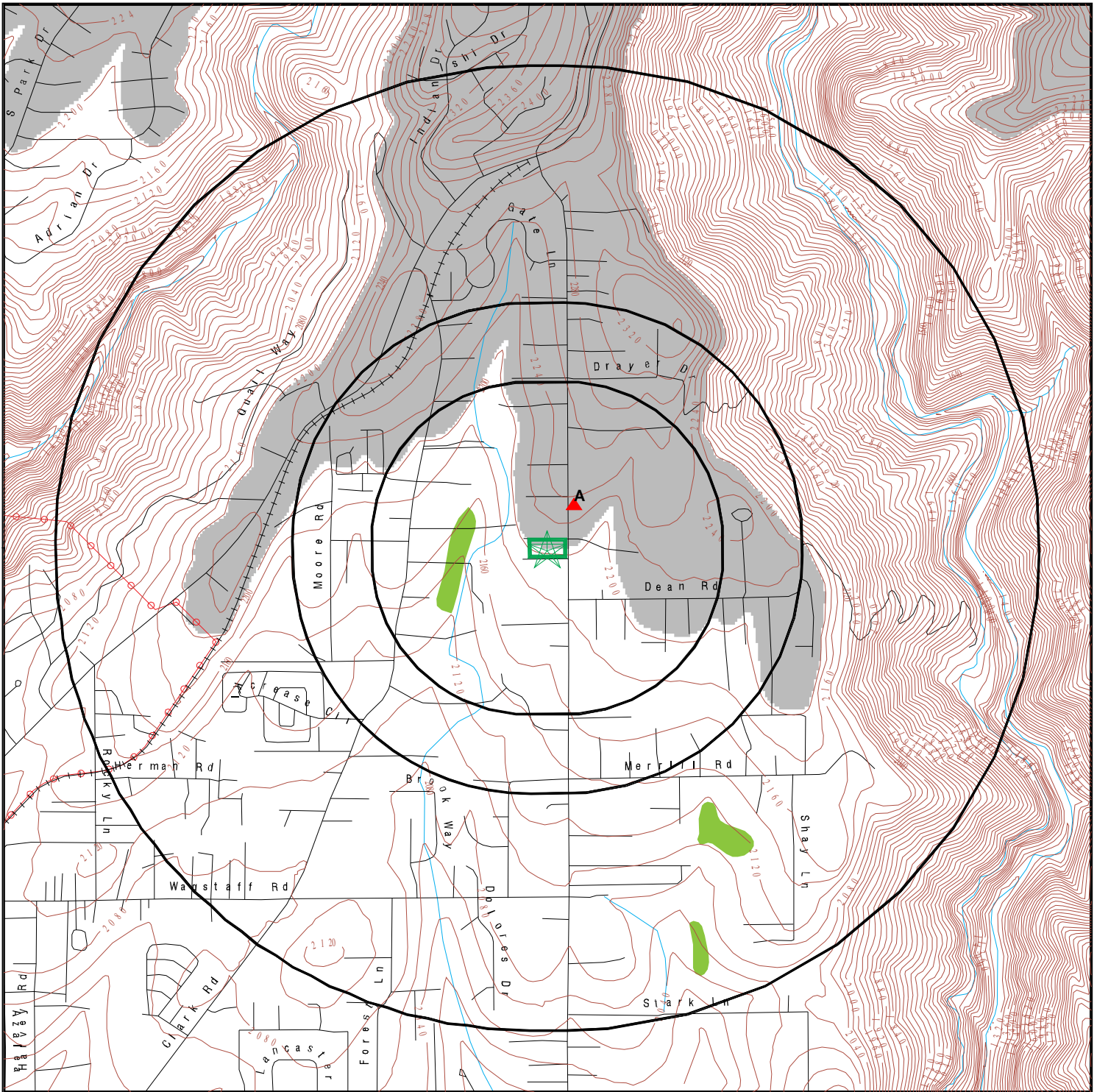


This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.


SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE CA 95969
 LAT/LONG: 39.788446 / 121.580404


CLIENT: KCE Matrix
 CONTACT: Aram Kaloustian
 INQUIRY #: 7158980.2s
 DATE: October 25, 2022 2:56 pm

SECONDARY MAP - 7158980.2S



 Target Property

 Sites at elevations higher than or equal to the target property

 Sites at elevations lower than the target property


 Manufactured Gas Plants


 National Priority List Sites

 Dept. Defense Sites

 Indian Reservations BIA

 Power transmission lines


 Special Flood Hazard Area (1%)

 0.2% Annual Chance Flood Hazard

 National Wetland Inventory

 State Wetlands

 Upgradient Area

 Areas of Concern



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Vacant Land
 ADDRESS: 6983 PENTZ RD APN 050-082-023
 PARADISE CA 95969
 LAT/LONG: 39.788446 / 121.580404

CLIENT: KCE Matrix
 CONTACT: Aram Kaloustian
 INQUIRY #: 7158980.2s
 DATE: October 25, 2022 2:55 pm

MAP FINDINGS

LEGEND

FACILITY NAME FACILITY ADDRESS, CITY, ST, ZIP		EDR SITE ID NUMBER	
◆ MAP ID#	Direction Distance Range	(Distance feet / miles)	ASTM 2600 Record Sources found in this report. Each database searched has been assigned to one or more categories. For detailed information about categorization, see the section of the report Records Searched and Currency.
	Relative Elevation	Feet Above Sea Level	
Worksheet:			
Comments: Comments may be added on the online Vapor Encroachment Worksheet.			

DATABASE ACRONYM: Applicable categories (A hoverbox with database description).

NOBLE ORCHARD 7050 PENTZ RD, PARADISE, CA, 95969		U001617854	
▲ A1	NNE <1/10	(385 ft. / 0.073 mi.)	Lists of state and tribal registered storage tanks Local Lists of Registered Storage Tanks
	30 ft. Higher Elevation	2233 ft. Above Sea Level	

Worksheet:

Impact on Target Property: Undetermined

NOBLE ORCHARD 7050 PENTZ RD, PARADISE, CA, 95969		S101629020	
▲ A2	NNE <1/10	(385 ft. / 0.073 mi.)	Local Lists of Registered Storage Tanks
	30 ft. Higher Elevation	2233 ft. Above Sea Level	

Worksheet:

Impact on Target Property: Undetermined

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
ENVIRONMENTAL RECORDS						
Federal NPL site list						
US	NPL	National Priority List	EPA	07/26/2022	08/02/2022	08/22/2022
US	Proposed NPL	Proposed National Priority List Sites	EPA	07/26/2022	08/02/2022	08/22/2022
US	NPL LIENS	Federal Superfund Liens	EPA	10/15/1991	02/02/1994	03/30/1994
Federal CERCLIS list						
US	SEMS	Superfund Enterprise Management System	EPA	07/26/2022	08/02/2022	08/22/2022
Federal RCRA CORRACTS facilities list						
US	CORRACTS	Corrective Action Report	EPA	06/20/2022	06/21/2022	06/28/2022
Federal RCRA TSD facilities list						
US	RCRA-TSDF	RCRA - Treatment, Storage and Disposal	Environmental Protection Agency	06/20/2022	06/21/2022	06/28/2022
Federal RCRA generators list						
US	RCRA-LQG	RCRA - Large Quantity Generators	Environmental Protection Agency	06/20/2022	06/21/2022	06/28/2022
US	RCRA-SQG	RCRA - Small Quantity Generators	Environmental Protection Agency	06/20/2022	06/21/2022	06/28/2022
US	RCRA-VSQG	RCRA - Very Small Quantity Generators (Formerly Conditionall	Environmental Protection Agency	06/20/2022	06/21/2022	06/28/2022
Federal institutional controls / engineering controls registries						
US	LUCIS	Land Use Control Information System	Department of the Navy	08/16/2022	08/22/2022	10/24/2022
US	US ENG CONTROLS	Engineering Controls Sites List	Environmental Protection Agency	08/15/2022	08/17/2022	10/24/2022
US	US INST CONTROLS	Institutional Controls Sites List	Environmental Protection Agency	08/15/2022	08/17/2022	10/24/2022
Federal ERNS list						
US	ERNS	Emergency Response Notification System	National Response Center, United States Coast	06/14/2022	06/15/2022	06/21/2022
State and tribal - equivalent NPL						
CA	RESPONSE	State Response Sites	Department of Toxic Substances Control	07/25/2022	07/25/2022	10/05/2022
State and tribal - equivalent CERCLIS						
CA	ENVIROSTOR	EnviroStor Database	Department of Toxic Substances Control	07/25/2022	07/25/2022	10/05/2022
State and tribal landfill / solid waste disposal						
CA	SWF/LF (SWIS)	Solid Waste Information System	Department of Resources Recycling and Recover	08/08/2022	08/08/2022	10/20/2022
State and tribal leaking storage tank lists						
CA	LUST REG 3	Leaking Underground Storage Tank Database	California Regional Water Quality Control Boa	05/19/2003	05/19/2003	06/02/2003
CA	LUST REG 4	Underground Storage Tank Leak List	California Regional Water Quality Control Boa	09/07/2004	09/07/2004	10/12/2004
CA	LUST REG 5	Leaking Underground Storage Tank Database	California Regional Water Quality Control Boa	07/01/2008	07/22/2008	07/31/2008
CA	LUST REG 7	Leaking Underground Storage Tank Case Listing	California Regional Water Quality Control Boa	02/26/2004	02/26/2004	03/24/2004
CA	LUST REG 8	Leaking Underground Storage Tanks	California Regional Water Quality Control Boa	02/14/2005	02/15/2005	03/28/2005
CA	LUST REG 2	Fuel Leak List	California Regional Water Quality Control Boa	09/30/2004	10/20/2004	11/19/2004
CA	LUST REG 1	Active Toxic Site Investigation	California Regional Water Quality Control Boa	02/01/2001	02/28/2001	03/29/2001

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
CA	LUST REG 6V	Leaking Underground Storage Tank Case Listing	California Regional Water Quality Control Boa	06/07/2005	06/07/2005	06/29/2005
CA	LUST	Leaking Underground Fuel Tank Report (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	05/24/2022
CA	LUST REG 6L	Leaking Underground Storage Tank Case Listing	California Regional Water Quality Control Boa	09/09/2003	09/10/2003	10/07/2003
CA	LUST REG 9	Leaking Underground Storage Tank Report	California Regional Water Quality Control Boa	03/01/2001	04/23/2001	05/21/2001
US	INDIAN LUST R9	Leaking Underground Storage Tanks on Indian Land	Environmental Protection Agency	04/08/2022	06/13/2022	08/16/2022
US	INDIAN LUST R1	Leaking Underground Storage Tanks on Indian Land	EPA Region 1	04/28/2021	06/11/2021	09/07/2021
US	INDIAN LUST R7	Leaking Underground Storage Tanks on Indian Land	EPA Region 7	04/14/2022	06/13/2022	08/16/2022
US	INDIAN LUST R8	Leaking Underground Storage Tanks on Indian Land	EPA Region 8	04/20/2022	06/13/2022	08/16/2022
US	INDIAN LUST R10	Leaking Underground Storage Tanks on Indian Land	EPA Region 10	04/20/2022	06/13/2022	08/16/2022
US	INDIAN LUST R6	Leaking Underground Storage Tanks on Indian Land	EPA Region 6	04/28/2022	06/13/2022	08/16/2022
US	INDIAN LUST R4	Leaking Underground Storage Tanks on Indian Land	EPA Region 4	06/02/2022	06/13/2022	08/31/2022
US	INDIAN LUST R5	Leaking Underground Storage Tanks on Indian Land	EPA, Region 5	04/11/2022	06/13/2022	08/16/2022
CA	CPS-SLIC	Statewide SLIC Cases (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	05/24/2022
CA	SLIC REG 1	Active Toxic Site Investigations	California Regional Water Quality Control Boa	04/03/2003	04/07/2003	04/25/2003
CA	SLIC REG 2	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Regional Water Quality Control Board San Fran	09/30/2004	10/20/2004	11/19/2004
CA	SLIC REG 3	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	California Regional Water Quality Control Boa	05/18/2006	05/18/2006	06/15/2006
CA	SLIC REG 4	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Region Water Quality Control Board Los Angele	11/17/2004	11/18/2004	01/04/2005
CA	SLIC REG 5	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Regional Water Quality Control Board Central	04/01/2005	04/05/2005	04/21/2005
CA	SLIC REG 6V	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	Regional Water Quality Control Board, Victorv	05/24/2005	05/25/2005	06/16/2005
CA	SLIC REG 6L	SLIC Sites	California Regional Water Quality Control Boa	09/07/2004	09/07/2004	10/12/2004
CA	SLIC REG 7	SLIC List	California Regional Quality Control Board, Co	11/24/2004	11/29/2004	01/04/2005
CA	SLIC REG 8	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	California Region Water Quality Control Board	04/03/2008	04/03/2008	04/14/2008
CA	SLIC REG 9	Spills, Leaks, Investigation & Cleanup Cost Recovery Listing	California Regional Water Quality Control Boa	09/10/2007	09/11/2007	09/28/2007
State and tribal registered storage tank lists						
CA	UST	Active UST Facilities	SWRCB	06/06/2022	06/07/2022	08/24/2022
CA	UST CLOSURE	Proposed Closure of Underground Storage Tank (UST) Cases	State Water Resources Control Board	06/01/2022	06/09/2022	08/26/2022
CA	MILITARY UST SITES	Military UST Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
CA	AST	Aboveground Petroleum Storage Tank Facilities	California Environmental Protection Agency	07/06/2016	07/12/2016	09/19/2016
US	INDIAN UST R4	Underground Storage Tanks on Indian Land	EPA Region 4	06/02/2022	06/13/2022	08/31/2022
US	INDIAN UST R10	Underground Storage Tanks on Indian Land	EPA Region 10	04/20/2022	06/13/2022	08/16/2022
US	INDIAN UST R7	Underground Storage Tanks on Indian Land	EPA Region 7	04/14/2022	06/13/2022	08/16/2022
US	INDIAN UST R8	Underground Storage Tanks on Indian Land	EPA Region 8	04/20/2022	06/13/2022	08/16/2022
US	INDIAN UST R9	Underground Storage Tanks on Indian Land	EPA Region 9	04/08/2022	06/13/2022	08/16/2022
US	INDIAN UST R1	Underground Storage Tanks on Indian Land	EPA, Region 1	04/07/2022	06/13/2022	08/16/2022
US	INDIAN UST R6	Underground Storage Tanks on Indian Land	EPA Region 6	04/28/2022	06/13/2022	08/16/2022
US	INDIAN UST R5	Underground Storage Tanks on Indian Land	EPA Region 5	04/11/2022	06/13/2022	08/16/2022
US	FEMA UST	Underground Storage Tank Listing	FEMA	10/14/2021	11/05/2021	02/01/2022
State and tribal voluntary cleanup sites						
US	INDIAN VCP R7	Voluntary Cleanup Priority Lisitng	EPA, Region 7	03/20/2008	04/22/2008	05/19/2008
US	INDIAN VCP R1	Voluntary Cleanup Priority Listing	EPA, Region 1	07/27/2015	09/29/2015	02/18/2016
CA	VCP	Voluntary Cleanup Program Properties	Department of Toxic Substances Control	07/25/2022	07/25/2022	10/05/2022

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
State and tribal Brownfields sites						
CA	BROWNFIELDS	Considered Brownfields Sites Listing	State Water Resources Control Board	06/21/2022	06/21/2022	09/08/2022
Other Records						
US	CONSENT	Superfund (CERCLA) Consent Decrees	Department of Justice, Consent Decree Library	06/30/2022	07/21/2022	09/30/2022
US	ROD	Records Of Decision	EPA	07/26/2022	08/02/2022	08/22/2022
US	LIENS 2	CERCLA Lien Information	Environmental Protection Agency	07/26/2022	08/02/2022	08/22/2022
CA	HIST CAL-SITES	Calsites Database	Department of Toxic Substance Control	08/08/2005	08/03/2006	08/24/2006
US	DEBRIS REGION 9	Torres Martinez Reservation Illegal Dump Site Locations	EPA, Region 9	01/12/2009	05/07/2009	09/21/2009
CA	SWRCY	Recycler Database	Department of Conservation	06/06/2022	06/07/2022	08/23/2022
CA	CA FID UST	Facility Inventory Database	California Environmental Protection Agency	10/31/1994	09/05/1995	09/29/1995
CA	HIST UST	Hazardous Substance Storage Container Database	State Water Resources Control Board	10/15/1990	01/25/1991	02/12/1991
CA	SAN FRANCISCO AST	Aboveground Storage Tank Site Listing	San Francisco County Department of Public Hea	08/04/2022	08/04/2022	10/20/2022
CA	SWEEPS UST	SWEEPS UST Listing	State Water Resources Control Board	06/01/1994	07/07/2005	08/11/2005
US	PCB TRANSFORMER	PCB Transformer Registration Database	Environmental Protection Agency	09/13/2019	11/06/2019	02/10/2020
US	FUSRAP	Formerly Utilized Sites Remedial Action Program	Department of Energy	07/26/2021	07/27/2021	10/22/2021
US	US AIRS MINOR	Air Facility System Data	EPA	10/12/2016	10/26/2016	02/03/2017
US	2020 COR ACTION	2020 Corrective Action Program List	Environmental Protection Agency	09/30/2017	05/08/2018	07/20/2018
US	US AIRS (AFS)	Aerometric Information Retrieval System Facility Subsystem (	EPA	10/12/2016	10/26/2016	02/03/2017
US	COAL ASH DOE	Steam-Electric Plant Operation Data	Department of Energy	12/31/2020	11/30/2021	02/22/2022
US	US FIN ASSUR	Financial Assurance Information	Environmental Protection Agency	06/20/2022	06/21/2022	08/31/2022
US	EPA WATCH LIST	EPA WATCH LIST	Environmental Protection Agency	08/30/2013	03/21/2014	06/17/2014
US	LEAD SMELTER 2	Lead Smelter Sites	American Journal of Public Health	04/05/2001	10/27/2010	12/02/2010
US	COAL ASH EPA	Coal Combustion Residues Surface Impoundments List	Environmental Protection Agency	01/12/2017	03/05/2019	11/11/2019
US	US HIST CDL	National Clandestine Laboratory Register	Drug Enforcement Administration	07/29/2022	08/18/2022	10/24/2022
US	LEAD SMELTER 1	Lead Smelter Sites	Environmental Protection Agency	07/26/2022	08/02/2022	08/22/2022
US	SCRD DRYCLEANERS	State Coalition for Remediation of Drycleaners Listing	Environmental Protection Agency	01/01/2017	02/03/2017	04/07/2017
US	Delisted NPL	National Priority List Deletions	EPA	07/26/2022	08/02/2022	08/22/2022
US	SEMS-ARCHIVE	Superfund Enterprise Management System Archive	EPA	07/26/2022	08/02/2022	08/22/2022
US	RCRA NonGen / NLR	RCRA - Non Generators / No Longer Regulated	Environmental Protection Agency	06/20/2022	06/21/2022	06/28/2022
US	HMIRS	Hazardous Materials Information Reporting System	U.S. Department of Transportation	09/19/2022	09/19/2022	09/30/2022
US	DOT OPS	Incident and Accident Data	Department of Transportation, Office of Pipeli	01/02/2020	01/28/2020	04/17/2020
US	US CDL	Clandestine Drug Labs	Drug Enforcement Administration	07/29/2022	08/18/2022	10/24/2022
US	US BROWNFIELDS	A Listing of Brownfields Sites	Environmental Protection Agency	02/23/2022	03/10/2022	03/10/2022
US	DOD	Department of Defense Sites	USGS	06/07/2021	07/13/2021	03/09/2022
US	FEDLAND	Federal and Indian Lands	U.S. Geological Survey	04/02/2018	04/11/2018	11/06/2019
US	FUDS	Formerly Used Defense Sites	U.S. Army Corps of Engineers	08/11/2022	08/11/2022	09/30/2022
US	UMTRA	Uranium Mill Tailings Sites	Department of Energy	08/30/2019	11/15/2019	01/28/2020
US	ODI	Open Dump Inventory	Environmental Protection Agency	06/30/1985	08/09/2004	09/17/2004
US	MINES VIOLATIONS	MSHA Violation Assessment Data	DOL, Mine Safety & Health Admi	08/01/2022	08/02/2022	09/30/2022
US	US MINES	Mines Master Index File	Department of Labor, Mine Safety and Health A	08/03/2022	08/17/2022	08/31/2022
US	US MINES 2	Ferrous and Nonferrous Metal Mines Database Listing	USGS	05/06/2020	05/27/2020	08/13/2020
US	US MINES 3	Active Mines & Mineral Plants Database Listing	USGS	04/14/2011	06/08/2011	09/13/2011
US	PRP	Potentially Responsible Parties	EPA	07/26/2022	08/02/2022	08/31/2022
US	TRIS	Toxic Chemical Release Inventory System	EPA	12/31/2018	08/14/2020	11/04/2020
US	TSCA	Toxic Substances Control Act	EPA	12/31/2016	06/17/2020	09/10/2020

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	FTTS	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA/Office of Prevention, Pesticides and Toxi	04/09/2009	04/16/2009	05/11/2009
US	FTTS INSP	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA	04/09/2009	04/16/2009	05/11/2009
US	HIST FTTS	FIFRA/TSCA Tracking System Administrative Case Listing	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HIST FTTS INSP	FIFRA/TSCA Tracking System Inspection & Enforcement Case Lis	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	SSTS	Section 7 Tracking Systems	EPA	07/18/2022	07/18/2022	07/29/2022
US	ICIS	Integrated Compliance Information System	Environmental Protection Agency	11/18/2016	11/23/2016	02/10/2017
US	PADS	PCB Activity Database System	EPA	01/20/2022	01/20/2022	03/25/2022
US	MLTS	Material Licensing Tracking System	Nuclear Regulatory Commission	06/10/2022	06/14/2022	08/22/2022
US	RADINFO	Radiation Information Database	Environmental Protection Agency	07/01/2019	07/01/2019	09/23/2019
US	FINDS	Facility Index System/Facility Registry System	EPA	08/03/2022	08/25/2022	10/24/2022
US	RAATS	RCRA Administrative Action Tracking System	EPA	04/17/1995	07/03/1995	08/07/1995
US	RMP	Risk Management Plans	Environmental Protection Agency	04/27/2022	05/04/2022	05/10/2022
US	BRS	Biennial Reporting System	EPA/NTIS	12/31/2019	03/02/2022	03/25/2022
US	PWS	Public Water System Data	EPA	12/17/2013	01/09/2014	10/15/2014
US	INDIAN RESERV	Indian Reservations	USGS	12/31/2014	07/14/2015	01/10/2017
US	INDIAN ODI	Report on the Status of Open Dumps on Indian Lands	Environmental Protection Agency	12/31/1998	12/03/2007	01/24/2008
US	IHS OPEN DUMPS	Open Dumps on Indian Land	Department of Health & Human Serivces, Indian	04/01/2014	08/06/2014	01/29/2015
US	ABANDONED MINES	Abandoned Mines	Department of Interior	06/14/2022	06/15/2022	08/22/2022
CA	CA BOND EXP. PLAN	Bond Expenditure Plan	Department of Health Services	01/01/1989	07/27/1994	08/02/1994
CA	CDL	Clandestine Drug Labs	Department of Toxic Substances Control	12/31/2019	01/20/2021	04/08/2021
CA	CHMIRS	California Hazardous Material Incident Report System	Office of Emergency Services	06/30/2022	07/18/2022	09/30/2022
CA	CORTESE	"Cortese" Hazardous Waste & Substances Sites List	CAL EPA/Office of Emergency Information	06/21/2022	06/21/2022	09/08/2022
CA	CUPA LIVERMORE-PLEASANTON	CUPA Facility Listing	Livermore-Pleasanton Fire Department	12/07/2021	05/09/2022	05/17/2022
CA	DEED	Deed Restriction Listing	DTSC and SWRCB	05/31/2022	05/31/2022	08/18/2022
CA	DRYCLEAN SOUTH COAST	South Coast Air Quality Management District Drycleaner Listi	South Coast Air Quality Management District	05/20/2022	05/20/2022	08/09/2022
CA	DRYCLEAN AVAQMD	Antelope Valley Air Quality Management District Drycleaner L	Antelope Valley Air Quality Management Distri	05/25/2022	05/26/2022	08/11/2022
CA	DRYCLEANERS	Cleaner Facilities	Department of Toxic Substance Control	08/27/2021	09/01/2021	11/19/2021
CA	EMI	Emissions Inventory Data	California Air Resources Board	12/31/2020	06/13/2022	08/30/2022
CA	ENF	Enforcement Action Listing	State Water Resouruces Control Board	07/12/2022	07/18/2022	09/29/2022
CA	Financial Assurance 1	Financial Assurance Information Listing	Department of Toxic Substances Control	07/06/2022	07/21/2022	10/03/2022
CA	Financial Assurance 2	Financial Assurance Information Listing	California Integrated Waste Management Board	08/09/2022	08/10/2022	08/30/2022
CA	HAULERS	Registered Waste Tire Haulers Listing	Integrated Waste Management Board	08/12/2022	08/16/2022	08/26/2022
CA	HAZNET	Facility and Manifest Data	California Environmental Protection Agency	12/31/2021	07/05/2022	09/19/2022
CA	HIST CORTESE	Hazardous Waste & Substance Site List	Department of Toxic Substances Control	04/01/2001	01/22/2009	04/08/2009
CA	HWP	EnviroStor Permitted Facilities Listing	Department of Toxic Substances Control	05/16/2022	05/17/2022	08/03/2022
CA	HWT	Registered Hazardous Waste Transporter Database	Department of Toxic Substances Control	07/05/2022	07/05/2022	09/19/2022
CA	ICE	ICE	Department of Toxic Substances Control	05/16/2022	05/17/2022	08/03/2022
CA	LDS	Land Disposal Sites Listing (GEOTRACKER)	State Water Quality Control Board	05/23/2022	05/23/2022	05/24/2022
CA	LIENS	Environmental Liens Listing	Department of Toxic Substances Control	05/25/2022	05/26/2022	08/11/2022
CA	MCS	Military Cleanup Sites Listing (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	05/24/2022
CA	MINES	Mines Site Location Listing	Department of Conservation	06/06/2022	06/07/2022	08/23/2022
CA	MWMP	Medical Waste Management Program Listing	Department of Public Health	05/06/2022	05/31/2022	08/18/2022
CA	NPDES	NPDES Permits Listing	State Water Resources Control Board	08/08/2022	08/08/2022	10/20/2022
CA	PEST LIC	Pesticide Regulation Licenses Listing	Department of Pesticide Regulation	05/31/2022	05/31/2022	08/18/2022
CA	PROC	Certified Processors Database	Department of Conservation	06/06/2022	06/07/2022	08/23/2022
CA	NOTIFY 65	Proposition 65 Records	State Water Resources Control Board	06/10/2022	06/10/2022	08/26/2022
CA	SCH	School Property Evaluation Program	Department of Toxic Substances Control	07/25/2022	07/25/2022	10/05/2022

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
CA	SPILLS 90	SPILLS90 data from FirstSearch	FirstSearch	06/06/2012	01/03/2013	02/22/2013
CA	TOXIC PITS	Toxic Pits Cleanup Act Sites	State Water Resources Control Board	07/01/1995	08/30/1995	09/26/1995
CA	UIC	UIC Listing	Deaprtment of Conservation	06/06/2022	06/07/2022	08/23/2022
CA	WASTEWATER PITS	Oil Wastewater Pits Listing	RWQCB, Central Valley Region	02/11/2021	07/01/2021	09/29/2021
CA	WDS	Waste Discharge System	State Water Resources Control Board	06/19/2007	06/20/2007	06/29/2007
CA	WIP	Well Investigation Program Case List	Los Angeles Water Quality Control Board	07/03/2009	07/21/2009	08/03/2009
CA	WMUDS/SWAT	Waste Management Unit Database	State Water Resources Control Board	04/01/2000	04/10/2000	05/10/2000
CA	PFAS	PFAS Contamination Site Location Listing	State Water Resources Control Board	06/06/2022	06/07/2022	08/24/2022
CA	WDR	Waste Discharge Requirements Listing	State Water Resources Control Board	06/06/2022	06/07/2022	08/24/2022
CA	HWTS	Hazardous Waste Tracking System	Department of Toxic Substances Control	04/05/2022	04/05/2022	04/26/2022
US	FEDERAL FACILITY	Federal Facility Site Information listing	Environmental Protection Agency	05/25/2021	06/24/2021	09/20/2021
US	DOCKET HWC	Hazardous Waste Compliance Docket Listing	Environmental Protection Agency	05/06/2021	05/21/2021	08/11/2021
CA	PROD WATER PONDS	Produced Water Ponds Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
CA	PROJECT	Project Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
CA	SAMPLING POINT	Sampling Point ? Public Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
CA	UIC GEO	Underground Injection Control Sites (GEOTRACKER)	State Water Resource Control Board	05/23/2022	05/23/2022	06/02/2022
CA	WELL STIM PROJ	Well Stimulation Project (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
US	ECHO	Enforcement & Compliance History Information	Environmental Protection Agency	06/25/2022	07/01/2022	09/30/2022
CA	MILITARY PRIV SITES	Military Privatized Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
CA	NON-CASE INFO	Non-Case Information Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
CA	OTHER OIL GAS	Other Oil & Gas Projects Sites (GEOTRACKER)	State Water Resources Control Board	05/23/2022	05/23/2022	06/02/2022
US	FUELS PROGRAM	EPA Fuels Program Registered Listing	EPA	08/11/2022	08/11/2022	09/30/2022
CA	AQUEOUS FOAM	Former Fire Training Facility Assessments Listing	State Water Resources Control Board	02/20/2020	12/10/2021	02/25/2022
CA	CERS	CalEPA Regulated Site Portal Data	California Environmental Protection Agency	07/18/2022	07/18/2022	09/30/2022
CA	CERS HAZ WASTE	CERS HAZ WASTE	CalEPA	07/18/2022	07/18/2022	09/30/2022
CA	CERS TANKS	California Environmental Reporting System (CERS) Tanks	California Environmental Protection Agency	07/18/2022	07/18/2022	09/30/2022
US	MINES MRDS	Mineral Resources Data System	USGS	04/06/2018	10/21/2019	10/24/2019
US	UXO	Unexploded Ordnance Sites	Department of Defense	12/31/2020	01/11/2022	02/14/2022
CA	CIWQS	California Integrated Water Quality System	State Water Resources Control Board	08/16/2022	08/17/2022	08/18/2022
HISTORICAL USE RECORDS						
US	EDR MGP	EDR Proprietary Manufactured Gas Plants	EDR, Inc.			
US	EDR Hist Auto	EDR Exclusive Historical Auto Stations	EDR, Inc.			
US	EDR Hist Cleaner	EDR Exclusive Historical Cleaners	EDR, Inc.			
CA	RGA LF	Recovered Government Archive Solid Waste Facilities List	Department of Resources Recycling and Recover		07/01/2013	01/13/2014
CA	RGA LUST	Recovered Government Archive Leaking Underground Storage Tan	State Water Resources Control Board		07/01/2013	12/30/2013

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
COUNTY RECORDS						
CA	CS ALAMEDA	Contaminated Sites	Alameda County Environmental Health Services	01/09/2019	01/11/2019	03/05/2019
CA	UST ALAMEDA	Underground Tanks	Alameda County Environmental Health Services	06/29/2022	06/29/2022	07/21/2022
CA	CUPA AMADOR	CUPA Facility List	Amador County Environmental Health	07/22/2022	07/27/2022	08/01/2022
CA	CUPA BUTTE	CUPA Facility Listing	Public Health Department	04/21/2017	04/25/2017	08/09/2017
CA	CUPA CALVERAS	CUPA Facility Listing	Calveras County Environmental Health	06/14/2022	06/15/2022	09/02/2022
CA	CUPA COLUSA	CUPA Facility List	Health & Human Services	04/06/2020	04/23/2020	07/10/2020
CA	SL CONTRA COSTA	Site List	Contra Costa Health Services Department	07/20/2022	07/20/2022	10/03/2022
CA	CUPA DEL NORTE	CUPA Facility List	Del Norte County Environmental Health Divisio	05/04/2022	05/06/2022	07/28/2022
CA	CUPA EL DORADO	CUPA Facility List	El Dorado County Environmental Management Dep	08/08/2022	08/09/2022	09/01/2022
CA	CUPA FRESNO	CUPA Resources List	Dept. of Community Health	06/28/2021	12/21/2021	03/03/2022
CA	CUPA GLENN	CUPA Facility List	Glenn County Air Pollution Control District	01/22/2018	01/24/2018	03/14/2018
CA	CUPA HUMBOLDT	CUPA Facility List	Humboldt County Environmental Health	08/12/2021	08/12/2021	11/08/2021
CA	CUPA IMPERIAL	CUPA Facility List	San Diego Border Field Office	07/13/2022	07/14/2022	09/29/2022
CA	CUPA INYO	CUPA Facility List	Inyo County Environmental Health Services	04/02/2018	04/03/2018	06/14/2018
CA	CUPA KERN	CUPA Facility List	Kern County Public Health	05/06/2022	05/12/2022	08/01/2022
CA	UST KERN	Underground Storage Tank Sites & Tank Listing	Kern County Environment Health Services Depar	05/06/2022	05/12/2022	08/01/2022
CA	CUPA KINGS	CUPA Facility List	Kings County Department of Public Health	12/03/2020	01/26/2021	04/14/2021
CA	CUPA LAKE	CUPA Facility List	Lake County Environmental Health	07/22/2022	07/25/2022	10/05/2022
CA	CUPA LASSEN	CUPA Facility List	Lassen County Environmental Health	07/31/2020	08/21/2020	11/09/2020
CA	AOCONCERN	Key Areas of Concerns in Los Angeles County		03/30/2009	03/31/2009	10/23/2009
CA	HMS LOS ANGELES	HMS: Street Number List	Department of Public Works	07/06/2022	07/07/2022	09/21/2022
CA	LF LOS ANGELES	List of Solid Waste Facilities	La County Department of Public Works	07/11/2022	07/11/2022	09/23/2022
CA	LF LOS ANGELES CITY	City of Los Angeles Landfills	Engineering & Construction Division	01/01/2022	01/21/2022	04/11/2022
CA	LOS ANGELES AST	Active & Inactive AST Inventory	Los Angeles Fire Department	06/01/2019	06/25/2019	08/22/2019
CA	LOS ANGELES CO LF METHANE	Methane Producing Landfills	Los Angeles County Department of Public Works	01/10/2022	01/12/2022	04/04/2022
CA	LOS ANGELES HM	Active & Inactive Hazardous Materials Inventory	Los Angeles Fire Department	01/13/2022	03/21/2022	06/15/2022
CA	LOS ANGELES UST	Active & Inactive UST Inventory	Los Angeles Fire Department	03/22/2022	06/24/2022	09/08/2022
CA	SITE MIT LOS ANGELES	Site Mitigation List	Community Health Services	05/26/2021	07/09/2021	09/29/2021
CA	UST EL SEGUNDO	City of El Segundo Underground Storage Tank	City of El Segundo Fire Department	01/21/2017	04/19/2017	05/10/2017
CA	UST LONG BEACH	City of Long Beach Underground Storage Tank	City of Long Beach Fire Department	04/22/2019	04/23/2019	06/27/2019
CA	UST TORRANCE	City of Torrance Underground Storage Tank	City of Torrance Fire Department	04/22/2022	07/19/2022	09/30/2022
CA	CUPA MADERA	CUPA Facility List	Madera County Environmental Health	08/10/2020	08/12/2020	10/23/2020
CA	UST MARIN	Underground Storage Tank Sites	Public Works Department Waste Management	09/26/2018	10/04/2018	11/02/2018
CA	UST MENDOCINO	Mendocino County UST Database	Department of Public Health	09/22/2021	11/18/2021	11/22/2021
CA	CUPA MERCED	CUPA Facility List	Merced County Environmental Health	02/15/2022	02/17/2022	05/11/2022
CA	CUPA MONO	CUPA Facility List	Mono County Health Department	02/22/2021	03/02/2021	05/19/2021
CA	CUPA MONTEREY	CUPA Facility Listing	Monterey County Health Department	10/04/2021	10/06/2021	12/29/2021
CA	LUST NAPA	Sites With Reported Contamination	Napa County Department of Environmental Manag	01/09/2017	01/11/2017	03/02/2017
CA	UST NAPA	Closed and Operating Underground Storage Tank Sites	Napa County Department of Environmental Manag	09/05/2019	09/09/2019	10/31/2019
CA	CUPA NEVADA	CUPA Facility List	Community Development Agency	07/21/2022	07/25/2022	07/28/2022
CA	IND_SITE ORANGE	List of Industrial Site Cleanups	Health Care Agency	04/08/2022	05/09/2022	07/28/2022
CA	LUST ORANGE	List of Underground Storage Tank Cleanups	Health Care Agency	04/08/2022	05/18/2022	08/03/2022
CA	UST ORANGE	List of Underground Storage Tank Facilities	Health Care Agency	05/24/2022	08/01/2022	10/20/2022
CA	MS PLACER	Master List of Facilities	Placer County Health and Human Services	05/25/2022	05/26/2022	06/01/2022
CA	CUPA PLUMAS	CUPA Facility List	Plumas County Environmental Health	03/31/2019	04/23/2019	06/26/2019

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
CA	LUST RIVERSIDE	Listing of Underground Tank Cleanup Sites	Department of Environmental Health	07/07/2022	07/08/2022	09/21/2022
CA	UST RIVERSIDE	Underground Storage Tank Tank List	Department of Environmental Health	07/07/2022	07/08/2022	09/21/2022
CA	CS SACRAMENTO	Toxic Site Clean-Up List	Sacramento County Environmental Management	06/18/2021	09/28/2021	12/14/2021
CA	ML SACRAMENTO	Master Hazardous Materials Facility List	Sacramento County Environmental Management	05/04/2022	06/30/2022	07/05/2022
CA	CUPA SAN BENITO	CUPA Facility List	San Benito County Environmental Health	07/27/2022	07/27/2022	10/11/2022
CA	PERMITS SAN BERNARDINO	Hazardous Material Permits	San Bernardino County Fire Department Hazardo	05/12/2022	05/12/2022	05/18/2022
CA	HMMD SAN DIEGO	Hazardous Materials Management Division Database	Hazardous Materials Management Division	05/31/2022	05/31/2022	08/18/2022
CA	LF SAN DIEGO	Solid Waste Facilities	Department of Health Services	10/27/2021	03/04/2022	05/31/2022
CA	SAN DIEGO CO LOP	Local Oversight Program Listing	Department of Environmental Health	07/22/2021	10/19/2021	01/13/2022
CA	SAN DIEGO CO SAM	Environmental Case Listing	San Diego County Department of Environmental	03/23/2010	06/15/2010	07/09/2010
CA	CUPA SAN FRANCISCO CO	CUPA Facility Listing	San Francisco County Department of Environmen	08/04/2022	08/04/2022	10/20/2022
CA	LUST SAN FRANCISCO	Local Oversight Facilities	Department Of Public Health San Francisco Cou	09/19/2008	09/19/2008	09/29/2008
CA	UST SAN FRANCISCO	Underground Storage Tank Information	Department of Public Health	08/04/2022	08/04/2022	10/20/2022
CA	SAN FRANCISCO MAHER	Maher Ordinance Property Listing	San Francisco Planning	01/18/2022	01/20/2022	04/27/2022
CA	UST SAN JOAQUIN	San Joaquin Co. UST	Environmental Health Department	06/22/2018	06/26/2018	07/11/2018
CA	CUPA SAN LUIS OBISPO	CUPA Facility List	San Luis Obispo County Public Health Departme	05/16/2022	05/18/2022	08/04/2022
CA	BI SAN MATEO	Business Inventory	San Mateo County Environmental Health Service	02/20/2020	02/20/2020	04/24/2020
CA	LUST SAN MATEO	Fuel Leak List	San Mateo County Environmental Health Service	03/29/2019	03/29/2019	05/29/2019
CA	CUPA SANTA BARBARA	CUPA Facility Listing	Santa Barbara County Public Health Department	09/08/2011	09/09/2011	10/07/2011
CA	CUPA SANTA CLARA	Cupa Facility List	Department of Environmental Health	05/16/2022	05/18/2022	08/04/2022
CA	HIST LUST SANTA CLARA	HIST LUST - Fuel Leak Site Activity Report	Santa Clara Valley Water District	03/29/2005	03/30/2005	04/21/2005
CA	LUST SANTA CLARA	LOP Listing	Department of Environmental Health	03/03/2014	03/05/2014	03/18/2014
CA	SAN JOSE HAZMAT	Hazardous Material Facilities	City of San Jose Fire Department	11/03/2020	11/05/2020	01/26/2021
CA	CUPA SANTA CRUZ	CUPA Facility List	Santa Cruz County Environmental Health	01/21/2017	02/22/2017	05/23/2017
CA	CUPA SHASTA	CUPA Facility List	Shasta County Department of Resource Manageme	06/15/2017	06/19/2017	08/09/2017
CA	LUST SOLANO	Leaking Underground Storage Tanks	Solano County Department of Environmental Man	06/04/2019	06/06/2019	08/13/2019
CA	UST SOLANO	Underground Storage Tanks	Solano County Department of Environmental Man	09/15/2021	09/16/2021	12/09/2021
CA	CUPA SONOMA	Cupa Facility List	County of Sonoma Fire & Emergency Services De	07/02/2021	07/06/2021	07/14/2021
CA	LUST SONOMA	Leaking Underground Storage Tank Sites	Department of Health Services	06/30/2021	06/30/2021	09/24/2021
CA	CUPA STANISLAUS	CUPA Facility List	Stanislaus County Department of Ennvironmenta	02/08/2022	02/10/2022	05/04/2022
CA	UST SUTTER	Underground Storage Tanks	Sutter County Environmental Health Services	05/03/2022	05/27/2022	08/11/2022
CA	CUPA TEHAMA	CUPA Facility List	Tehama County Department of Environmental Hea	07/27/2022	07/27/2022	10/11/2022
CA	CUPA TRINITY	CUPA Facility List	Department of Toxic Substances Control	07/13/2022	07/14/2022	09/29/2022
CA	CUPA TULARE	CUPA Facility List	Tulare County Environmental Health Services D	04/26/2021	04/28/2021	07/13/2021
CA	CUPA TUOLUMNE	CUPA Facility List	Division of Environmental Health	04/23/2018	04/25/2018	06/25/2018
CA	BWT VENTURA	Business Plan, Hazardous Waste Producers, and Operating Unde	Ventura County Environmental Health Division	05/26/2022	07/21/2022	09/30/2022
CA	LF VENTURA	Inventory of Illegal Abandoned and Inactive Sites	Environmental Health Division	12/01/2011	12/01/2011	01/19/2012
CA	LUST VENTURA	Listing of Underground Tank Cleanup Sites	Environmental Health Division	05/29/2008	06/24/2008	07/31/2008
CA	MED WASTE VENTURA	Medical Waste Program List	Ventura County Resource Management Agency	05/26/2022	07/25/2022	10/05/2022
CA	UST VENTURA	Underground Tank Closed Sites List	Environmental Health Division	05/26/2022	06/07/2022	08/24/2022
CA	UST YOLO	Underground Storage Tank Comprehensive Facility Report	Yolo County Department of Health	06/22/2022	06/30/2022	09/14/2022
CA	CUPA YUBA	CUPA Facility List	Yuba County Environmental Health Department	05/03/2022	05/05/2022	07/28/2022

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
----	---------	-----------	-------------------	----------	------------	-------------

STREET AND ADDRESS INFORMATION

© 2015 TomTom North America, Inc. All rights reserved. This material is proprietary and the subject of copyright protection and other intellectual property rights owned by or licensed to Tele Atlas North America, Inc. The use of this material is subject to the terms of a license agreement. You will be held liable for any unauthorized copying or disclosure of this material.

APPENDIX H

QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONALS

ARAM B. KALOUSTIAN, P.E.
Principal

Mr. Aram Kaloustian has diversified experience in environmental, mechanical and civil engineering including indoor air quality surveys for mold and ventilation systems, asbestos and lead-based paint assessments, Phase I environmental surveys, subsurface environmental site assessments, remedial design, remediation system installation and operation, negotiations with regulatory agencies, computer modeling, research of new environmental investigative and remedial technologies, safety engineering and project management.

Mr. Kaloustian has conducted numerous assessments involving indoor air quality, asbestos and lead-based paint surveys and associated remediation projects by establishing investigative protocol, implementing efficient assessment strategies, and applying the site specific and appropriate remedial recommendations to all assessed projects. Mr. Kaloustian has also designed a variety of protocols for remedial and post-remedial monitoring services for a wide variety of project sites.

Mr. Kaloustian has conducted numerous historical and background Phase I investigations involving review of files located at various county health departments, water quality control boards, state departments of health, air quality management districts, city building departments, city departments of public works and city fire departments. These investigations also involved searches of state and federal databases for hazardous waste sites, generators, transporters and treatment/storage/disposal facilities, title searches, aerial photo reviews and visual site inspections.

Mr. Kaloustian has extensive subsurface site assessment experience involving underground storage tanks, exploratory borings and monitoring wells, implementation of monitoring and sampling programs, evaluation of monitoring and sampling data, review of historical site and site vicinity information, agency negotiations, and assessment and remediation recommendations.

Mr. Kaloustian's remedial design experience includes various vapor extraction and groundwater remediation systems for remediation of soil and groundwater impacted by hydrocarbon contamination. Mr. Kaloustian has designed and implemented vapor extraction treatment systems that have included internal combustion engines, catalytic thermal oxidizers and carbon adsorption. Groundwater treatment systems have included spray aeration tanks, carbon adsorption and air strippers.

Regulatory compliance experience includes obtaining permits for removal of underground storage tanks, drilling exploratory borings, installation of monitoring wells, and installation of vapor extraction treatment systems and groundwater treatment systems. This has required working with local county health departments, city departments of public works, city fire departments,

air quality management districts, a number of publicly owned treatment works and the California Regional Water Quality Control Board.

Mr. Kaloustian has also constructed and evaluated various computer models for site assessment and remediation including models used to evaluate the vacuum influence of vapor extraction systems, the radius of influence of groundwater extraction, fate and transport analysis of contaminant's, and aquifer test data.

Mr. Kaloustian has also participated and has been the lead engineer in the research and development of new investigative and remedial techniques involving indoor air quality, horizontal drilling; and treatment of contaminated soil and sludge materials using remedial surfactants, bioremediation, soil washing, encapsulation and modified oxidation. Additional research experience includes participation in the South Coast Air Quality Survey in 1987 for research involving atmospheric chemistry.

Throughout the years, Mr. Kaloustian has also maintained certification and continuing education for Hazardous Waste Operations and Emergency Response (29CFR1910.120) and supervisory training; and has developed site specific health and safety plans for site assessment and remediation. Mr. Kaloustian has also been responsible for the development and implementation of a safety procedures manual for environmental assessment and remediation firms.

- Registrations:** Registered Professional Civil Engineer, State of California
Registered Professional Civil Engineer, State of Arizona
Registered Professional Civil Engineer, State of Hawaii
Registered Professional Civil Engineer, State of Texas
Registered Professional Civil Engineer, State of Utah
Registered Environmental Assessor, State of California (1994-1999)
- Affiliations:** American Industrial Hygiene Association – Consultant Member
National Society of Professional Engineers – Member
California Ground Water Association - Member
- Education:** M.S., Construction Engineering and Management, Stanford University
B.S., Engineering and Applied Science, California Institute of Technology
Indoor Air Quality Certification from the American Industrial Hygiene Association
OSHA 40-Hour Hazardous Waste Operations Training and Certification
Certified AHERA asbestos building inspector and management planner

APPENDIX C
SUBSURFACE ENVIRONMENTAL SITE ASSESSMENT
REPORT

SUBSURFACE ENVIRONMENTAL SITE ASSESSMENT REPORT

**Vacant Land
6983 Pentz Road
Paradise, California 95969
(APN: 050-082-023)**

Prepared For:

**Pacific West Communities, Inc.
430 East State Street, #100
Eagle, Idaho 83616**

**KCE-2022-427E-R2
December 16, 2022**

TABLE OF CONTENTS

I.	INTRODUCTION	1
II.	SITE DESCRIPTION	1
III.	BACKGROUND	1
IV.	FIELD ACTIVITIES	2
V.	GEOLOGY AND SUBSURFACE CONDITIONS	3
VI.	ANALYTICAL RESULTS	4
VII.	SUMMARY AND SAMPLE RESULTS	4
VIII.	EVALUATION.....	7
IX.	CONCLUSIONS AND RECOMMENDATIONS	11
X.	LIMITATIONS.....	12
XI.	SIGNATURE AND CERTIFICATION	13

Attachments: Appendix A - Figures 1 and 2
Appendix B - Tables 1 through 5
Appendix C - Laboratory Reports and Chain of Custody Documentation
Appendix D - Boring Logs

I. INTRODUCTION

This report presents the results of subsurface environmental site assessment work conducted by KCE Matrix, Inc. (KCE Matrix) for the subject property. The purpose of this investigation was to assess subsurface soil for potential contamination from former agricultural land use at the property and from recent storage of construction related hazardous materials on site. The scope of work performed by KCE Matrix consisted of the following:

- Geologic logging during drilling of 18 exploratory soil borings.
- Soil sampling during drilling of 18 exploratory soil borings.
- Project coordination and management.
- Sample delivery to a state certified environmental testing laboratory with corresponding chain of custody documentation.
- Laboratory analysis.
- Data analysis, interpretation, and preparation of this report summarizing the subsurface environmental assessment work conducted.

II. SITE DESCRIPTION

The subject property is located in an essentially residential area on the northwest corner of the intersection of Pentz Road and Kingdom Court, in Paradise, California. The property has Assessor's Parcel Number (APN) 050-082-023. The land measures approximately 72,540 square feet (or approximately 1.66 acres) in size. The subject property currently consists of vacant land with no structures and has a dirt/gravel surface. The site is currently occupied by a company known as Fiberco General Engineering Contractors, Inc. and is being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. The site can be accessed along the entire eastern property line from Pentz Road, from the entire southern property line from Kingdom Court and from the vacant strip of land along the entire northern property line. A Location Map is shown in Appendix A, Figure 1, and a site plan of the property is presented in Appendix A, as Figure 2.

III. BACKGROUND

In October and November of 2022, a Phase I Environmental Site Assessment (ESA) was performed by KCE Matrix for the subject property. The results of the Phase I ESA were summarized in a report designated (KCE-2022-427E-R1) dated November 14, 2022. Based on the Phase I ESA work performed, Recognized Environmental Conditions (RECs) were not identified by KCE Matrix in connection with the subject property, except as follows:

- REC – Historic agricultural land use. The subject property (primarily the eastern portion of the site) had been historically used as agricultural land. The exact dates of agricultural usage were not determined during the Phase I investigation, but began some time prior to 1952 and the site was no longer used for agricultural purposes as of 1969.

In addition, based on the Phase I environmental site assessment work performed, the following environmental concerns were identified by KCE Matrix:

- Environmental Concern: During the Phase I assessment, a representative of KCE Matrix conducted site inspection of the subject property and observed that the site was occupied by a company known as Fiberco General Engineering Contractors, Inc. and was being used as a temporary storage and staging area for construction of utilities elsewhere in the Town of Paradise. This usage of the site began in approximately October of 2021 and had continued since that time. Based on site inspection, various small quantities of what appeared to be hazardous materials along with various equipment were stored at the subject property and not all such materials appeared to be stored with secondary containment and in a fashion so as to minimize any potential impact to the surface and subsurface soil. As such, KCE Matrix recommended that any and all such hazardous materials and equipment be stored in a manner so as to eliminate any potential unauthorized release of hazardous materials at the subject property.

Based on the results of the Phase I ESA, KCE Matrix recommended that subsurface environmental assessment work be performed for the subject property to determine whether or not the property had been impacted by: (1) the potential former usage of pesticides over some period of time, and to assess any potential impact from metals (such as Arsenic); and (2) from recent storage of construction related hazardous materials on site. KCE Matrix also recommended that the proposed subsurface assessment work be conducted in a manner so as to address potential vapor encroachment conditions.

IV. FIELD ACTIVITIES

On November 30, 2022, eighteen (18) subsurface exploratory soil borings (designated as EB-1 through EB-18) were drilled and sampled at the subject property, using hand-auger field drilling and sampling equipment at the locations shown in Appendix A, Figure 2. The 18 exploratory borings were drilled and sampled as follows:

Area of Concern	Exploratory Borings	Total Boring Depth	Soil Samples Collected
REC – Historic Agricultural Land Use	EB-1 through EB-12	4 Feet	2 Feet and 4 Feet (24 Samples)

Area of Concern	Exploratory Borings	Total Boring Depth	Soil Samples Collected
Environmental Concern – Construction Related Hazardous Materials Storage Areas	EB-13 through EB-18	4 Feet	2 Feet and 4 Feet (12 Samples)

Groundwater was not encountered in the 18 exploratory borings during drilling and sampling work performed. Subsurface drilling and soil sampling activities were conducted by or under the supervision of KCE Matrix's California State Certified Professional Civil Engineer or Certified Engineering Geologist. The subsurface materials penetrated are described in the attached Field Borehole Logs as presented in Appendix D of this report.

A total of 36 soil samples were collected from the 18 exploratory borings at depths of two feet and four feet bgs for lithologic logging purposes. In addition, 18 of the 36 soil samples were selected for laboratory analysis from the 18 exploratory borings as follows:

- For borings EB-1 through EB-12 – soil samples collected at a depth of two feet bgs (12 samples)
- For borings EB-13 through EB-18 – soil samples collected at a depth of two feet bgs (six samples)

The undisturbed soil samples were collected using hand-auger field drilling/sampling equipment. For borings EB-1 through EB-12, the soil sample containers were sealed, labeled, and stored in a cooler, on ice, until delivery to a state certified laboratory. For borings EB-13 through EB-18, immediately after soil samples were extracted from the subsurface, three 5-gram soil sub-samples were collected from the sample containers using a specially prepared "lock-and-load" syringe and transferred into three VOAs (two preserved with Sodium Bisulfate and one preserved with Methanol) according to the Environmental Protection Agency (EPA) sampling method 5035. The sample containers holding the remaining soil samples were then sealed, and along with the three VOAs were labeled, and stored in a cooler, on ice, until delivery to a state certified laboratory.

All soil samples were vapor tested using a Photo Ionization Detector (PID). The PID used during this investigation has serial number 592-906766 and was calibrated with Isobutylene (i-C₄H₈) at a concentration of 100 parts per million by Volume (ppmV). The PID results for the soil vapors are reported on the attached Field Borehole Logs, which are included in Appendix D of this report.

V. GEOLOGY AND SUBSURFACE CONDITIONS

Based on the subsurface logging conducted by KCE Matrix during drilling of the 18 exploratory borings (designated as EB-1 through EB-18) during this investigation, the subsurface of the subject property appears to be underlain by clayey sand to a total depth of approximately four feet bgs, the maximum depth explored. Groundwater was not encountered during drilling activities.

KCE Matrix conducted a search of groundwater monitoring data as maintained by the State Water Resources Control Board (SWRCB) – Geotracker database for hydrology information for the site and site vicinity. Based on data collected during environmental site assessment activities from soil borings located at a site that is approximately 1.25-miles south of the subject property, the groundwater was encountered at an approximate depth of 14 feet below the surface in August of 2019. Based on monitoring data collected from wells located at a second site that is approximately 1.54-miles southwest of the subject property, the depth to groundwater was reported to range between 5.35 feet and 15.27 feet below the surface as monitored in February of 2010.

VI. ANALYTICAL RESULTS

The soil samples collected during this investigation were analyzed by Jones Environmental, Inc. (JEI) in Santa Fe Springs, California. The samples were accompanied by properly executed chain of custody documentation. JEI is an environmental testing laboratory certified by the California State Department of Health Services (ELAP Certificate Number 2882).

A. Historical Agricultural Land

Twelve (12) soil samples (designated as EB-1(2) through EB-12(2)) collected at a depth of two feet bgs from 12 of the 18 exploratory borings (designated as EB-1 through EB-12) were analyzed for Organochlorine Pesticides (OCPs) by EPA method 8081A and for Arsenic by EPA method 6010B. The analytical laboratory results of the 12 selected soil samples collected from these 12 borings (designated as EB-1 through EB-12) on November 30, 2022 are presented in Appendix B, Tables 1 and 2. Copies of the laboratory reports and corresponding chain of custody documentation are presented in Appendix C of this report.

B. Construction Related Hazardous Materials Storage Areas

Six soil samples (designated as EB-13(2) through EB-18(2)) collected at a depth of two feet bgs from six of the 18 exploratory borings (designated as EB-13 through EB-18) were analyzed for Volatile Organic Compounds (VOCs) and for Total Petroleum Hydrocarbon (TPH) - Gasoline Range Organics (GRO) by EPA method 8260B; for TPH - Diesel Range Organics (DRO) and Oil Range Organics (ORO) by EPA method 8015; and for Title 22 Metals by EPA method 6010B/7471A. The analytical laboratory results of the six selected soil samples collected from these six boring (designated as EB-13 through EB-18) on November 30, 2022 are presented in Appendix B, Tables 3 through 5. Copies of the laboratory reports and corresponding chain of custody documentation are presented in Appendix C of this report.

VII. SUMMARY AND SAMPLE RESULTS

The following summarizes the subsurface environmental site assessment work performed for the subject property during this investigation:

A. Historical Agricultural Land

- On November 30, 2022, twelve (12) exploratory soil borings (designated as EB-1 through EB-12) were drilled and sampled on site to a depth of four feet bgs. Groundwater was not encountered in any of the 12 borings during drilling activities.
- On November 30, 2022, a total of 24 soil samples were collected from the 12 exploratory borings on site (designated as EB-1 through EB-12). As presented in Section VI of this report, all 12 soil samples collected at a depth of two feet bgs were selected and analyzed for OCPs by EPA method 8081A and for Arsenic by EPA method 6010B.

Organochlorine Pesticides (OCPs)

- The analytical results of the 12 soil samples collected at a depth of two feet bgs and analyzed for OCPs (designated as samples EB-1(2) through EB-12(2)) indicated no detectable concentrations of 16 of the 21 OCP constituents.
- The analytical results of the soil samples collected and analyzed for OCPs indicated a concentration of one of the 21 OCP constituents (γ -Chlordane) at 0.5 $\mu\text{g}/\text{Kg}$ in one of the 12 soil samples (designated as sample EB-5(2)). γ -Chlordane was not detected in the 11 other soil samples.
- The analytical results of the soil samples collected and analyzed for OCPs indicated a concentration of one of the 21 OCP constituents (α -Chlordane) at 0.6 $\mu\text{g}/\text{Kg}$ in one of the 12 soil samples (designated as sample EB-4(2)). α -Chlordane was not detected in the 11 other soil samples.
- The analytical results of the soil samples collected and analyzed for OCPs indicated concentrations of one of the 21 OCP constituents (4,4'-DDD) at 0.8 micrograms per Kilogram ($\mu\text{g}/\text{Kg}$) and 1.9 $\mu\text{g}/\text{Kg}$ in two of the 12 soil samples (designated as samples EB-1(2) and EB-4(2), respectively). 4,4-DDD was not detected in the 10 other soil samples.
- The analytical results of the soil samples collected and analyzed for OCPs indicated concentrations of one of the 21 OCP constituents (4,4'-DDE) ranging from 1.7 $\mu\text{g}/\text{Kg}$ to 25.3 $\mu\text{g}/\text{Kg}$ in five of the 12 soil samples (designated as samples EB-1(2), EB-4(2), EB-5(2), EB-8(2) and EB-11(2)). 4,4-DDE was not detected in the seven other soil samples.
- The analytical results of the soil samples collected and analyzed for OCPs indicated concentrations of one of the 21 OCP constituents (4,4'-DDT) ranging from 2.1 $\mu\text{g}/\text{Kg}$ to 9.5 $\mu\text{g}/\text{Kg}$ in four of the 12 soil samples (designated as samples EB-1(2), EB-4(2), EB-8(2) and EB-11(2)). 4,4-DDT was not detected in the eight other soil samples.
- The analytical results of the selected soil samples collected and analyzed for OCPs from the 12 soil borings are presented in Appendix B, Table 1.

Arsenic

- The analytical results of the 12 soil samples collected at a depth of two feet bgs and analyzed for Arsenic (designated as samples EB-1(2) through EB-12(2)) indicated a concentration of Arsenic at 6.5 milligrams per kilogram (mg/Kg) in only one of the 12 soil samples (designated as sample EB-4(2)). Arsenic was not detected in the 11 other soil samples.
- The analytical results of the selected soil samples collected and analyzed for Arsenic from the 12 soil borings are presented in Appendix B, Table 2.

B. Construction Related Hazardous Materials Storage Areas

- On November 30, 2022, six exploratory soil borings (designated as EB-13 through EB-18) were drilled and sampled on site to a depth of four feet bgs. Groundwater was not encountered in any of the six borings during drilling activities.
- On November 30, 2022, a total of 12 soil samples were collected from the six exploratory borings on site (designated as EB-13 through EB-18). As presented in Section VI of this report, all six soil samples collected at a depth of two feet were selected and analyzed for VOCs and TPH-GRO by EPA method 8260B; for TPH-DRO and TPH-ORO by EPA method 6010B; and for Title 22 Metals by EPA method 6010B.

TPH-GRO/TPH-DRO/TPH-ORO

- The analytical results of the six selected soil samples collected at a depth of two feet bgs and analyzed for TPH-GRO, TPH-DRO and TPH-ORO (designated as samples EB-13(2), through EB-18(2)) indicated the following:
 - No detectable concentrations of TPH-GRO in all six samples.
 - No detectable concentrations of TPH-DRO in all six samples.
 - No detectable concentrations of TPH-ORO in all six samples.
- The analytical results of the selected soil samples collected and analyzed for TPH-GRO, TPH-DRO, and TPH-ORO from the six exploratory soil borings are presented in Appendix B, Table 3.

VOCs

- The analytical results of the six selected soil samples collected at a depth of two feet bgs and analyzed for VOCs (designated as samples EB-13(2), through EB-18(2)) indicated no detectable concentrations of VOCs.
- The analytical results of the selected soil samples collected and analyzed for VOCs from the six soil borings are presented in Appendix B, Table 4.

Title 22 CAM 17 Metals

- The analytical results of the six selected soil samples collected and analyzed for the 17 Title 22 (designated as samples EB-13(2) through EB-18(2)) indicated various concentrations of ten of these constituents as follows:

Metals	Range of Concentrations Detected* in six Selected Samples
Mercury	ND – 0.099
Barium	95.7 - 238
Cadmium	4.6 – 5.3
Chromium	84.7 - 101
Cobalt	7.5 – 12.2
Copper	39.4 – 46
Lead	4.4 – 5.8
Nickel	41.1 – 50.3
Vanadium	140 – 157
Zinc	23.2 – 25.7

* Results are presented in milligrams per Kilogram (mg/Kg)

- The analytical results of the soil samples collected and analyzed for metals from the six soil borings are presented in Appendix B, Table 5.

VIII. EVALUATION

The RWQCB – San Francisco Bay Region has developed a method of performing risk assessment for subsurface environmental investigations. The extensive work performed to create the methodology and a detailed description of this method are presented in the document entitled “Screening for Environmental Concerns at Sites with Contaminated Soil and Groundwater, Interim Final – November 2007.” Most recently, the derivation and application of ESLs is presented in a user's guide prepared by the RWQCB - San Francisco Bay Region (Interim Final January 2019 – Rev.2) and the ESLs are listed in the associated tables. This method establishes and presents Environmental Screening Levels (ESLs) for over 100 commonly released and detected contaminants that have been found in subsurface soil, groundwater, sub-slab/soil-gas and indoor air at sites where such releases of hazardous materials may have occurred.

The ESLs were developed to address environmental protection goals. For unauthorized releases into subsurface soil, use of the ESLs were intended to provide protection of human health to direct exposure from the chemicals of concern, to protect against vapor intrusion into buildings, to protect against leaching of the chemicals of concern to groundwater, protection of terrestrial biota and protection against adverse nuisance conditions. The ESLs are considered conservative. Within certain limits, the risk to human health and the environment can be considered to be insignificant at sites where concentrations of the chemicals of concern do not exceed the established ESLs. Furthermore, the detection of the chemicals of concern at concentrations in excess of an established ESL does not necessarily mean that significant risk exists at the given site. However, such conditions do generally indicate that additional site-specific investigation and evaluation of potential risk and environmental concern is warranted. For the purposes of this investigation, the

RWQCB ESLs for residential (Tier 1) and commercial (Tier 2) land use have been used to evaluate the data obtained during this assessment.

A. Historical Agricultural Land

As presented elsewhere in this report, on November 30, 2022, twelve (12) exploratory soil borings (designated as EB-1 through EB-12) were drilled and sampled on site to a depth of four feet bgs. The 12 soil samples collected at a depth of two feet bgs from these 12 exploratory borings were selected and analyzed for OCPs by EPA method 8081A and for Arsenic by EPA method 6010B.

Organochlorine Pesticides (OCPs)

When comparing the analytical results of the soil samples collected and analyzed for the 21 OCP constituents during this assessment to the RWQCB (Tier 1) and (Tier 2) ESLs, the results indicate the following:

- The analytical results of the 12 soil samples collected and analyzed during this investigation indicate no detectable concentrations of 16 of the 21 OCP constituents (OCPs identified as Aldrin, α -BHC, β -BHC, γ -BHC (Lindane), δ -BHC, Dieldrin, Endosulfan I, Endosulfan II, Endosulfan sulfate, Endrin, Endrin aldehyde, Endrin ketone, Heptachlor, Heptachlor epoxide, Methoxychlor and Toxaphene).
 - With regard to 15 of these 16 OCP constituents, the laboratory reporting limits are less than the RWQCB Tier 1 ESLs; and as such, the analytical results of these 15 OCP constituents are all less than the RWQCB Tier 1 ESLs.
 - With regard to one of these 16 OCP constituents (Heptachlor epoxide), this OCP constituent has RWQCB Tier 1 ESL of 0.18 $\mu\text{g}/\text{Kg}$; a Tier 2 ESL of 6.0 $\mu\text{g}/\text{Kg}$; and a residential Direct Exposure Human Health (Cancer Risk) ESL of 62 $\mu\text{g}/\text{Kg}$. The analytical laboratory reporting limit of Heptachlor epoxide is 0.4 $\mu\text{g}/\text{Kg}$; which is greater than the Tier 1 ESL and significantly less than the Tier 2 ESL and the residential Direct Exposure Human Health ESL.
- With regard to five of the 21 OCP constituents γ -Chlordane, α -Chlordane, 4,4'-DDD, 4,4'-DDE and 4,4'-DDT, the results indicate the following:
 - γ -Chlordane: One of the 12 soil samples (designated as samples EB-5(2)) indicated a concentration of γ -Chlordane at 0.5 $\mu\text{g}/\text{Kg}$, which is less than the Tier 1 ESL of 8.5 $\mu\text{g}/\text{Kg}$ for Chlordane. γ -Chlordane was not detected in the 11 other soil samples.
 - α -Chlordane: One of the 12 soil samples (designated as samples EB-4(2)) indicated a concentration of α -Chlordane at 0.6 $\mu\text{g}/\text{Kg}$, which is less than the Tier 1 ESL of 8.5 $\mu\text{g}/\text{Kg}$ for Chlordane. α -Chlordane was not detected in the 11 other soil samples.

- 4,4'-DDD: Two of the 12 soil samples (designated as samples EB-1(2) and EB-4(2)) indicate concentrations of 4,4'-DDD at 0.8 µg/Kg and 1.9 µg/Kg, respectively, which are significantly less than the Tier 1 ESL of 2,700 µg/Kg. 4,4'-DDD was not detected in the 10 other soil samples.
- 4,4'-DDE: Five of the 12 soil samples (designated as EB-1(2), EB-4(2), EB-5(2), EB-8(2) and EB-11(2)) indicate concentrations of 4,4'-DDE ranging between 1.7 µg/Kg and 25.3 µg/Kg, which are less than the Tier 1 ESL of 330 µg/Kg. 4,4'-DDE was not detected in the seven other soil samples.
- 4,4'-DDT: Four of the 12 soil samples (designated as EB-1(2), EB-4(2), EB-8(2) and EB-11(2)) indicate concentrations of 4,4'-DDT ranging between 2.1 µg/Kg and 9.5 µg/Kg, which are greater than the Tier 1 ESL of 1.1 µg/Kg but less than the Tier 2 ESL of 5,600 µg/Kg. In addition, when comparing the concentrations of 4,4'-DDT detected in the soil samples to residential (cancer risk) Direct Exposure Human Health Risk ESL for 4,4'-DDT (1.9 mg/Kg or 1,900 µg/Kg), the concentrations of 4,4'-DDT detected in the soil samples are significantly less than this ESL. The eight other samples collected at a depth of two feet bgs indicate no detectable concentrations of 4,4'-DDT.

Arsenic

Arsenic has RWQCB (Tier 1) and (Tier 2) ESLs (0.067 mg/Kg and 0.31 mg/Kg, respectively) that are less than the analytical laboratory reporting limit of 5.0 mg/Kg. Therefore, the analytical laboratory results of Arsenic cannot be compared to the RWQCB ESLs.

The California Department of Toxic Substances Control (DTSC) has published Human Health Risk Assessment (HHRA) Note 11 regarding ambient levels for Arsenic in soils in five Southern California counties: Los Angeles, Orange, Riverside, San Bernardino, and San Diego. Specifically, DTSC established a regional, ambient screening level of 12 milligrams per Kilogram (mg/Kg) for Arsenic, which is approximately 100 times the risk-based screening level for residential soil of (0.11 mg/kg) developed by DTSC. This regional ambient level was previously established by DTSC as the upper bound of Arsenic in soil from Los Angeles Unified School District sites, and DTSC formally established this ambient level for Southern California with the publication of HHRA Note 11.

The analytical laboratory results of the soil samples collected during this investigation indicate the following:

- One of the 12 soil samples collected at a depth of two feet bgs (designated as sample EB-4(2)) indicates a concentration of Arsenic at 6.5 mg/Kg (laboratory reporting limit of 5.0 mg/Kg), which is less than the DTSC ambient screening level of 12 mg/Kg.

- The remaining 11 soil samples collected at a depth of two feet bgs indicate no detectable concentrations of Arsenic (laboratory reporting limit of 5.0 mg/Kg), which are less than the DTSC ambient screening level of 12 mg/Kg.

B. Construction Related Hazardous Materials Storage Areas

As presented elsewhere in this report, on November 30, 2022, six exploratory soil borings (designated as EB-13 through EB-18) were drilled and sampled on site to a depth of four feet bgs. The six soil samples collected at a depth of two feet bgs from these six exploratory borings were selected and analyzed for VOCs and TPH-GRO by EPA method 8260B; for TPH-DRO and TPH-ORO by EPA method 6010B; and for Title 22 Metals by EPA method 6010B.

TPH-GRO/TPH-DRO/TPH-ORO

With regard to TPH-GRO, TPH-DRO and TPH-ORO, the Tier 1 RWQCB ESLs for soil are as follows:

- TPH-GRO – RWQCB ESL, Tier 1 Soil – 100 mg/kg
- TPH-DRO – RWQCB ESL, Tier 1 Soil – 260 mg/kg
- TPH-ORO – RWQCB ESL, Tier 1 Soil – 1,600 mg/kg

The analytical laboratory reporting limits for TPH-GRO, TPH-DRO and TPH-ORO are less than their respective Tier 1 ESLs. As presented in this report, TPH-GRO, TPH-DRO and TPH-ORO were not detected in any of the six soil samples collected and analyzed and are therefore less than the Tier 1 ESLs.

VOCs

The analytical laboratory reporting limits for VOCs are less than their respective Tier 1 ESLs for those VOCs that have ESLs. As presented in this report, VOCs were not detected in any of the six soil samples collected and analyzed and are therefore less than the Tier 1 ESLs.

Title 22 CAM 17 Metals

With regard to the 17 Title 22 Metals, the RWQCB Tier 1 and Tier 2 ESLs for soil are as follows:

	Mercury	Antimony	Arsenic	Barium	Beryllium	Cadmium	Chromium	Cobalt	Copper	Lead	Molybdenum	Nickel	Selenium	Silver	Thallium	Vanadium	Zinc
RWQCB Tier 1 ESLs	13	11	0.067	390	5.0	1.9	160	23	180	32	6.9	86	2.4	25	0.78	18	340
RWQCB Tier 2 ESLs	20	50	0.31	670	10	1.9	160	28	300	32	40.0	86	5.5	50	3.5	18	340

*Concentrations are in milligrams per Kilogram (mg/Kg)

As presented in this report, various concentrations of metals were detected in all six of the selected soil samples collected from the six exploratory soil borings at depths of two feet bgs. When comparing the analytical results of the soil samples collected and analyzed for the 17 Title 22 Metals during this assessment to the RWQCB ESLs as listed above, the results indicate the following:

- The soil samples collected and analyzed at a depth of two feet bgs from the six exploratory borings indicate no detectable concentrations of seven of the 17 Title 22 Metals (Antimony, Arsenic, Beryllium, Molybdenum, Selenium, Silver and Thallium).
- The concentrations of eight of the 17 Title 22 Metals (Mercury, Barium, Chromium, Cobalt, Copper, Lead, Nickel and Zinc) detected in the soil samples collected from the six exploratory borings at a depth of two feet bgs are less than the most conservative Tier 1 ESLs.
- With regard to the two other Title 22 metals (Cadmium and Vanadium) detected in the soil samples collected from the six exploratory borings, the results indicate the following:
 - Cadmium – The six soil samples (designated as EB-13(2), through EB-18(2)) indicate concentrations of Cadmium ranging between 4.6 mg/Kg and 5.3 mg/Kg, which are greater than the Tier 1 and Tier 2 ESLs of 1.9 mg/Kg. When comparing the concentrations of Cadmium detected in the soil samples to residential Direct Exposure Human Health Risk ESL for Cadmium (78 mg/Kg), these concentrations are significantly less than this ESL, and are likely representative of background concentrations of Cadmium for the site and vicinity.
 - Vanadium – The six soil samples (designated as EB-13(2), through EB-18(2)) indicate concentrations of Vanadium ranging between 140 mg/Kg and 157 mg/Kg, which are greater than the Tier 1 and Tier 2 ESLs of 18 mg/Kg. When comparing the concentrations of Vanadium detected in the soil samples to residential Direct Exposure Human Health Risk ESL for Vanadium (390 mg/Kg), these concentrations are significantly less than this ESL, and are likely representative of background concentrations of Vanadium for the site and vicinity.

IX. CONCLUSIONS AND RECOMMENDATIONS

As presented in the background section of this report, KCE Matrix previously performed a Phase I ESA for the subject site and identified one REC and one environmental concern as follows:

- REC – Historic Agricultural Land Use
- Environmental Concern - Construction Related Hazardous Materials Storage Areas

Historic Agricultural Land Use

With regard to the REC previously identified (Historic Agricultural Land Use) and based on the subsurface soil sampling work performed for this area of the property; the analytical results indicate concentrations of the contaminants of concern in all soil samples that are less than the applicable ESLs; and no further assessment and/or remediation work is necessary or recommended.

Construction Related Hazardous Materials Storage Areas

With regard to the Environmental Concern previously identified (Construction Related Hazardous Materials Storage Areas) and based on the subsurface soil sampling work performed for this area of the property; the analytical results indicate concentrations of the contaminants of concern in all soil samples that are less than the applicable ESLs; and no further assessment and/or remediation work is necessary or recommended.

Conclusion

Based on the subsurface environmental site assessment work performed and the evaluation of the data as presented in this report, subsurface soil at the subject property has not been impacted by the contaminants of concern. Therefore, the one REC and the one Environmental concern pertaining to subsurface soil as identified in the Phase I ESA report designated as (KCE-2022-427E-R1) dated November 14, 2022 prepared by KCE Matrix, have been adequately assessed and no further subsurface assessment and/or remediation work is warranted or recommended for the subject property, at this time.

X. LIMITATIONS

Site-specific subsurface conditions such as soil deposits and rock formations may vary in thickness, lithology, saturation strength and other properties across any site beyond what available documentation indicates. Therefore, it is possible that undocumented or concealed improvements or alterations to the property could exist beyond the inquiry of the activities conducted during this site assessment and associated remedial activities. In addition, environmental changes, either naturally occurring or artificially induced, may cause changes or alterations (which can be significant) to the property as compared to the conditions found at the time that this assessment was conducted.

Based on the best available investigative technologies, no amount of assessment can guarantee that the subject property does not contain contaminants or hazardous substances. The activities conducted during this limited investigation cannot identify all potential concerns for the subject property, and do not eliminate the possibility that the subject property is completely free of environmental concerns.

KCE Matrix has analyzed and evaluated the information collected during this investigation and associated remedial action using what we believe to be the currently applicable engineering techniques and principles. KCE Matrix assumes no liability from other parties involved in losses sustained as a result of decisions made based on interpretations of this report. KCE Matrix makes no warranty, either expressed or implied, regarding the work conducted, except that our services were performed in accordance with the generally accepted professional principles and practices existing for such work.

This report and all information obtained during this site assessment and associated remedial activities are considered confidential and will not be released without written permission by the owner of the subject property, the owner authorized entity conducting this assessment, or as required by law. The owner of the subject property is typically responsible for mitigation of contamination, corrective or remedial action, and disclosure of any information obtained during this site assessment and associated remedial activities or information contained in this report.

XI. SIGNATURE AND CERTIFICATION

KCE Matrix appreciates the opportunity to have provided services for this project. Should you have any questions regarding this report and the work performed, please do not hesitate to contact our office at 818-559-5500.

Sincerely,

KCE Matrix, Inc.



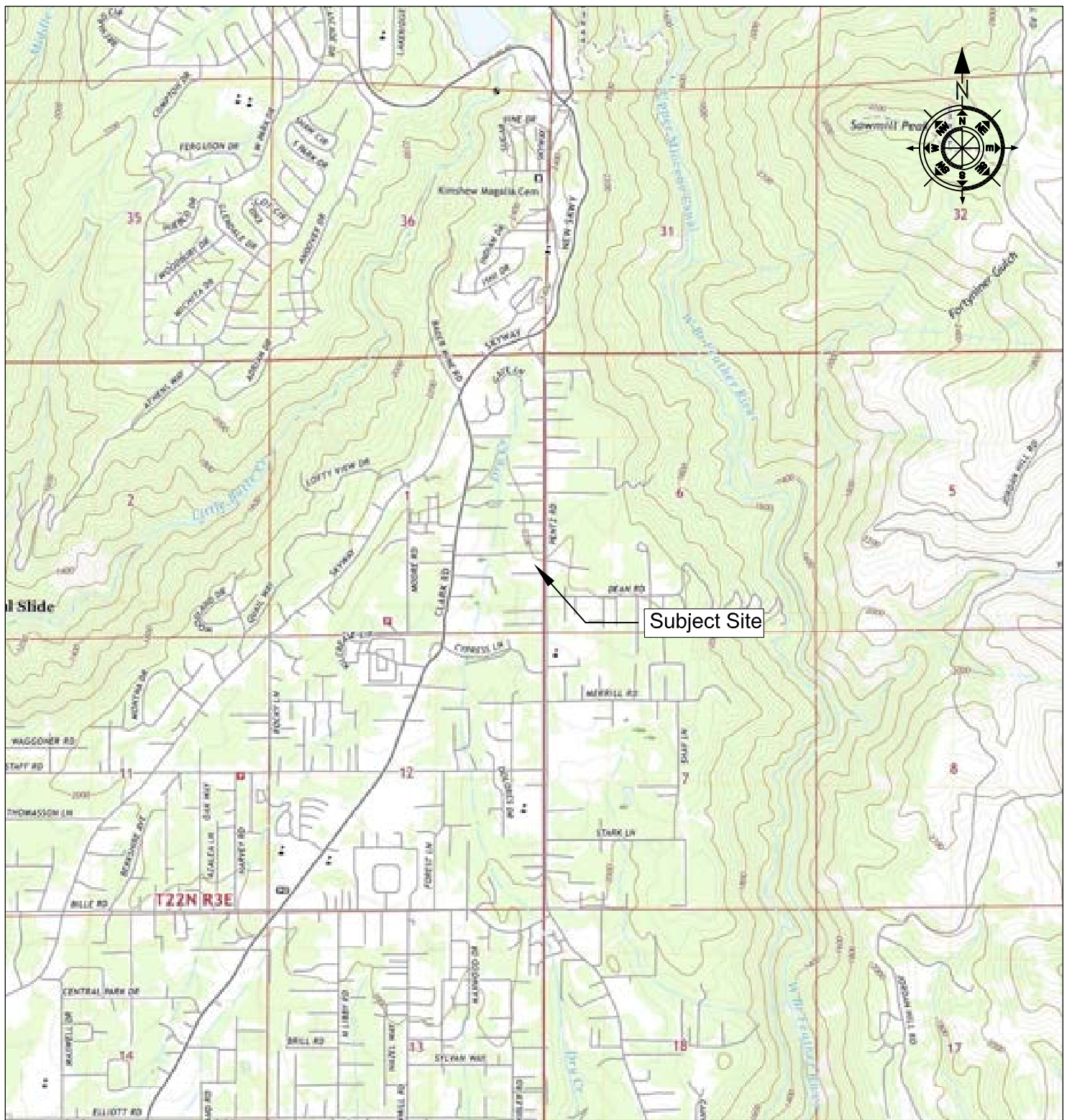
Aram B. Kaloustian, P.E.
Project Manager



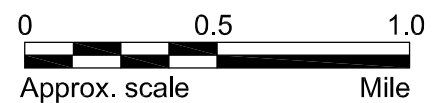
License No. C52428
Expiration Date: 12/31/22

APPENDIX A

(FIGURES 1 AND 2)



Map Center: Latitude 39.7885, Longitude -121.5804
 Subject site is located on the Paradise east quadrangle (Map Source Year: 2022)

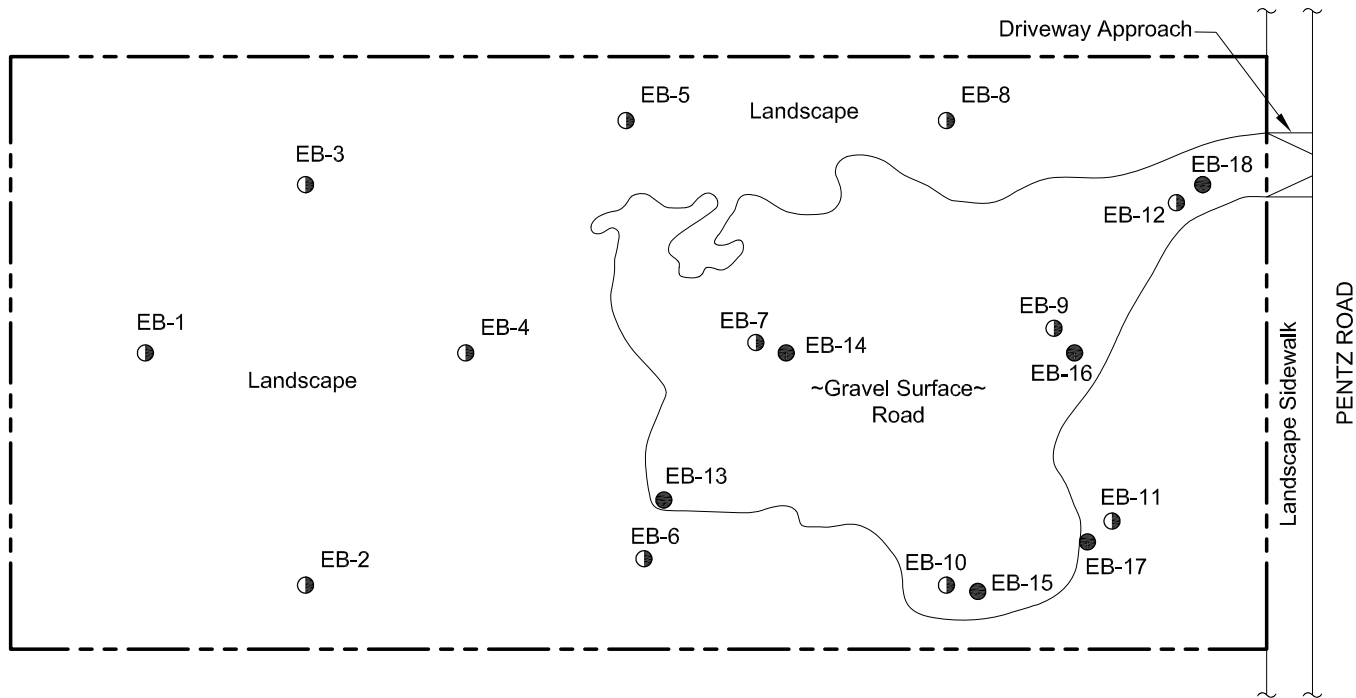


LOCATION MAP

VACANT LAND
 6983 PENTZ ROAD
 PARADISE, CALIFORNIA
 (APN: 050-082-023)

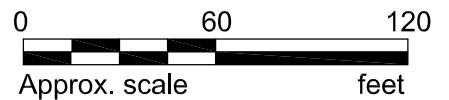
PROJECT ID: KCE-2022-427E

FIGURE 1



LEGEND

- Soil Boring - OCPs Assessment
- Soil Boring - HAZMAT Storage Areas Assessment



SITE PLAN - SUBSURFACE SOIL BORING AND SOIL SAMPLE LOCATIONS

APPENDIX B

(TABLES 1 THROUGH 5)

TABLE 1
ANALYTICAL LABORATORY RESULTS FOR SOIL SAMPLES

Vacant Land

6983 Pentz Road, Paradise, California, 95969

(Soil samples collected on November 30, 2022 by KCE Matrix, Inc.)

Sample ID	EB-1(2)		EB-2(2)		EB-3(2)		EB-4(2)		EB-5(2)		EB-6(2)		EB-7(2)		EB-8(2)		EB-9(2)		EB-10(2)		EB-11(2)		EB-12(2)			
	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)	Sample Depth	(µg/Kg)
Organo-Chloro Pesticides (EPA 608/8081A)																										
Aldrin		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
α-BHC		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
β-BHC		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
γ-BHC (Lindane)		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
δ-BHC		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
γ-Chlordane		ND		ND		ND		ND		0.5		ND		ND		ND		ND		ND		ND		ND		ND
α-Chlordane		ND		ND		ND		0.6		ND		ND		ND		ND		ND		ND		ND		ND		ND
4,4'-DDD		0.8		ND		ND		1.9		ND		ND		ND		ND		ND		ND		ND		ND		ND
4,4'-DDE		25.3		ND		ND		19.2		1.7		ND		ND		4.9		ND		ND		4.9		ND		ND
4,4'-DDT		4.2		ND		ND		9.5		ND		ND		ND		2.1		ND		ND		3.9		ND		ND
Dieldrin		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Endosulfan I		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Endosulfan II		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Endosulfan sulfate		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Endrin		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Endrin aldehyde		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Endrin ketone		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Heptachlor		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Heptachlor epoxide		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND
Methoxychlor		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND		ND

ND = Not Detected at or above Reporting Limit
µg/Kg = micrograms per Kilogram

TABLE 2
ANALYTICAL LABORATORY RESULTS FOR SOIL SAMPLES
 Vacant Land
 6983 Pentz Road, Paradise, California, 95969
 (Soil samples collected on November 30, 2022 by KCE Matrix, Inc.)

Sample Identification	Depth (Feet)	EPA 6010B by 3050B
		Arsenic (mg/kg)
EB-1(2)	2	ND
EB-2(2)	2	ND
EB-3(2)	2	ND
EB-4(2)	2	6.5
EB-5(2)	2	ND
EB-6(2)	2	ND
EB-7(2)	2	ND
EB-8(2)	2	ND
EB-9(2)	2	ND
EB-10(2)	2	ND
EB-11(2)	2	ND
EB-12(2)	2	ND
RWQCB Tier 1 ESLs (mg/Kg)		0.067
RWQCB Tier 2 ESLs (mg/Kg)		0.31

Bold result indicates concentration in excess of RWQCB Tier 1 ESL

TABLE 3**ANALYTICAL LABORATORY RESULTS FOR SOIL SAMPLES**

Vacant Land

6983 Pentz Road, Paradise, California, 95969

(Soil samples collected on November 30, 2022 by KCE Matrix, Inc.)

Sample Identification	Depth (Feet)	EPA 8015M		EPA 8260B
		TPH Oil Range Organics (mg/Kg)	TPH Diesel Range Organics (mg/Kg)	TPH Gasoline Range Organics (mg/Kg)
EB-13 (2)	2	ND	ND	ND
EB-14 (2)	2	ND	ND	ND
EB-15 (2)	2	ND	ND	ND
EB-16 (2)	2	ND	ND	ND
EB-17 (2)	2	ND	ND	ND
EB-18 (2)	2	ND	ND	ND
RWQCB Tier 1 ESL's (mg/kg)		1,600	260	120

Bold result indicates concentration in excess of RWQCB ESL

TABLE 4
ANALYTICAL LABORATORY RESULTS FOR SOIL SAMPLES
 Vacant Land
 6983 Pentz Road, Paradise, California, 95969
 (Soil samples collected on November 30, 2022 by KCE Matrix, Inc.)

Sample ID Sample Depth	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)	EB-18(2)
	2	2	2	2	2	2
	(µg/Kg)	(µg/Kg)	(µg/Kg)	(µg/Kg)	(µg/Kg)	(µg/Kg)
Organics (EPA 8260B)						
Benzene	ND	ND	ND	ND	ND	ND
Bromobenzene	ND	ND	ND	ND	ND	ND
Bromodichloromethane	ND	ND	ND	ND	ND	ND
Bromoform	ND	ND	ND	ND	ND	ND
n-Butylbenzene	ND	ND	ND	ND	ND	ND
sec-Butylbenzene	ND	ND	ND	ND	ND	ND
tert-Butylbenzene	ND	ND	ND	ND	ND	ND
Carbon tetrachloride	ND	ND	ND	ND	ND	ND
Chlorobenzene	ND	ND	ND	ND	ND	ND
Chloroform	ND	ND	ND	ND	ND	ND
2-Chlorotoluene	ND	ND	ND	ND	ND	ND
4-Chlorotoluene	ND	ND	ND	ND	ND	ND
Dibromochloromethane	ND	ND	ND	ND	ND	ND
1,2-Dibromo-3-chloropropane	ND	ND	ND	ND	ND	ND
1,2-Dibromoethane (EDB)	ND	ND	ND	ND	ND	ND
Dibromomethane	ND	ND	ND	ND	ND	ND
1,2- Dichlorobenzene	ND	ND	ND	ND	ND	ND
1,3-Dichlorobenzene	ND	ND	ND	ND	ND	ND
1,4-Dichlorobenzene	ND	ND	ND	ND	ND	ND
1,1-Dichloroethane	ND	ND	ND	ND	ND	ND
1,2-Dichloroethane	ND	ND	ND	ND	ND	ND
1,1-Dichloroethene	ND	ND	ND	ND	ND	ND
cis-1,2-Dichloroethene	ND	ND	ND	ND	ND	ND
trans-1,2-Dichloroethene	ND	ND	ND	ND	ND	ND
1,2-Dichloropropane	ND	ND	ND	ND	ND	ND
1,3-Dichloropropane	ND	ND	ND	ND	ND	ND
2,2-Dichloropropane	ND	ND	ND	ND	ND	ND
1,1-Dichloropropene	ND	ND	ND	ND	ND	ND
cis-1,3-Dichloropropene	ND	ND	ND	ND	ND	ND
trans-1,3-Dichloropropene	ND	ND	ND	ND	ND	ND
Ethylbenzene	ND	ND	ND	ND	ND	ND
Freon 11	ND	ND	ND	ND	ND	ND
Freon 12	ND	ND	ND	ND	ND	ND
Freon 113	ND	ND	ND	ND	ND	ND
Hexachlorobutadiene	ND	ND	ND	ND	ND	ND

ND = Not Detected at or above Reporting Limit
 µg/Kg = micrograms per Kilogram

TABLE 4**ANALYTICAL LABORATORY RESULTS FOR SOIL SAMPLES**

Vacant Land

6983 Pentz Road, Paradise, California, 95969

(Soil samples collected on November 30, 2022 by KCE Matrix, Inc.)

Sample ID Sample Depth Organics (EPA 8260B)	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)	EB-18(2)
	2	2	2	2	2	2
	(µg/Kg)	(µg/Kg)	(µg/Kg)	(µg/Kg)	(µg/Kg)	(µg/Kg)
Isopropylbenzene	ND	ND	ND	ND	ND	ND
4-Isopropyltoluene	ND	ND	ND	ND	ND	ND
Methylene chloride	ND	ND	ND	ND	ND	ND
Naphthalene	ND	ND	ND	ND	ND	ND
n-Propylbenzene	ND	ND	ND	ND	ND	ND
Styrene	ND	ND	ND	ND	ND	ND
1,1,1,2-Tetrachloroethane	ND	ND	ND	ND	ND	ND
1,1,2,2-Tetrachloroethane	ND	ND	ND	ND	ND	ND
Tetrachloroethene	ND	ND	ND	ND	ND	ND
Toluene	ND	ND	ND	ND	ND	ND
1,2,3-Trichlorobenzene	ND	ND	ND	ND	ND	ND
1,2,4-Trichlorobenzene	ND	ND	ND	ND	ND	ND
1,1,1-Trichloroethane	ND	ND	ND	ND	ND	ND
1,1,2-Trichloroethane	ND	ND	ND	ND	ND	ND
Trichloroethene	ND	ND	ND	ND	ND	ND
1,2,3-Trichloropropane	ND	ND	ND	ND	ND	ND
1,2,4-Trimethylbenzene	ND	ND	ND	ND	ND	ND
1,3,5-Trimethylbenzene	ND	ND	ND	ND	ND	ND
Vinyl chloride	ND	ND	ND	ND	ND	ND
m,p-Xylene	ND	ND	ND	ND	ND	ND
o-Xylene	ND	ND	ND	ND	ND	ND
Methyl-tert-butylether	ND	ND	ND	ND	ND	ND
Ethyl-tert-butylether	ND	ND	ND	ND	ND	ND
Di-isopropylether	ND	ND	ND	ND	ND	ND
tert-amylmethylether	ND	ND	ND	ND	ND	ND
tert-Butylalcohol	ND	ND	ND	ND	ND	ND

ND = Not Detected at or above Reporting Limit
µg/Kg = micrograms per Kilogram

TABLE 5
ANALYTICAL LABORATORY RESULTS FOR SOIL SAMPLES

Vacant Land
6983 Pentz Road, Paradise, California, 95969
(Soil samples collected on November 30, 2022 by KCE Matrix, Inc.)

Sample Identification	Depth (Feet)	EPA 6010B/7471A Metals																
		Mercury (mg/Kg)	Antimony (mg/Kg)	Arsenic (mg/Kg)	Barium (mg/Kg)	Beryllium (mg/Kg)	Cadmium (mg/Kg)	Chromium (mg/Kg)	Cobalt (mg/Kg)	Copper (mg/Kg)	Lead (mg/Kg)	Molybdenum (mg/Kg)	Nickel (mg/Kg)	Selenium (mg/Kg)	Silver (mg/Kg)	Thallium (mg/Kg)	Vanadium (mg/Kg)	Zinc (mg/Kg)
EB-13 (2)	2	0.068	ND	ND	95.7	ND	5.0	91.8	7.5	43.0	5.5	ND	48.6	ND	ND	ND	157	24.5
EB-14 (2)	2	0.076	ND	ND	150	ND	4.8	88.7	8.8	42.9	5.4	ND	47.5	ND	ND	ND	146	25.2
EB-15 (2)	2	0.095	ND	ND	136	ND	4.6	84.7	8.9	42.4	5.8	ND	46.5	ND	ND	ND	140	25.1
EB-16 (2)	2	0.062	ND	ND	151	ND	5.2	96.7	10.1	39.4	4.9	ND	46.7	ND	ND	ND	154	23.9
EB-17 (2)	2	0.099	ND	ND	155	ND	4.9	101	10.1	39.6	5.2	ND	41.1	ND	ND	ND	144	25.7
EB-18 (2)	2	ND	ND	ND	238	ND	5.3	91.8	12.2	46.0	4.4	ND	50.3	ND	ND	ND	157	23.2

RWQCB Tier 1 ESL's (mg/Kg)	13	11	0.067	390	5.0	1.9	160	23	180	32	6.9	86	2.4	25	0.78	18	340
RWQCB Tier 2 ESL's (mg/Kg)	20	50	0.31	670	10	1.9	160	28	300	32	40.0	86	5.5	50	3.5	18	340

Bold result indicates concentration in excess of RWQCB ESL

ND = Not Detected at or above Reporting Limit
mg/Kg = milligrams per Kilogram

APPENDIX C

**(LABORATORY REPORTS
AND CHAIN OF CUSTODY DOCUMENTATION)**



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 200
Burbank, CA 91506

Attn: Viken Melkonian

Project: Vacant Land-(KCE-2022-427E)
Project Address: 6983 Pentz Road (APN: 050-082-023)
Paradise, CA 95969

Report date: 12/9/2022
Jones Ref. No.: ST-21278
Client Ref. No.: KCE-2022-427E

Date Sampled: 11/30/2022
Date Received: 12/2/2022
Date Analyzed: 12/5/2022
Physical State: Soil

ANALYSES REQUESTED

Soil:

1. EPA 8015M – Extended Range Hydrocarbons
2. EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics
3. EPA 6010B by 3050B and EPA 7471A – CAM 17 Metals

Approval:

Annalise O'Toole, M.S.
Mobile Lab Technical Manager



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land (KCE-2022-427E)	Date Analyzed:	12/5/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8015M - Total Petroleum Hydrocarbons

<u>Sample ID:</u>	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)		
<u>Jones ID:</u>	ST-21278-01	ST-21278-02	ST-21278-03	ST-21278-04	ST-21278-05	<u>Reporting Limit</u>	<u>Units</u>
Carbon Chain Range							
C13 - C22	ND	ND	ND	ND	ND	10.0	mg/kg
C23 - C40	ND	ND	ND	ND	ND	10.0	mg/kg
<u>Dilution Factor</u>	1	1	1	1	1		
<u>Surrogate Recovery:</u>						<u>QC Limits</u>	
Hexacosane	103%	61%	123%	82%	110%	50 - 140	
<u>Batch:</u>	FID7_ 120522_01	FID7_ 120522_01	FID7_ 120522_01	FID7_ 120522_01	FID7_ 120522_01		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 200
 Burbank, CA 91506

Attn: Viken Melkonian

Project: Vacant Land (KCE-2022-427E)
Project Address: 6983 Pentz Road (APN: 050-082-023)
 Paradise, CA 95969

Report date: 12/9/2022
Jones Ref. No.: ST-21278
Client Ref. No.: KCE-2022-427E

Date Sampled: 11/30/2022
Date Received: 12/2/2022
Date Analyzed: 12/5/2022
Physical State: Soil

EPA 8015M - Total Petroleum Hydrocarbons

Sample ID: EB-18(2)

Jones ID: ST-21278-06

Reporting Limit **Units**

Carbon Chain Range

C13 - C22	ND	10.0	mg/kg
C23 - C40	ND	10.0	mg/kg

Dilution Factor 1

Surrogate Recovery:		QC Limits
Hexacosane	81%	50 - 140

Batch: FID7_
120522_01

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 200
 Burbank, CA 91506

Attn: Viken Melkonian

Project: Vacant Land (KCE-2022-427E)
Project Address: 6983 Pentz Road (APN: 050-082-023)
 Paradise, CA 95969

Report date: 12/9/2022
Jones Ref. No.: ST-21278
Client Ref. No.: KCE-2022-427E

Date Sampled: 11/30/2022
Date Received: 12/2/2022
Date Analyzed: 12/5/2022
Physical State: Soil

EPA 8015M - Total Petroleum Hydrocarbons

<u>Sample ID:</u>	METHOD		
	BLANK #1		
<u>Jones ID:</u>	MB1-		
	120522FID7		
		<u>Reporting Limit</u>	<u>Units</u>
Carbon Chain Range			
C13 - C22	ND	10.0	mg/kg
C23 - C40	ND	10.0	mg/kg
<u>Dilution Factor</u>	1		
<u>Surrogate Recovery:</u>			<u>QC Limits</u>
Hexacosane	140%		50 - 140
<u>Batch:</u>	FID7_		
	120522_01		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land (KCE-2022-427E)	Date Analyzed:	12/5/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

BATCH: FID7_120522_01 **Prepared:** 12/5/2022 **Analyzed:** 12/5/2022

EPA 8015M - Total Petroleum Hydrocarbons

	Result	Spike Level	% Recovery	% RPD	% Recovery Limits	Units
LCS:	LCS1-120522FID7	SAMPLE SPIKED:	CLEAN SOIL			

Analyte:

Diesel	514	500	103%		60 - 140	mg/kg
--------	------------	-----	------	--	----------	-------

Surrogate Recovery:

Hexacosane			136%		50 - 140	
------------	--	--	------	--	----------	--

LCSD:	LCSD1-120522FID7	SAMPLE SPIKED:	CLEAN SOIL			
--------------	------------------	-----------------------	------------	--	--	--

Analyte:

Diesel	543	500	109%	5.5%	60 - 140	mg/kg
--------	------------	-----	------	------	----------	-------

Surrogate Recoveries:

Hexacosane			129%		50 - 140	
------------	--	--	------	--	----------	--

CCV:	CCV1-120522FID7					
-------------	-----------------	--	--	--	--	--

Analyte:

Diesel	1090	1000	109%		80 - 120	mg/kg
--------	-------------	------	------	--	----------	-------

Surrogate Recoveries:

Hexacosane			118%		50 - 140	
------------	--	--	------	--	----------	--

LCS = Laboratory Control Sample
LCSD= Laboratory Control Sample Duplicate
CCV = Continuing Calibration Verification
RPD = Relative Percent Difference



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL LABORATORY RESULTS

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land (KCE-2022-427E)	Date Analyzed:	12/7/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

<u>Sample ID:</u>	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)		
<u>Jones ID:</u>	ST-21278-01	ST-21278-02	ST-21278-03	ST-21278-04	ST-21278-05	<u>Reporting Limit</u>	<u>Units</u>
Analytes:							
Benzene	ND	ND	ND	ND	ND	1.0	µg/kg
Bromobenzene	ND	ND	ND	ND	ND	1.0	µg/kg
Bromodichloromethane	ND	ND	ND	ND	ND	1.0	µg/kg
Bromoform	ND	ND	ND	ND	ND	1.0	µg/kg
n-Butylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
sec-Butylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
tert-Butylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
Carbon tetrachloride	ND	ND	ND	ND	ND	1.0	µg/kg
Chlorobenzene	ND	ND	ND	ND	ND	1.0	µg/kg
Chloroform	ND	ND	ND	ND	ND	1.0	µg/kg
2-Chlorotoluene	ND	ND	ND	ND	ND	1.0	µg/kg
4-Chlorotoluene	ND	ND	ND	ND	ND	1.0	µg/kg
Dibromochloromethane	ND	ND	ND	ND	ND	1.0	µg/kg
1,2-Dibromo-3-chloropropane	ND	ND	ND	ND	ND	1.0	µg/kg
1,2-Dibromoethane (EDB)	ND	ND	ND	ND	ND	1.0	µg/kg
Dibromomethane	ND	ND	ND	ND	ND	1.0	µg/kg
1,2- Dichlorobenzene	ND	ND	ND	ND	ND	1.0	µg/kg
1,3-Dichlorobenzene	ND	ND	ND	ND	ND	1.0	µg/kg
1,4-Dichlorobenzene	ND	ND	ND	ND	ND	1.0	µg/kg
1,1-Dichloroethane	ND	ND	ND	ND	ND	1.0	µg/kg
1,2-Dichloroethane (EDC)	ND	ND	ND	ND	ND	1.0	µg/kg
1,1-Dichloroethene	ND	ND	ND	ND	ND	1.0	µg/kg
cis-1,2-Dichloroethene	ND	ND	ND	ND	ND	1.0	µg/kg
trans-1,2-Dichloroethene	ND	ND	ND	ND	ND	1.0	µg/kg
1,2-Dichloropropane	ND	ND	ND	ND	ND	1.0	µg/kg
1,3-Dichloropropane	ND	ND	ND	ND	ND	1.0	µg/kg
2,2-Dichloropropane	ND	ND	ND	ND	ND	1.0	µg/kg
1,1-Dichloropropene	ND	ND	ND	ND	ND	1.0	µg/kg
cis-1,3-Dichloropropene	ND	ND	ND	ND	ND	1.0	µg/kg

JONES ENVIRONMENTAL LABORATORY RESULTS

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

Sample ID:	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)		
Jones ID:	ST-21278-01	ST-21278-02	ST-21278-03	ST-21278-04	ST-21278-05	Reporting Limit	Units
Analytes:							
trans-1,3-Dichloropropene	ND	ND	ND	ND	ND	1.0	µg/kg
Ethylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
Freon 11	ND	ND	ND	ND	ND	5.0	µg/kg
Freon 12	ND	ND	ND	ND	ND	5.0	µg/kg
Freon 113	ND	ND	ND	ND	ND	5.0	µg/kg
Hexachlorobutadiene	ND	ND	ND	ND	ND	1.0	µg/kg
Isopropylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
4-Isopropyltoluene	ND	ND	ND	ND	ND	1.0	µg/kg
Methylene chloride	ND	ND	ND	ND	ND	1.0	µg/kg
Naphthalene	ND	ND	ND	ND	ND	5.0	µg/kg
n-Propylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
Styrene	ND	ND	ND	ND	ND	1.0	µg/kg
1,1,1,2-Tetrachloroethane	ND	ND	ND	ND	ND	1.0	µg/kg
1,1,2,2-Tetrachloroethane	ND	ND	ND	ND	ND	1.0	µg/kg
Tetrachloroethene	ND	ND	ND	ND	ND	1.0	µg/kg
Toluene	ND	ND	ND	ND	ND	1.0	µg/kg
1,2,3-Trichlorobenzene	ND	ND	ND	ND	ND	3.0	µg/kg
1,2,4-Trichlorobenzene	ND	ND	ND	ND	ND	3.0	µg/kg
1,1,1-Trichloroethane	ND	ND	ND	ND	ND	1.0	µg/kg
1,1,2-Trichloroethane	ND	ND	ND	ND	ND	1.0	µg/kg
Trichloroethene	ND	ND	ND	ND	ND	1.0	µg/kg
1,2,3-Trichloropropane	ND	ND	ND	ND	ND	1.0	µg/kg
1,2,4-Trimethylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
1,3,5-Trimethylbenzene	ND	ND	ND	ND	ND	1.0	µg/kg
Vinyl chloride	ND	ND	ND	ND	ND	1.0	µg/kg
m,p-Xylene	ND	ND	ND	ND	ND	2.0	µg/kg
o-Xylene	ND	ND	ND	ND	ND	1.0	µg/kg
Methyl-tert-butylether	ND	ND	ND	ND	ND	5.0	µg/kg
Ethyl-tert-butylether	ND	ND	ND	ND	ND	5.0	µg/kg
Di-isopropylether	ND	ND	ND	ND	ND	5.0	µg/kg
tert-amylmethylether	ND	ND	ND	ND	ND	5.0	µg/kg
tert-Butylalcohol	ND	ND	ND	ND	ND	50.0	µg/kg
Gasoline Range Organics (C4-C12)	ND	ND	ND	ND	ND	0.20	mg/kg
Dilution Factor	1	1	1	1	1		
Surrogate Recoveries:						QC Limits	
Dibromofluoromethane	89%	90%	89%	91%	90%	60 - 140	
Toluene-d ₈	96%	96%	98%	96%	97%	60 - 140	
4-Bromofluorobenzene	106%	107%	105%	104%	104%	60 - 140	
Batch:	VOC7-120722-01	VOC7-120722-01	VOC7-120722-01	VOC7-120722-01	VOC7-120722-01		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL LABORATORY RESULTS

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land (KCE-2022-427E)	Date Analyzed:	12/7/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

Sample ID: EB-18(2)

Jones ID: ST-21278-06

Analytes:

		<u>Reporting Limit</u>	<u>Units</u>
Benzene	ND	1.0	µg/kg
Bromobenzene	ND	1.0	µg/kg
Bromodichloromethane	ND	1.0	µg/kg
Bromoform	ND	1.0	µg/kg
n-Butylbenzene	ND	1.0	µg/kg
sec-Butylbenzene	ND	1.0	µg/kg
tert-Butylbenzene	ND	1.0	µg/kg
Carbon tetrachloride	ND	1.0	µg/kg
Chlorobenzene	ND	1.0	µg/kg
Chloroform	ND	1.0	µg/kg
2-Chlorotoluene	ND	1.0	µg/kg
4-Chlorotoluene	ND	1.0	µg/kg
Dibromochloromethane	ND	1.0	µg/kg
1,2-Dibromo-3-chloropropane	ND	1.0	µg/kg
1,2-Dibromoethane (EDB)	ND	1.0	µg/kg
Dibromomethane	ND	1.0	µg/kg
1,2- Dichlorobenzene	ND	1.0	µg/kg
1,3-Dichlorobenzene	ND	1.0	µg/kg
1,4-Dichlorobenzene	ND	1.0	µg/kg
1,1-Dichloroethane	ND	1.0	µg/kg
1,2-Dichloroethane (EDC)	ND	1.0	µg/kg
1,1-Dichloroethene	ND	1.0	µg/kg
cis-1,2-Dichloroethene	ND	1.0	µg/kg
trans-1,2-Dichloroethene	ND	1.0	µg/kg
1,2-Dichloropropane	ND	1.0	µg/kg
1,3-Dichloropropane	ND	1.0	µg/kg
2,2-Dichloropropane	ND	1.0	µg/kg
1,1-Dichloropropene	ND	1.0	µg/kg
cis-1,3-Dichloropropene	ND	1.0	µg/kg

JONES ENVIRONMENTAL LABORATORY RESULTS

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

Sample ID: EB-18(2)

Jones ID: ST-21278-06

Analytes:		Reporting Limit	Units
trans-1,3-Dichloropropene	ND	1.0	µg/kg
Ethylbenzene	ND	1.0	µg/kg
Freon 11	ND	5.0	µg/kg
Freon 12	ND	5.0	µg/kg
Freon 113	ND	5.0	µg/kg
Hexachlorobutadiene	ND	1.0	µg/kg
Isopropylbenzene	ND	1.0	µg/kg
4-Isopropyltoluene	ND	1.0	µg/kg
Methylene chloride	ND	1.0	µg/kg
Naphthalene	ND	5.0	µg/kg
n-Propylbenzene	ND	1.0	µg/kg
Styrene	ND	1.0	µg/kg
1,1,1,2-Tetrachloroethane	ND	1.0	µg/kg
1,1,2,2-Tetrachloroethane	ND	1.0	µg/kg
Tetrachloroethene	ND	1.0	µg/kg
Toluene	ND	1.0	µg/kg
1,2,3-Trichlorobenzene	ND	3.0	µg/kg
1,2,4-Trichlorobenzene	ND	3.0	µg/kg
1,1,1-Trichloroethane	ND	1.0	µg/kg
1,1,2-Trichloroethane	ND	1.0	µg/kg
Trichloroethene	ND	1.0	µg/kg
1,2,3-Trichloropropane	ND	1.0	µg/kg
1,2,4-Trimethylbenzene	ND	1.0	µg/kg
1,3,5-Trimethylbenzene	ND	1.0	µg/kg
Vinyl chloride	ND	1.0	µg/kg
m,p-Xylene	ND	2.0	µg/kg
o-Xylene	ND	1.0	µg/kg
Methyl-tert-butylether	ND	5.0	µg/kg
Ethyl-tert-butylether	ND	5.0	µg/kg
Di-isopropylether	ND	5.0	µg/kg
tert-amylmethylether	ND	5.0	µg/kg
tert-Butylalcohol	ND	50.0	µg/kg
Gasoline Range Organics (C4-C12)	ND	0.20	mg/kg

Dilution Factor 1

Surrogate Recoveries:		QC Limits
Dibromofluoromethane	89%	60 - 140
Toluene-d ₈	95%	60 - 140
4-Bromofluorobenzene	105%	60 - 140

Batch: VOC7-120722-01

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL LABORATORY RESULTS

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land (KCE-2022-427E)	Date Analyzed:	12/7/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

<u>Sample ID:</u>	<u>METHOD</u>		
	BLANK #1		
Jones ID:	120722- V7MB1	Reporting Limit	Units
Analytes:			
Benzene	ND	1.0	µg/kg
Bromobenzene	ND	1.0	µg/kg
Bromodichloromethane	ND	1.0	µg/kg
Bromoform	ND	1.0	µg/kg
n-Butylbenzene	ND	1.0	µg/kg
sec-Butylbenzene	ND	1.0	µg/kg
tert-Butylbenzene	ND	1.0	µg/kg
Carbon tetrachloride	ND	1.0	µg/kg
Chlorobenzene	ND	1.0	µg/kg
Chloroform	ND	1.0	µg/kg
2-Chlorotoluene	ND	1.0	µg/kg
4-Chlorotoluene	ND	1.0	µg/kg
Dibromochloromethane	ND	1.0	µg/kg
1,2-Dibromo-3-chloropropane	ND	1.0	µg/kg
1,2-Dibromoethane (EDB)	ND	1.0	µg/kg
Dibromomethane	ND	1.0	µg/kg
1,2-Dichlorobenzene	ND	1.0	µg/kg
1,3-Dichlorobenzene	ND	1.0	µg/kg
1,4-Dichlorobenzene	ND	1.0	µg/kg
1,1-Dichloroethane	ND	1.0	µg/kg
1,2-Dichloroethane	ND	1.0	µg/kg
1,1-Dichloroethene	ND	1.0	µg/kg
cis-1,2-Dichloroethene	ND	1.0	µg/kg
trans-1,2-Dichloroethene	ND	1.0	µg/kg
1,2-Dichloropropane	ND	1.0	µg/kg
1,3-Dichloropropane	ND	1.0	µg/kg
2,2-Dichloropropane	ND	1.0	µg/kg
1,1-Dichloropropene	ND	1.0	µg/kg
cis-1,3-Dichloropropene	ND	1.0	µg/kg

JONES ENVIRONMENTAL LABORATORY RESULTS

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

<u>Sample ID:</u>	METHOD BLANK #1		
<u>Jones ID:</u>	120722- V7MB1		
Analytes:		<u>Reporting Limit</u>	<u>Units</u>
trans-1,3-Dichloropropene	ND	1.0	µg/kg
Ethylbenzene	ND	1.0	µg/kg
Freon 11	ND	5.0	µg/kg
Freon 12	ND	5.0	µg/kg
Freon 113	ND	5.0	µg/kg
Hexachlorobutadiene	ND	1.0	µg/kg
Isopropylbenzene	ND	1.0	µg/kg
4-Isopropyltoluene	ND	1.0	µg/kg
Methylene chloride	ND	1.0	µg/kg
Naphthalene	ND	5.0	µg/kg
n-Propylbenzene	ND	1.0	µg/kg
Styrene	ND	1.0	µg/kg
1,1,1,2-Tetrachloroethane	ND	1.0	µg/kg
1,1,2,2-Tetrachloroethane	ND	1.0	µg/kg
Tetrachloroethene	ND	1.0	µg/kg
Toluene	ND	1.0	µg/kg
1,2,3-Trichlorobenzene	ND	3.0	µg/kg
1,2,4-Trichlorobenzene	ND	3.0	µg/kg
1,1,1-Trichloroethane	ND	1.0	µg/kg
1,1,2-Trichloroethane	ND	1.0	µg/kg
Trichloroethene	ND	1.0	µg/kg
1,2,3-Trichloropropane	ND	1.0	µg/kg
1,2,4-Trimethylbenzene	ND	1.0	µg/kg
1,3,5-Trimethylbenzene	ND	1.0	µg/kg
Vinyl chloride	ND	1.0	µg/kg
m,p-Xylene	ND	2.0	µg/kg
o-Xylene	ND	1.0	µg/kg
Methyl-tert-butylether	ND	5.0	µg/kg
Ethyl-tert-butylether	ND	5.0	µg/kg
Di-isopropylether	ND	5.0	µg/kg
tert-amylmethylether	ND	5.0	µg/kg
tert-Butylalcohol	ND	50.0	µg/kg
Gasoline Range Organics (C4-C12)	ND	0.20	mg/kg
<u>Dilution Factor</u>	1		
<u>Surrogate Recoveries:</u>		<u>QC Limits</u>	
Dibromofluoromethane	82%	60 - 140	
Toluene-d ₈	102%	60 - 140	
4-Bromofluorobenzene	102%	60 - 140	
<u>Batch:</u>	VOC7-120722- 01		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land (KCE-2022-427E)	Date Analyzed:	12/7/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8260B by 5035 – Volatile Organics by GC/MS + Oxygenates/Gasoline Range Organics

GC#:	VOC7-120722-01					
Jones ID:	120722-V7LCS1	120722-V7LCSD1			120722-V7CCV1	
<u>Parameter</u>	LCS Recovery (%)	LCSD Recovery (%)	<u>RPD</u>	Acceptability Range (%)	<u>CCV</u>	Acceptability Range (%)
Vinyl chloride	82%	78%	5.2%	60 - 140	102%	80 - 120
1,1-Dichloroethene	88%	79%	10.0%	60 - 140	84%	80 - 120
Cis-1,2-Dichloroethene	92%	84%	9.0%	70 - 130	88%	80 - 120
1,1,1-Trichloroethane	84%	79%	6.5%	70 - 130	86%	80 - 120
Benzene	108%	97%	10.5%	70 - 130	106%	80 - 120
Trichloroethene	88%	82%	6.9%	70 - 130	86%	80 - 120
Toluene	108%	100%	8.0%	70 - 130	106%	80 - 120
Tetrachloroethene	96%	84%	13.2%	70 - 130	91%	80 - 120
Chlorobenzene	109%	102%	7.1%	70 - 130	108%	80 - 120
Ethylbenzene	105%	94%	10.4%	70 - 130	109%	80 - 120
1,2,4 Trimethylbenzene	96%	89%	7.4%	70 - 130	107%	80 - 120
Gasoline Range Organics (C4-C12)	104%	95%	9.1%	70 - 130	107%	
Surrogate Recovery:						
Dibromofluoromethane	86%	86%		60 - 140	93%	60 - 140
Toluene-d ₈	101%	101%		60 - 140	104%	60 - 140
4-Bromofluorobenzene	110%	112%		60 - 140	127%	60 - 140

LCS = Laboratory Control Sample
 LCSD = Laboratory Control Sample Duplicate
 CCV = Continuing Calibration Verification
 RPD = Relative Percent Difference; Acceptability range for RPD is ≤ 20%



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project Name:	Vacant Land-(KCE-2022-427E)	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 6010B - CAM 17 Metals by ICP-OES

<u>Sample ID:</u>	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)		
<u>Jones ID:</u>	ST-21278-01	ST-21278-02	ST-21278-03	ST-21278-04	ST-21278-05	<u>Reporting Limit</u>	<u>Units</u>
Analytes:							
Silver, Ag	ND	ND	ND	ND	ND	0.5	mg/kg
Arsenic, As	ND	ND	ND	ND	ND	5.0	mg/kg
Barium, Ba	95.7	150	136	151	155	0.5	mg/kg
Beryllium, Be	ND	ND	ND	ND	ND	0.5	mg/kg
Cadmium, Cd	5.0	4.8	4.6	5.2	4.9	0.5	mg/kg
Cobalt, Co	7.5	8.8	8.9	10.1	10.1	0.5	mg/kg
Chromium, Cr	91.8	88.7	84.7	96.7	101	0.5	mg/kg
Copper, Cu	43.0	42.9	42.4	39.4	39.6	0.5	mg/kg
Molybdenum, Mo	ND	ND	ND	ND	ND	0.5	mg/kg
Nickel, Ni	48.6	47.5	46.5	46.7	41.1	0.5	mg/kg
Lead, Pb	5.5	5.4	5.8	4.9	5.2	0.5	mg/kg
Antimony, Sb	ND	ND	ND	ND	ND	5.0	mg/kg
Selenium, Se	ND	ND	ND	ND	ND	5.0	mg/kg
Thallium, Tl	ND	ND	ND	ND	ND	5.0	mg/kg
Vanadium, V	157	146	140	154	144	0.5	mg/kg
Zinc, Zn	24.5	25.2	25.1	23.9	25.7	0.5	mg/kg
<u>Dilution Factor</u>	1	1	1	1	1		
<u>Batch ID:</u>	I22120502	I22120502	I22120502	I22120502	I22120502		

EPA 7471A - Mercury by Cold Vapor Atomic Absorption

<u>Sample ID:</u>	EB-13(2)	EB-14(2)	EB-15(2)	EB-16(2)	EB-17(2)		
<u>Jones ID:</u>	ST-21278-01	ST-21278-02	ST-21278-03	ST-21278-04	ST-21278-05	<u>Reporting Limit</u>	<u>Units</u>
Mercury, Hg	0.068	0.076	0.095	0.062	0.099	0.020	mg/kg
<u>Dilution Factor</u>	1	1	1	1	1		
<u>Batch ID:</u>	H22120501	H22120501	H22120501	H22120501	H22120501		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project Name:	Vacant Land-(KCE-2022-427E)	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 6010B - CAM 17 Metals by ICP-OES

Sample ID:	EB-18(2)		
Jones ID:	ST-21278-06	Reporting Limit	Units
Analytes:			
Silver, Ag	ND	0.5	mg/kg
Arsenic, As	ND	5.0	mg/kg
Barium, Ba	238	0.5	mg/kg
Beryllium, Be	ND	0.5	mg/kg
Cadmium, Cd	5.3	0.5	mg/kg
Cobalt, Co	12.2	0.5	mg/kg
Chromium, Cr	91.8	0.5	mg/kg
Copper, Cu	46.0	0.5	mg/kg
Molybdenum, Mo	ND	0.5	mg/kg
Nickel, Ni	50.3	0.5	mg/kg
Lead, Pb	4.4	0.5	mg/kg
Antimony, Sb	ND	5.0	mg/kg
Selenium, Se	ND	5.0	mg/kg
Thallium, Tl	ND	5.0	mg/kg
Vanadium, V	157	0.5	mg/kg
Zinc, Zn	23.2	0.5	mg/kg
Dilution Factor	1		
Batch ID:	I22120502		

EPA 7471A - Mercury by Cold Vapor Atomic Absorption

Sample ID:	EB-18(2)		
Jones ID:	ST-21278-06	Reporting Limit	Units
Mercury, Hg	ND	0.020	mg/kg
Dilution Factor	1		
Batch ID:	H22120501		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project Name:	Vacant Land-(KCE-2022-427E)	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 6010B - CAM 17 Metals by ICP-OES

Batch ID:	I22120502	Prepared:	12/5/2022	Analyzed:	12/6/2022
Analytes:	Result			Reporting Limit	Units
METHOD BLANK:	I221205-MB2				
Silver, Ag	ND			0.5	mg/kg
Arsenic, As	ND			5.0	mg/kg
Barium, Ba	ND			0.5	mg/kg
Beryllium, Be	ND			0.5	mg/kg
Cadmium, Cd	ND			0.5	mg/kg
Cobalt, Co	ND			0.5	mg/kg
Chromium, Cr	ND			0.5	mg/kg
Copper, Cu	ND			0.5	mg/kg
Molybdenum, Mo	ND			0.5	mg/kg
Nickel, Ni	ND			0.5	mg/kg
Lead, Pb	ND			0.5	mg/kg
Antimony, Sb	ND			5.0	mg/kg
Selenium, Se	ND			5.0	mg/kg
Thallium, Tl	ND			5.0	mg/kg
Vanadium, V	ND			0.5	mg/kg
Zinc, Zn	ND			0.5	mg/kg

ND= Not Detected



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client:	KCE Matrix, Inc.	Report date:	12/9/2022
Client Address:	1112 W. Burbank Blvd., Suite 200 Burbank, CA 91506	Jones Ref. No.:	ST-21278
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project Name:	Vacant Land-(KCE-2022-427E)	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 6010B - CAM 17 Metals by ICP-OES

Batch ID:	I22120502		Prepared:	12/5/2022	Analyzed:	12/6/2022	
Analytes:	Result	Spike Level		% REC	% RPD	% REC Limits	Units
LCS:	I221205-LCS2						
Barium, Ba	205	200		103%		80 - 120	mg/kg
Cobalt, Co	52.8	50.0		106%		80 - 120	mg/kg
Lead, Pb	52.2	50.0		104%		80 - 120	mg/kg
Selenium, Se	186	200		93%		80 - 120	mg/kg
Zinc, Zn	44.9	50.0		90%		80 - 120	mg/kg
LCSD:	I221205-LCSD2						
Barium, Ba	208	200		104%	1.5%	80 - 120	mg/kg
Cobalt, Co	51.6	50.0		103%	2.3%	80 - 120	mg/kg
Lead, Pb	51.4	50.0		103%	1.5%	80 - 120	mg/kg
Selenium, Se	184	200		92%	1.1%	80 - 120	mg/kg
Zinc, Zn	45.0	50.0		90%	0.2%	80 - 120	mg/kg
CCV:	I221205-CCV2						
Barium, Ba	1.00	1.00		100%		90-110	mg/L
Cobalt, Co	1.04	1.00		104%		90-110	mg/L
Lead, Pb	1.03	1.00		103%		90-110	mg/L
Selenium, Se	1.00	1.00		100%		90-110	mg/L
Zinc, Zn	0.99	1.00		99%		90-110	mg/L

CCV = Continuing Calibration Verification
LCS = Laboratory Control Sample
LCSD= Laboratory Control Sample Duplicate
RPD = Relative Percent Difference; Acceptability range for RPD is ≤ 20%



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 200
Burbank, CA 91506

Attn: Viken Melkonian

Project Name: Vacant Land-(KCE-2022-427E)
Project Address: 6983 Pentz Road (APN: 050-082-023)
Paradise, CA 95969

Report date: 12/9/2022
Jones Ref. No.: ST-21278
Client Ref. No.: KCE-2022-427E


Date Sampled: 11/30/2022
Date Received: 12/2/2022
Date Analyzed: 12/6/2022
Physical State: Soil

EPA 7471A - Mercury by Cold Vapor Atomic Absorption

Batch ID:	H22120501			Prepared:	12/5/2022	Analyzed:	12/6/2022	
Analytes:	Result	Spike Level	% REC	% RPD	% REC Limits	Reporting Limit	Units	
METHOD BLANK:	H221205-MB1							
Mercury, Hg	ND					0.020	mg/kg	
LCS:	H221205-LCS1							
Mercury, Hg	0.98	1.00	98%		80 - 120		mg/kg	
LCSD:	H221205-LCSD1							
Mercury, Hg	0.97	1.00	97%	1.0%	80 - 120		mg/kg	
CCV:	H221205-CCV1							
Mercury, Hg	4.99	5.00	100%		90-110		µg/L	

ND= Not Detected
RPD = Relative Percent Difference; Acceptability range for RPD is ≤ 20%
LCS = Laboratory Control Sample
LCSD= Laboratory Control Sample Duplicate
CCV = Continuing Calibration Verification

CHAIN OF CUSTODY
KCE Matrix, Inc.

Sampled By: Viken Melkonian (Print Name)  (Signature)

Vacant Land - (KCE-2022-427E) Project Name/Location

6983 Pentz Road (APN: 050-082-023) Project Address

Paradise, California 95969 City, State, Zip Code

Date	Time	Sample ID	Sample Description	Grab	Comp	# of Containers	Preserved? (Y/N)	Analyses Requested					Comments and Remarks	
								TPH-Diesel/Oil (EPA 8015)	VOCs + TPH-G (EPA 8260B)	Tride 22 Metals (EPA 6010B/7471A)				
11/30/22		EB-13(2)	Soil	X		4	Y	X	X	X				ST-21278-01
11/30/22		EB-14(2)	Soil	X		4	Y	X	X	X				ST-21278-02
11/30/22		EB-15(2)	Soil	X		4	Y	X	X	X				ST-21278-03
11/30/22		EB-16(2)	Soil	X		4	Y	X	X	X				ST-21278-04
11/30/22		EB-17(2)	Soil	X		4	Y	X	X	X				ST-21278-05
11/30/22		EB-18(2)	Soil	X		4	Y	X	X	X				ST-21278-06


Work Requested/Turnaround Time: 24 Hrs Normal 48 Hrs 72 Hrs


Other: _____


(Relinquished By) _____ (Date) _____ (Time) _____

(Received By) _____ (Date) _____ (Time) _____

(Relinquished By)  (Date) 12/2/22 (Time) 0900

(Received By)  (Date) 12/12 (Time) 12-35

(Relinquished By)  (Date) 12/12 (Time) 12-35

(Received By)  (Date) _____ (Time) _____



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506

Attn: Viken Melkonian

Project: Vacant Land
Project Address: 6983 Pentz Road (APN: 050-082-023)
Paradise, CA 95969

Report date: 12/08/22
Jones Ref. No.: ST-21280
Client Ref. No.: KCE-2022-427E

Date Sampled: 11/30/22
Date Received: 12/02/22
Date Analyzed: 12/6&5/22
Physical State: Soil

ANALYSES REQUESTED

Soil:

1. EPA 6010B – Arsenic (As)
2. EPA 8081A by 3546 – Chlorinated Pesticides by GC/ECD

Approval: _____

Douglas A. Fowler, MS.
Senior Chemist



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 301
 Burbank, CA 91506

Attn: Viken Melkonian

Project: Vacant Land
Project Address: 6983 Pentz Road (APN: 050-082-023)
 Paradise, CA 95969

Report date: 12/8/2022
Jones Ref. No.: ST-21280
Client Ref. No.: KCE-2022-427E

Date Sampled: 11/30/2022
Date Received: 12/2/2022
Date Analyzed: 12/5/2022
Physical State: Soil

EPA 6010B - Arsenic by ICP-OES

<u>Sample ID:</u>	EB-1(2)	EB-2(2)	EB-3(2)	EB-4(2)	EB-5(2)		
<u>Jones ID:</u>	ST-21280-01	ST-21280-02	ST-21280-03	ST-21280-04	ST-21280-05	<u>Reporting Limit</u>	<u>Units</u>
<u>Analytes:</u> Arsenic, As	ND	ND	ND	6.5	ND	5.0	mg/kg
<u>Dilution Factor</u>	1	1	1	1	1		
<u>Batch ID:</u>	I22120501	I22120501	I22120501	I22120501	I22120501		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/5/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 6010B - Arsenic by ICP-OES

<u>Sample ID:</u>	EB-6(2)	EB-7(2)	EB-8(2)	EB-9(2)	EB-10(2)		
<u>Jones ID:</u>	ST-21280-06	ST-21280-07	ST-21280-08	ST-21280-09	ST-21280-10	<u>Reporting Limit</u>	<u>Units</u>
Analytes:							
Arsenic, As	ND	ND	ND	ND	ND	5.0	mg/kg
<u>Dilution Factor</u>	1	1	1	1	1		
<u>Batch ID:</u>	I22120501	I22120501	I22120501	I22120501	I22120501		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/5/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 6010B - Arsenic by ICP-OES

<u>Sample ID:</u>	EB-11(2)	EB-12(2)		
<u>Jones ID:</u>	ST-21280-11	ST-21280-12	<u>Reporting Limit</u>	<u>Units</u>
<u>Analytes:</u>				
Arsenic, As	ND	ND	5.0	mg/kg
<u>Dilution Factor</u>	1	1		
<u>Batch ID:</u>	I22120501	I22120501		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client: KCE Matrix, Inc.
Client Address: 1112 W. Burbank Blvd., Suite 301
Burbank, CA 91506

Attn: Viken Melkonian

Project: Vacant Land
Project Address: 6983 Pentz Road (APN: 050-082-023)
Paradise, CA 95969

Report date: 12/8/2022
Jones Ref. No.: ST-21280
Client Ref. No.: KCE-2022-427E

Date Sampled: 11/30/2022
Date Received: 12/2/2022
Date Analyzed: 12/5/2022
Physical State: Soil

EPA 6010B - Arsenic by ICP-OES

Batch ID:	I22120501			Prepared:	12/5/2022	Analyzed:	12/5/2022	
Analytes:	Result	Spike Level	% REC	% RPD	% REC Limits	Reporting Limit	Units	
METHOD BLANK:	I221205-MB1							
Arsenic, As	ND					5.0	mg/kg	
LCS:	I221205-LCS1							
Arsenic, As	189	200	95%		80 - 120		mg/kg	
LCSD:	I221205-LCSD1							
Arsenic, As	181	200	91%	4.3%	80 - 120		mg/kg	
CCV:	I221205-CCV1							
Arsenic, As	0.99	1.00	99%		90-110		mg/L	

CCV = Continuing Calibration Verification
LCS = Laboratory Control Sample
LCSD= Laboratory Control Sample Duplicate
RPD = Relative Percent Difference; Acceptability range for RPD is ≤ 20%



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8081A – Chlorinated Pesticides by GC/ECD

<u>Sample ID:</u>	<u>EB-1(2)</u>	<u>EB-2(2)</u>	<u>EB-3(2)</u>	<u>EB-4(2)</u>	<u>EB-5(2)</u>	<u>Reporting Limit</u>	<u>Units</u>
Jones ID:	ST-21280-01	ST-21280-02	ST-21280-03	ST-21280-04	ST-21280-05		
Analytes:							
α-BHC	ND	ND	ND	ND	ND	0.4	ug/kg
γ-BHC (Lindane)	ND	ND	ND	ND	ND	0.4	ug/kg
β-BHC	ND	ND	ND	ND	ND	0.4	ug/kg
Heptachlor	ND	ND	ND	ND	ND	0.4	ug/kg
δ-BHC	ND	ND	ND	ND	ND	0.4	ug/kg
Aldrin	ND	ND	ND	ND	ND	0.4	ug/kg
Heptachlor Epoxide	ND	ND	ND	ND	ND	0.4	ug/kg
γ-Chlordane	ND	ND	ND	ND	0.5	0.4	ug/kg
α-Chlordane	ND	ND	ND	0.6	ND	0.4	ug/kg
Endosulfan I	ND	ND	ND	ND	ND	0.4	ug/kg
4,4'-DDE	25.3	ND	ND	19.2	1.7	0.8	ug/kg
Dieldrin	ND	ND	ND	ND	ND	0.8	ug/kg
Endrin	ND	ND	ND	ND	ND	0.8	ug/kg
4,4'-DDD	0.8	ND	ND	1.9	ND	0.8	ug/kg
Endosulfan II	ND	ND	ND	ND	ND	0.8	ug/kg
4,4'-DDT	4.2	ND	ND	9.5	ND	0.8	ug/kg
Endrin Aldehyde	ND	ND	ND	ND	ND	0.8	ug/kg
Endosulfan Sulfate	ND	ND	ND	ND	ND	0.8	ug/kg
Methoxychlor	ND	ND	ND	ND	ND	4.0	ug/kg
Endrin Ketone	ND	ND	ND	ND	ND	0.8	ug/kg
Toxaphene	ND	ND	ND	ND	ND	20	ug/kg

<u>Dilution Factor</u>	1	1	1	1	1		
-------------------------------	---	---	---	---	---	--	--

<u>Surrogate Recovery:</u>						<u>QC Limits</u>
TCMX	81%	114%	88%	90%	76%	30 - 120
Decachlorobiphenyl	89%	114%	93%	101%	91%	30 - 120

<u>Batch:</u>	ECD4_	ECD4_	ECD4_	ECD4_	ECD4_
	120622_01	120622_01	120622_01	120622_01	120622_01

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8081A – Chlorinated Pesticides by GC/ECD

<u>Sample ID:</u>	EB-6(2)	EB-7(2)	EB-8(2)	EB-9(2)	EB-10(2)		
<u>Jones ID:</u>	ST-21280-06	ST-21280-07	ST-21280-08	ST-21280-09	ST-21280-10	<u>Reporting Limit</u>	<u>Units</u>
Analytes:							
α-BHC	ND	ND	ND	ND	ND	0.4	ug/kg
γ-BHC (Lindane)	ND	ND	ND	ND	ND	0.4	ug/kg
β-BHC	ND	ND	ND	ND	ND	0.4	ug/kg
Heptachlor	ND	ND	ND	ND	ND	0.4	ug/kg
δ-BHC	ND	ND	ND	ND	ND	0.4	ug/kg
Aldrin	ND	ND	ND	ND	ND	0.4	ug/kg
Heptachlor Epoxide	ND	ND	ND	ND	ND	0.4	ug/kg
γ-Chlordane	ND	ND	ND	ND	ND	0.4	ug/kg
α-Chlordane	ND	ND	ND	ND	ND	0.4	ug/kg
Endosulfan I	ND	ND	ND	ND	ND	0.4	ug/kg
4,4'-DDE	ND	ND	4.9	ND	ND	0.8	ug/kg
Dieldrin	ND	ND	ND	ND	ND	0.8	ug/kg
Endrin	ND	ND	ND	ND	ND	0.8	ug/kg
4,4'-DDD	ND	ND	ND	ND	ND	0.8	ug/kg
Endosulfan II	ND	ND	ND	ND	ND	0.8	ug/kg
4,4'-DDT	ND	ND	2.1	ND	ND	0.8	ug/kg
Endrin Aldehyde	ND	ND	ND	ND	ND	0.8	ug/kg
Endosulfan Sulfate	ND	ND	ND	ND	ND	0.8	ug/kg
Methoxychlor	ND	ND	ND	ND	ND	4.0	ug/kg
Endrin Ketone	ND	ND	ND	ND	ND	0.8	ug/kg
Toxaphene	ND	ND	ND	ND	ND	20	ug/kg
<u>Dilution Factor</u>	1	1	1	1	1		
<u>Surrogate Recovery:</u>						<u>QC Limits</u>	
TCMX	93%	44%	76%	88%	73%	30 - 120	
Decachlorobiphenyl	113%	46%	89%	98%	80%	30 - 120	
<u>Batch:</u>	ECD4_ 120622_01	ECD4_ 120622_01	ECD4_ 120622_01	ECD4_ 120622_01	ECD4_ 120622_01		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

**JONES ENVIRONMENTAL
LABORATORY RESULTS**

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

EPA 8081A – Chlorinated Pesticides by GC/ECD

<u>Sample ID:</u>	EB-11(2)	EB-12(2)		
<u>Jones ID:</u>	ST-21280-11	ST-21280-12	<u>Reporting Limit</u>	<u>Units</u>
Analytes:				
α-BHC	ND	ND	0.4	ug/kg
γ-BHC (Lindane)	ND	ND	0.4	ug/kg
β-BHC	ND	ND	0.4	ug/kg
Heptachlor	ND	ND	0.4	ug/kg
δ-BHC	ND	ND	0.4	ug/kg
Aldrin	ND	ND	0.4	ug/kg
Heptachlor Epoxide	ND	ND	0.4	ug/kg
γ-Chlordane	ND	ND	0.4	ug/kg
α-Chlordane	ND	ND	0.4	ug/kg
Endosulfan I	ND	ND	0.4	ug/kg
4,4'-DDE	4.9	ND	0.8	ug/kg
Dieldrin	ND	ND	0.8	ug/kg
Endrin	ND	ND	0.8	ug/kg
4,4'-DDD	ND	ND	0.8	ug/kg
Endosulfan II	ND	ND	0.8	ug/kg
4,4'-DDT	3.9	ND	0.8	ug/kg
Endrin Aldehyde	ND	ND	0.8	ug/kg
Endosulfan Sulfate	ND	ND	0.8	ug/kg
Methoxychlor	ND	ND	4.0	ug/kg
Endrin Ketone	ND	ND	0.8	ug/kg
Toxaphene	ND	ND	20	ug/kg
<u>Dilution Factor</u>	1	1		
<u>Surrogate Recovery:</u>			<u>QC Limits</u>	
TCMX	58%	66%	30 - 120	
Decachlorobiphenyl	64%	78%	30 - 120	
<u>Batch:</u>	ECD4_ 120622_01	ECD4_ 120622_01		

ND = Value less than reporting limit



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

BATCH: ECD4_120622_01 **Prepared:** 12/5/2022 **Analyzed:** 12/6/2022

EPA 8081A – Chlorinated Pesticides by GC/ECD

	LCS	LCSD	% RPD	Spike Level	% Recovery Limits	Units
LCS1-120622ECD4 LCSD1-120622ECD4						
Analytes:						
α-BHC	126	121	4%	100	60 - 140	ppb
Heptachlor	128	124	3%	100	60 - 140	ppb
Aldrin	122	118	3%	100	60 - 140	ppb
Heptachlor Epoxide	120	118	2%	100	60 - 140	ppb
γ-Chlordane	114	112	2%	100	60 - 140	ppb
Endosulfan I	116	115	1%	100	60 - 140	ppb
4,4'-DDE	112	111	1%	100	60 - 140	ppb
Dieldrin	122	121	1%	100	60 - 140	ppb
Endrin	118	114	3%	100	60 - 140	ppb
4,4'-DDD	112	112	0%	100	60 - 140	ppb
Endosulfan II	112	119	6%	100	60 - 140	ppb
4,4'-DDT	111	109	2%	100	60 - 140	ppb
Endrin Ketone	111	111	0%	100	60 - 140	ppb

Surrogate Recoveries:

TCMX	116%	114%		30 - 120
Decachlorobiphenyl	116%	117%		30 - 120

LCS= Laboratory Control Sample
LCSD= Laboratory Control Sample Duplicate
RPD = Relative Percent Difference



714-449-9937
562-646-1611

11007 FOREST PLACE
SANTA FE SPRINGS, CA 90670
WWW.JONESENV.COM

JONES ENVIRONMENTAL QUALITY CONTROL INFORMATION

Client:	KCE Matrix, Inc.	Report date:	12/8/2022
Client Address:	1112 W. Burbank Blvd., Suite 301 Burbank, CA 91506	Jones Ref. No.:	ST-21280
		Client Ref. No.:	KCE-2022-427E
Attn:	Viken Melkonian	Date Sampled:	11/30/2022
		Date Received:	12/2/2022
Project:	Vacant Land	Date Analyzed:	12/6/2022
Project Address:	6983 Pentz Road (APN: 050-082-023) Paradise, CA 95969	Physical State:	Soil

BATCH: ECD4_120622_01 **Prepared:** 12/5/2022 **Analyzed:** 12/6/2022


EPA 8081A – Chlorinated Pesticides by GC/ECD

	Result	Spike Level	% Recovery	% Recovery Limits	Units
CCV:	CCV1-120622ECD4				
Analytes:					
α-BHC	58.0	50	116%	80-120	ppb
Heptachlor	59.2	50	118%	80-120	ppb
Aldrin	54.4	50	109%	80-120	ppb
Heptachlor Epoxide	51.5	50	103%	80-120	ppb
γ-Chlordane	48.3	50	97%	80-120	ppb
Endosulfan I	52.7	50	105%	80-120	ppb
4,4'-DDE	95.2	100	95%	80-120	ppb
Dieldrin	97.4	100	97%	80-120	ppb
Endrin	101	100	101%	80-120	ppb
4,4'-DDD	83.6	100	84%	80-120	ppb
Endosulfan II	98.0	100	98%	80-120	ppb
4,4'-DDT	96.6	100	97%	80-120	ppb
Endrin Ketone	87.9	100	88%	80-120	ppb
Surrogate Recovery:					
TCMX	116%			80-120	
Decachlorobiphenyl	93%			80-120	

CCV= Continuing Calibration Verification

CHAIN OF CUSTODY
KCE Matrix, Inc.

ST-21280

Sampled By: Viken Melkonian (Print Name)  (Signature)

Vacant Land- (KCE-2022-427E) Project Name/Location

6983 Pentz Road (APN: 050-082-023) Project Address

Paradise, California 95969 City, State, Zip Code

Date	Time	Sample ID	Sample Description	Grab	Comp	# of Containers	Preserved? (Y/N)
11/30/22		EB-1(2)	Soil	X		1	N
11/30/22		EB-2(2)	Soil	X		1	N
11/30/22		EB-3(2)	Soil	X		1	N
11/30/22		EB-4(2)	Soil	X		1	N
11/30/22		EB-5(2)	Soil	X		1	N
11/30/22		EB-6(2)	Soil	X		1	N
11/30/22		EB-7(2)	Soil	X		1	N
11/30/22		EB-8(2)	Soil	X		1	N
11/30/22		EB-9(2)	Soil	X		1	N
11/30/22		EB-10(2)	Soil	X		1	N

Analyses Requested	Comments and Remarks
Organ-Chloro Pesticides (EPA 608/8081)	X
Arsenic (EPA 6010B)	X
	ST-21280-01
	ST-21280-02
	ST-21280-03
	ST-21280-04
	ST-21280-05
	ST-21280-06
	ST-21280-07
	ST-21280-08
	ST-21280-09
	ST-21280-10

Work Requested/Turnaround Time: 24 Hrs Normal 48 Hrs 72 Hrs

Other: _____

(Relinquished By)  (Date) 12/2/22 (Time) 0900

















(Received By)  (Date) 12/2 (Time) 1235

(Relinquished By) _____ (Date) _____ (Time) _____

(Received By) _____ (Date) _____ (Time) _____

APPENDIX D

(BORING LOGS)

	SOIL CLASSIFICATION CHART		PROJECT ID: KCE-2022-427E
MAJOR DIVISION	GROUP SYMBOL	SOIL DESCRIPTION	
GRAVELS (More than 1/2 of course fraction > No. 4 sieve size)		GW	Well-graded gravels, sandy gravels
		GP	Gap-graded or uniform gravels, sandy gravels
		GM	Silty gravels, silty sandy gravels
		GC	Clayey gravels, clayey sandy gravels
SANDS (More than 1/2 of course fraction < No. 4 sieve size)		SW	Well-graded, gravelly sands
		SP	Gap-graded or uniform sands, gravelly sands
		SM	Silty sands, silty gravelly sands
		SC	Clayey sands, clayey gravelly sands
SILTS & CLAYS Low Compressibility Liquid Limit < 50		ML	Silt, very fine sands, silty or clayey fine sands, micaceous silts
		CL	Low plasticity clays, sandy or silty clays
		OL	Organic silts and clays of low plasticity
SILTS & CLAYS High Compressibility Liquid Limit > 50		MH	Micaceous silts, diatomaceous silts, volcanic ash
		CH	Highly plastic clays and sandy clays
		OH	Organic silts and clays of high plasticity
HIGHLY ORGANIC SOILS		Pt	Peat, sandy peats, and clayey peat
DUAL (TRANSITION SOILS)	Soil characteristics are transitional between the soil classifications listed above		

CLASSIFICATION CHART (Unified Soil Classification System)

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-1 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-1 (3.5-4.0)	0.3	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-2 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-2 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-3 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-3 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-4 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-4 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-5 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-5 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-6 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-6 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-7 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-7 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-8 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-8 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-9 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-9 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-10 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-10 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-11 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-11 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-12 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-12 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-13 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-13 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-14 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-14 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-15 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-15 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-16 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-16 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Dirt Surface		0
NA	EB-17 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-17 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

Project Number: KCE-2022-427E	Drilling Co: KCE Matrix, Inc.
Project Name: Vacant Land	Drilling Method: Hand Auger
Location: 6983 Pentz Road (APN: 050-082-023), Paradise, CA	Field Geologist/Engineer: Viken Melkonian
Start Date: 11/30/2022	Boring Diameter: 3.25"
Date Completed: 11/30/2022	Casing Diameter: NA

Penetration Rate (# of Blows/6")	Sample interval	Sample PID Reading (in ppmV)	Lithology	Description	G.W. Level	Depth (ft)*
-------------------------------------	-----------------	---------------------------------	-----------	-------------	------------	-------------

				~ Gravel Surface		0
NA	EB-18 (1.5-2.0)	0.0	SC	Clayey Sand, Loose, Dry, Orange/Brown, No odor		1
NA	EB-18 (3.5-4.0)	0.0	SC	Clayey Sand, Loose, Dry, Light Brown, No odor		2
				Total Depth = 4 ft		3
						4
						5
						6
						7
						8
						9
						10
						11
						12
						13
						14
						15
						16
						17
						18
						19
						20
						21
						22
						23
						24

APPENDIX D
ARCHAEOLOGICAL SURVEY

SEAN JENSEN

Archaeological Consulting

7053 MOLOKAI DRIVE
PARADISE, CALIFORNIA 95969
(530) 680-6170 VOX
(530) 876-8650 FAX
seanjensen@comcast.net

April 30, 2012

WLM Construction, Inc.

Attn.: Bill and Ann Martin

P.O. Box 2035

Paradise, California 95967

wlmconstructioninc@gmail.com



TOWN OF PARADISE
COMMUNITY DEVELOPMENT DEPT.

Subject: *Archaeological Survey, 6983 Pentz Road Development Project, 1.66-acres,
Town of Paradise, Butte County, California.*

Dear Mr. and Mrs. Martin:

Per request, I conducted a complete coverage, intensive-level archaeological survey of the above referenced property, which consists of a residential parcel totaling approximately 1.66-acres located adjacent to the west side of Pentz Road, in the Town of Paradise, Butte County, California. Lands affected are located within a portion Section 1 of Township 22 North, Range 3 East, as shown on the USGS Paradise East, California, 7.5' series quadrangle (see attached *Project Location Map*).

According to public agency definitions, proposed further development of this property constitutes a "project" per CEQA that could impact various types of resources located within the Area of Potential Effect (APE), which consists of the 1.66-acre land area itself. Evaluation of effects to such resources, including cultural resources, must be undertaken in conformity with Town of Paradise and Butte County rules and regulations, and in compliance with requirements of the California Environmental Quality Act of 1970, Public Resources Code, Section 21000, et seq. (CEQA), and The California Environmental Quality Act Guidelines, California Administrative Code, Section 15000 et seq. (Guidelines, as amended October 1998).

As part of the CEQA requirements, an archaeological records search was conducted by the Northeast Information Center at CSU-Chico (I.C. File No. O12-I, dated April 9, 2012). These records document the following existing conditions for the subject property:

- None of the project area has been subjected to previous archaeological survey.
- No cultural resources have been identified within or adjacent to the project area. While several cultural resources have been documented within the general vicinity of the subject property, none of these will be affected by the project, as presently proposed.

- In view of moderate to high archaeological sensitivity of at least portions of this area for cultural resources the Information Center recommended an appropriate level of pedestrian survey prior to approval of any ground disturbing activities and/or any primary changes in land use.

In addition to the official Butte County archaeological records maintained by the Northeast Information Center, the following documents were also reviewed in an effort to recover additional relevant cultural data:

- The National Register of Historic Places (2011).
- OHP Historic Property Directory (2011).
- The California Inventory of Historical Resources (1976).
- The California Register of Historical Resources (2011).
- California Points of Historical Interest (State of California 1992).
- California Historical Landmarks (State of California 1996).
- Handbook of North American Indians, Vol. 8, California (1978).
- Historic Spots in California (2002).
- Gold Districts of California (1970).
- USGS Paradise, 15', 1953.

With this information in hand, Scan Jensen proceeded to the project site on April 28, 2012, and completed a pedestrian survey by walking systematic transects back and forth across the property, with transect spacing at 10 meter intervals. Property boundaries were easily determined on the basis of Pentz Road to the east, Kingdom Court to the south, private parcels to the north and west, and fencing which surrounds the property.

All of the APE has been subjected to intensive past disturbance as a result of past residential construction and subsequent demolition.

Specific findings from the pedestrian field survey are as follows:

Prehistoric Resources: No evidence of prehistoric activity or occupation was observed during the pedestrian survey. These negative results may be at least partially explained by the absence of a suitable source of surface water within, or near the subject property, and partially to the prior impacts to which all of the project area has been subjected.

Historic Resources: No evidence of early historic use was observed within the project area.

In view of the negative results achieved during both the records search and pedestrian survey, archaeological clearance is recommended for the proposed septic replacement project within this land area, although the following general provision remains appropriate:

The present evaluation and recommendations are based on the findings of an archaeological inventory-level surface survey only. There is always the possibility that significant unidentified cultural material could be encountered on or below the surface during the course of future development or construction activities. This is particularly relevant considering the constraints generally to archaeological field survey and especially in areas where past land clearing, residential development and

other land modifications have occurred, as in the present case. In the event of an inadvertent discovery of previously unidentified cultural material, archaeological consultation should be sought immediately.

In view of the negative findings of the records search and pedestrian field survey, the present letter is intended as a Final Report for this project.

If you, the Town of Paradise, or other review agencies have any questions concerning our survey findings or recommendations, please don't hesitate to contact me at your earliest convenience.

Sincerely Yours,

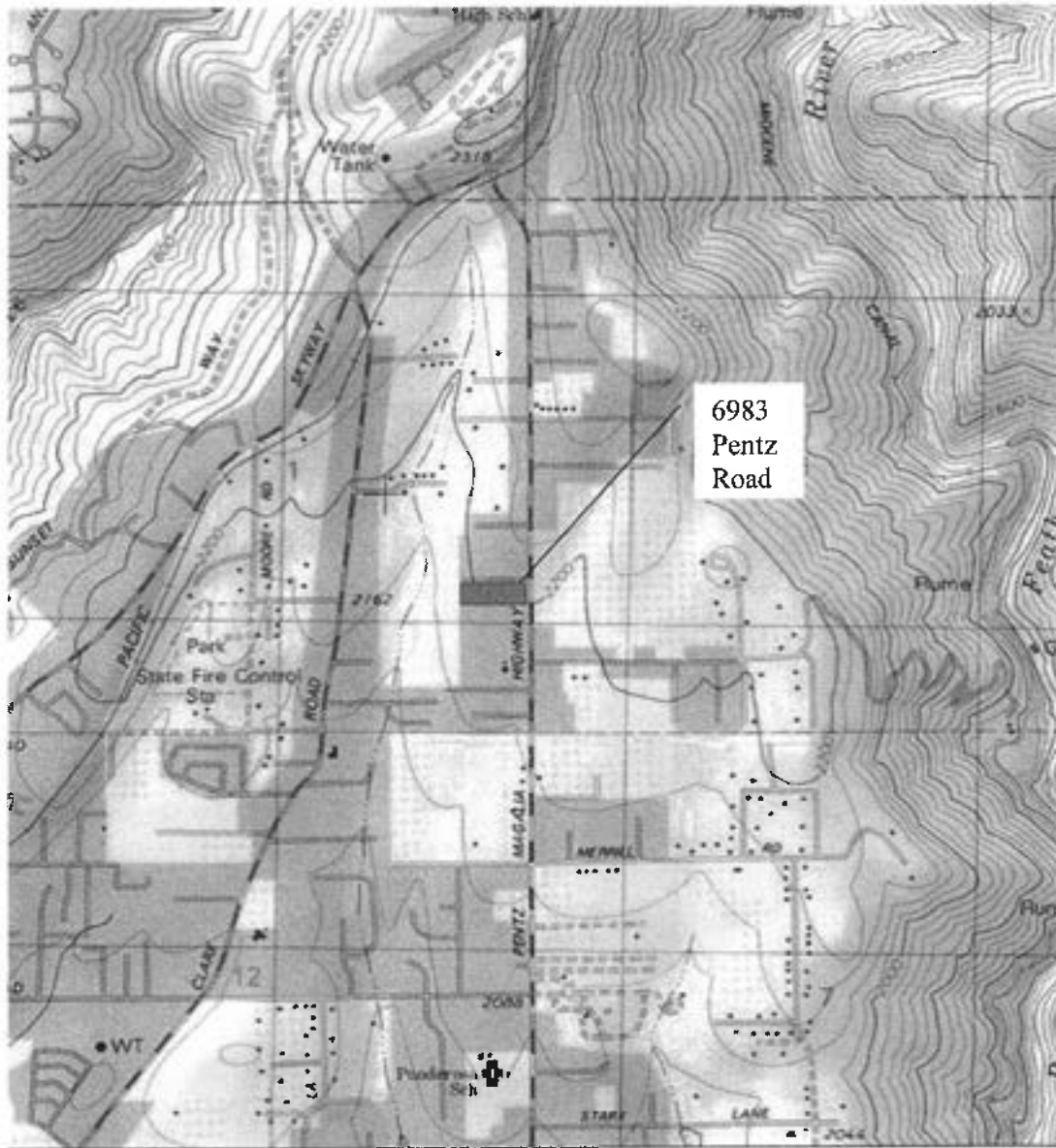


Sean Jensen, M.A.

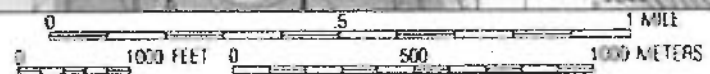
KEYWORDS *for Information Center Use:*

Inventory Survey, Paradise, Butte County, 1.66-acre, USGS Paradise East, California, 7.5' Series Quad, CEQA, No Historic Properties/Significant Historical Resources/Unique Archaeological Resources

PROJECT LOCATION and SURVEY AREA MAP
6983 Pentz Road Project, Town of Paradise, Butte County, California.
Portion of Section 1, T22N, R3E.
USGS Paradise East, California, 7.5' Quad.



MN
15°



Map created with TOPO!® ©2003 National Geographic (www.nationalgeographic.com/topo)

SEAN JENSEN
ARCHAEOLOGICAL CONSULTING

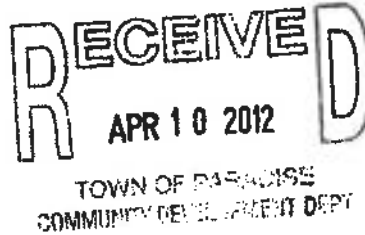
Northeast Center of the
California Historical Resources
Information System

BUTTE
GLENN
LASSEN
MODOC
PLUMAS
SHASTA

SIERRA
SISKIYOU
SUTTER
TEHAMA
TRINITY

123 West 6th Street, Suite 100
Chico CA 95928
Phone (530) 898-6256
neinfocntr@csuchico.edu

Town of Paradise
Public Works Department
5555 Skyway
Paradise, CA 95969
ATTN: Mr. Craig Baker



April 9, 2012

**I.C. File # O12-1
Project Review**

RE: PL12-00073, PL12-00074, PL12-00075/ Grand Sierra Lodge Residential
Retirement Community/APN: 050-082-023
T22N, R3E, Section 1
USGS Paradise East 7.5' and Paradise 15' quads
1.66 acres (Butte County)

Dear Mr. Baker,

In response to your request, a project review for the project cited above was conducted by examining the official maps and records for archaeological sites and surveys in Butte County.

RESULTS:

Prehistoric Resources: According to our records, no prehistoric sites have been recorded in the project area. However, two prehistoric sites have been recorded in the project vicinity, consisting of bedrock mortars and midden deposits. The project area is located in a region utilized by Konkow Maidu populations. Unrecorded prehistoric cultural resources may be located in the project area.

Historic Resources: According to our records, no historic sites have been recorded in the project area. However, six historic sites have been recorded in the project vicinity, consisting of a dry pond, an old road swale with axe cut blazes and stumps, earthen ditches, a mine tunnel (collapsed), and tailing piles. Unrecorded historic cultural resources may be located in the project area.

The USGS Paradise 15' (1953) quad map indicates that the project is located in Paradise, while, a church, Dry Creek, Little Butte Creek, Pentz Road, Skyway, Southern Pacific Railroad, roads, structures, and West Branch Feather River are located in the project vicinity. The project is located near the historic Butte Creek gold mining district. The Office of Historic Preservation lists 18 historic properties in and near the community Paradise in its Historic Property Data File for Butte County.

The town of Paradise was established in the 1860s by William Leonard and the construction of his sawmill. Not experiencing much growth until the turn of the century, lumber operations and the creation of the two powerhouses at Centerville and De Sabla brought residents to the area. The Diamond Match Company established a sawmill at Stirling City, and created the Butte County Railroad, purchased by Southern Pacific in 1907, to connect it with the main plant in Chico. Paradise was known as a leading center for the apple industry in the region.

Previous Archaeological Investigations: According to our records, the project area has not been previously surveyed for cultural resources by a professional archaeologist.

Literature Search: The official records and maps for archaeological sites and surveys in Butte County were reviewed. Also reviewed: **National Register of Historic Places - Listed properties and Determined Eligible Properties** (2011); **California Register of Historical Resources** (2011); **California Points of Historical Interest** (2011); **California Inventory of Historic Resources** (2011); **California Historical Landmarks** (2011); **Handbook of North American Indians, Vol. 8, California** (1978); **Historic Spots in California** (2002); **Gold Districts of California** (1970); **Directory of Properties in the Historic Property Data File for Butte County** (2011).

RECOMMENDATIONS:

Based upon the above information, the project appears to be located in an area considered to be sensitive for prehistoric and historical resources. Konkow Maidu populations used the local region for seasonal and permanent settlement, as well as for the gathering of roots and seeds, fishing, and hunting seasonal waterfowl and game. Most plants and animals had multiple uses, serving subsistence, religious, and material necessities. Historically, the region was utilized for farming, logging, mining, and water diversion operations.

Therefore, we recommend that a professional archaeologist be contacted to conduct a cultural resources survey of the project area. The project archaeologist will be able to offer

recommendations for protection or mitigation of any new cultural resources that may be encountered as a result of field survey. The project archaeologist should also contact the appropriate local Native American representatives for information regarding traditional cultural properties that may be located within project boundaries. This person may also want to consult historic General Land Office (GLO) plat maps in order to aid in the identification of unrecorded historic sites, which may be located within project boundaries. A list of qualified consultants is available online at <http://www.chrisinfo.org>.

During any phase of parcel development, if any potential prehistoric, protohistoric, and/or historic cultural resources are encountered, all work should cease in the area of the find pending an examination of the site and materials by the project archaeologist. This request to cease work in the area of a potential cultural resource find should be made a condition of project approval. This condition is intended for accidental discoveries made during construction activities, and does not replace the need for a Phase I investigation that assists planners and developers in meeting California Environmental Quality Act (CEQA) obligations during the Initial Study planning phase. The recommendation for a Phase I Cultural Resource Evaluation enables the lead agency to fulfill their obligations under CEQA to identify potentially significant historical resources. A Phase I investigation includes background research (record search), a field inspection, and report documenting the presence or absence of prehistoric or historic features, buildings, or archaeological sites. If potentially significant sites are identified during the Phase I investigation, further work may be necessary to determine site significance as well as appropriate protection or mitigation measures.

The fee for this project review is \$75.00 (1 hour Project Review Time @ \$75.00 per hour). Payment for this project review was received on March 30, 2012 (Check #2092). Thank you for your dedication in preserving Butte County and California's irreplaceable cultural heritage. Please feel free to contact us if you have any questions or need any further information or assistance.

Sincerely,



Jessica Sharp
NEIC Staff

NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 384
SACRAMENTO, CA 95814
(916) 853-8251
Fax (916) 857-6390



April 26, 2012

Sean Michael Jensen
Sean Jensen Archaeological Consulting
7053 Moioikai Drive
Paradise, CA 95969

Sent by Fax: 530-876-8650
Number of Pages: 3

Re: 6983 Pentz Road Development Project, Butte County.

Dear Mr. Jensen:

A record search of the sacred land file has failed to indicate the presence of Native American cultural resources in the immediate project area. The absence of specific site information in the sacred lands file does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Enclosed is a list of Native Americans individuals/organizations who may have knowledge of cultural resources in the project area. The Commission makes no recommendation or preference of a single individual, or group over another. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated, if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe or group. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from any of these individuals or groups, please notify me. With your assistance we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact me at (916) 653-4038.

Sincerely,

A handwritten signature in black ink, appearing to read "Debbie Rias-Treadway".

Debbie Rias-Treadway
Environmental Specialist III

**Native American Contacts
Butte County
April 26, 2012**

April Wallace Moore
19630 Placer Hills Road
Colfax, CA 95713
530-637-4279

Nisenan - So Maidu
Konkow
Washoe

Enterprise Rancheria of Maidu Indians
Glenda Nelson, Chairperson
2133 Monta Vista Ave
Oroville, CA 95966
Info@enterpriserancheria.com
(530) 532-9214
(530) 532-1768 FAX

Berry Creek Rancheria of Maidu Indians
Cultural Resources Rep

#5 Tyme Way
Oroville, CA 95966
gmix@berrycreekrancheria.com
(530) 534-3859
(530) 534-1151 FAX

Tyme-Maidu

Greenville Rancheria of Maidu Indians
Kyle Self, Chairperson

PO Box 279
Greenville, CA 95947
kself@greenvillerrancheria.com
(530) 284-7990
(530) 284-6612 - Fax

Maidu

Berry Creek Rancheria of Maidu Indians
Jim Edwards, Chairperson

#5 Tyme Way
Oroville, CA 95966
gmix@berrycreekrancheria.com
(530) 534-3859
(530) 534-1151 FAX

Tyme Maidu

KonKow Valley Band of Maidu
Patsy Seek, Chairperson

1706 Sweem Street
Oroville, CA 95965
(530) 533-1504

KonKow / Concow
Maidu

Butte Tribal Council
Ren Reynolds
1693 Mt. Ida Road
Oroville, CA 95966

Maidu

Maidu Cultural and Development Group
Lorena Gorbet
PO Box 426
Greenville, CA 95947
(530) 284-1601

Maidu

(530) 589-1571

Enterprise Rancheria of Maidu Indians
Art Angle, Vice Chairperson

2133 Monta Vista Avenue
Oroville, CA 95966
eranch@cncnet.com
(530) 532-9214
(530) 532-1768 FAX

Maidu

Maidu Nation
Clara LeCompte

P.O Box 204
Susanville, CA 96130

Maidu

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed 6983 Pentz Road Development Project, c. 1.66-acres, Butte County

APPENDIX E

NATIVE AMERICAN HERITAGE COMMISSION RESULTS

NATIVE AMERICAN HERITAGE COMMISSION

February 22, 2023

Briette Shea
Raney Planning and Management, Inc.

Via Email to: bshea@raneymanagement.com

Re: Northwind Senior Apartments Project, Butte County

Dear Ms. Shea:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were negative. However, the absence of specific site information in the SLF does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated; if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify me. With your assistance, we can assure that our lists contain current information.

If you have any questions or need additional information, please contact me at my email address: Cameron.vela@nahc.ca.gov.

Sincerely,

Cameron Vela

Cameron Vela
Cultural Resources Analyst

Attachment



CHAIRPERSON
Laura Miranda
Luiseño

VICE CHAIRPERSON
Reginald Pagaling
Chumash

SECRETARY
Sara Dutschke
Miwok

COMMISSIONER
Isaac Bojorquez
Ohlone-Costanoan

COMMISSIONER
Buffy McQuillen
Yokayo Pomo, Yuki,
Nomlaki

COMMISSIONER
Wayne Nelson
Luiseño

COMMISSIONER
Stanley Rodriguez
Kumeyaay

COMMISSIONER
[Vacant]

COMMISSIONER
[Vacant]

EXECUTIVE SECRETARY
**Raymond C.
Hitchcock**
Miwok/Nisenan

NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov

APPENDIX F
ADDITIONAL SOURCES

Appendix F Contents:

1. Airnav.com. *Paradise Skypark Airport*. Available at: <https://www.airnav.com/airport/CA92>. Accessed March 2023.
2. Airnav.com. *Beale Air Force Base*. Available at: <http://www.airnav.com/airport/BAB>. Accessed March 2023.
3. U.S. Fish & Wildlife Service. *Coastal Barrier Resources Act*. Available at: <https://www.fws.gov/program/coastal-barrier-resources-act>. Accessed March 2023.
4. California Department of Fish and Wildlife. *California Department of Fish and Wildlife BIOS*. Available at: <https://apps.wildlife.ca.gov/bios6/>. Accessed March 2023.
5. Federal Emergency Management Agency. *Flood Insurance Rate Map 06007C0400E*. Available at: <https://msc.fema.gov/portal/home>. Accessed March 2023.
6. Butte County Air Quality Management District. *CEQA Air Quality Handbook: Guidelines for Assessing Air Quality and Greenhouse Gas Impacts for Projects Subject to CEQA Review*. October 23, 2014.
7. California Air Resources Board. *Air Quality and Land Use Handbook: A Community Health Perspective*. April 2005.
8. Town of Paradise. *Town of Paradise General Plan*. Amended January 2008.
9. U.S. Fish & Wildlife Service. *Untitled Map*. Available at: https://www.arcgis.com/apps/mapviewer/index.html?url=https://services.arcgis.com/QVENGdaPbd4LUkLV/ArcGIS/rest/services/USFWS_Critical_Habitat/FeatureServer&source=sd. Accessed April 2023.
10. U.S. Fish & Wildlife Service. *IPaC: Information for Planning and Consultation*. Available at: <https://ecos.fws.gov/ipac/>. Accessed April 2023.
11. California Department of Fish and Wildlife. *CNDDDB Rarefind 5*. Available at: <https://apps.wildlife.ca.gov/rarefind/view/RareFind.aspx>. Accessed April 2023.
12. California Environmental Protection Agency. *CalEPA Regulated Site Portal*. Available at: <https://siteportal.calepa.ca.gov/nsite/map/measure/filters>. Accessed April 2023.
13. California Department of Conservation. *California Important Farmland Finder*. Available at: <https://maps.conservation.ca.gov/dlrp/ciff/>. Accessed March 2023.
14. Butte County. *Butte County Airport Land Use Compatibility Plan*. November 15, 2017.
15. Butte County. *Butte County General Plan 2040 Draft EIR*. January 2023.
16. U.S. Environmental Protection Agency. *Sole Source Aquifers*. Available at: <https://epa.maps.arcgis.com/apps/webappviewer/index.html?id=9ebb047ba3ec41ada1877155fe31356b>. Accessed March 2023.
17. U.S. Fish & Wildlife Service. *National Wetlands Inventory*. Available at: <https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/>. Accessed March 2023.
18. U.S. Forest Service, National Park Service, Bureau of Land Management and the Fish and Wildlife Service. *National Wild and Scenic Rivers System*. Available at: <https://www.rivers.gov/california.php>. Accessed March 2023.
19. California Office of Environmental Health Hazard Assessment. *CalEnviroScreen 4.0*. Available at: <https://experience.arcgis.com/experience/11d2f52282a54cee6184203/page/home/>. Accessed April 2023.
20. California Department of Conservation. *Earthquake Zones of Required Investigation*. Available at: <https://maps.conservation.ca.gov/cgs/EQZApp/app/>. Accessed April 2023.
21. U.S. Department of Agriculture, Natural Resources Conservation Service. *Web Soil Survey*. Available at: <https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>. Accessed April 2023.
22. California Department of Forestry and Fire Protection. *FHSZ Viewer*. Available at: <https://egis.fire.ca.gov/FHSZ/>. Accessed April 2023.

23. U.S. Census Bureau. *Paradise town, California*. Available at: https://data.census.gov/profile/Paradise_town,_California?g=160XX00US0655520. Accessed April 2023.
24. U.S. Environmental Protection Agency. *EJScreen: Environmental Justice Screening and Mapping Tool*. Available at: <https://www.epa.gov/ejscreen>. Accessed April 2023.
25. Butte County. *Employment and Social Services*. Available at: <https://www.buttecounty.net/359/Employment-Social-Services>. Accessed April 2023.
26. Northern Recycling and Waste Services. *Our History*. Available at: <http://northernrecycling.biz/About%20us.html>. Accessed April 2023.
27. CalRecycle. *CALGreen Construction Waste Management Requirements*. Available at: <https://www.calrecycle.ca.gov/lgcentral/library/canddmodel/instruction/newstructures>. Accessed April 2023.
28. Town of Paradise Sewer Project. *Notice of Preparation*. April 2021. Available at: https://paradisesewer.com/wp-content/uploads/2021/04/Paradise-NOP_20210423_.pdf. Accessed April 2023.
29. Town of Paradise. *Septic/Onsite*. Available at: <https://www.townofparadise.com/septic/page/onsite-wastewater-manual>. Accessed April 2023.
30. Paradise Irrigation District. *Paradise Irrigation District 2020 Urban Water Management Plan*. June 2021.
31. Town of Paradise. *Fire Department*. Available at: <https://www.townofparadise.com/fire>. Accessed March 2023.
32. Town of Paradise. *Police Department*. Available at: <https://www.townofparadise.com/police>. Accessed March 2023.
33. Paradise Recreation and Park District. *Parks and Facilities*. Available at: <https://www.paradisepd.com/parks-facilities>. Accessed March 2023.
34. Butte Regional Transit. *Plan My Ride*. Available at: <https://planmyride.blinetransit.com/RouteMap>. Accessed April 2023.
35. Governor's Office of Planning and Research. *Technical Advisory on Evaluating Transportation Impacts in CEQA*. December 2018.
36. California Energy Commission. *2022 Building Energy Efficiency Standards Summary*. August 2021.

AIRNAV.COM

EVEREST FUEL

Powerful Savings &
Comprehensive ServiceGET
STARTED

Airports

Nav aids

Airspace Fixes

Aviation Fuel

Hotels

iPhone App

My AirNav

1412 users online [LOGIN](#)

CA92 Paradise Skypark Airport

Paradise, California, USA



GOING TO PARADISE?

Residence Inn

[Reserve a Hotel Room](#)

FAA INFORMATION EFFECTIVE 23 MARCH 2023

Location

FAA Identifier: CA92

Lat/Long: 39-42-38.0000N 121-36-59.4000W

39-42.633333N 121-36.990000W

39.7105556,-121.6165000

(estimated)

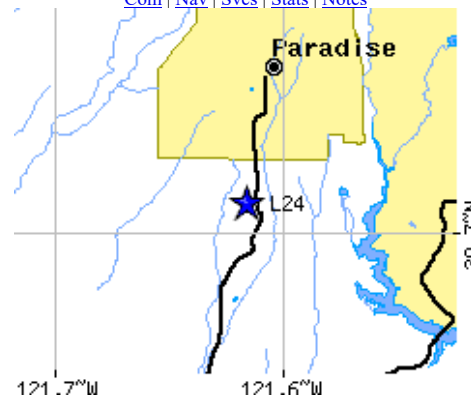
Elevation: 1300 ft. / 396 m (estimated)

Variation: 17E (1985)

From city: 3 miles S of PARADISE, CA

Time zone: UTC -7 (UTC -8 during Standard Time)

Zip code: 95969

[Loc](#) | [Ops](#) | [Rwys](#) | [IFR](#) | [FBO](#) | [Links](#)
[Com](#) | [Nav](#) | [Svcs](#) | [Stats](#) | [Notes](#)Road maps at: [MapQuest](#) [Bing](#) [Google](#)

Airport Operations

Airport use: Private use. Permission required prior to landing

Activation date: 09/1962

Control tower: no

ARTCC: OAKLAND CENTER

FSS: RANCHO MURIETA FLIGHT SERVICE STATION

Attendance: MON-SAT 0800-1700

Pattern altitude: 2100 ft. MSL

Wind indicator: lighted

Segmented circle: yes

Lights: ACTVT LIRL RY 17/35 DUSK-DAWN ONLY - CTAF.

TRIL RY 35 DUSK-DAWN.

Airport Communications

UNICOM: 122.8

WX AWOS-3 at CIC (12 nm NW): 119.675 (530-879-3850)

WX ASOS at OVE (13 nm S): 121.425 (530-533-5792)

Nearby radio navigation aids

Aerial photo

WARNING: Photo may not be current or correct

Photo by Evan Caldwell
Photo taken 30-Jul-2011
looking north.Do you have a better or more recent aerial photo of Paradise Skypark Airport that you would like to share? If so, please [send us your photo](#).

Sectional chart

VOR radial/distance	VOR name	Freq	Var
MYV r341/36.8	MARYSVILLE VOR/DME	110.80	16E
RBL r111/36.8	RED BLUFF VORTAC	115.70	18E

Airport Services

- Fuel available: 100LL
100LL:SELF SERVE FUEL SW FIELD
- Parking: tie-downs
- Airframe service: MAJOR
- Powerplant service: MAJOR
- Bottled oxygen: NONE
- Bulk oxygen: NONE

Runway Information

Runway 17/35

Dimensions: 3017 x 60 ft. / 920 x 18 m
 Surface: asphalt, in good condition
 Runway edge lights: low intensity
RUNWAY 17
 Latitude: 39-42.882295N
 Longitude: 121-36.982727W
 Elevation: 1346.8 ft.
 Traffic pattern: right
 Runway heading: 164 magnetic, 181 true
 Displaced threshold: 427 ft.
 Markings: NSTD, in good condition

Visual slope indicator:

Runway end identifier lights: no
 Obstructions: 115 ft. tree, 1200 ft. from runway, 25 ft. left of centerline, 25:1 slope to clear
 17/35 HANGARS 125 FT WEST OF RY CNTRLN AND 150 FT EAST OF RY CNTRLN.

Airport Ownership and Management from official FAA records

Ownership: Privately-owned
 Owner: JOHN H. FRANKLIN+
 217 FLUME ST SUITE 200
 CHICO, CA 95928
 Phone 530-343-9600
 Manager: JAMES FRANKLIN
 4405 AIRPORT RD



Airport distance calculator

Flying to Paradise Skypark Airport? Find the distance to fly.

From to CA92

RUNWAY 35

39-42.885590N
 121-36.998743W
 1282.8 ft.
 left
 344 magnetic, 001 true
 no
 basic, in good condition
 tri-color VASI on left
 no
 none

Sunrise and sunset

Times for 30-Mar-2023

	Local (UTC-7)	Zulu (UTC)
Morning civil twilight	06:28	13:28
Sunrise	06:55	13:55
Sunset	19:27	02:27
Evening civil twilight	19:54	02:54

Current date and time

Zulu (UTC)	30-Mar-2023 20:23:54
Local (UTC-7)	30-Mar-2023 13:23:54

METAR

KCIC 301947Z 0000KT 10SM CLR 12/03
 11nm NW A2998
KOVE 301953Z AUTO VRB04KT 10SM CLR
 13nm S 12/06 A3000 RMK AO2 SLP161
 T01220061

TAF

KBAB 301600Z 3016/3117 VRB06KT 9999
 SKC QNH2994INS BECMG 3023/3024 15012KT 9999 SCT050
 QNH2996INS TX15/3100Z TN05/3016Z
KRBL 301720Z 3018/3118 VRB04KT
 39nm NW P6SM FEW250 FM302100 16008KT
 P6SM FEW050 SCT250 FM310300
 19004KT P6SM SCT040

NOTAMs

[Click for the latest NOTAMs](#)
 NOTAMs are issued by the DoD/FAA and will open in a separate window not controlled by AirNav.

PARADISE, CA 95969
Phone (530) 521-2289

Airport Operational Statistics

Aircraft based on the field: 39	Aircraft operations: avg 41/day *
Single engine airplanes: 36	64% local general aviation
Multi engine airplanes: 2	32% transient general aviation
Helicopters: 1	3% air taxi

* for 12-month period ending 31 December 2005

Additional Remarks

- STEEP DOWNGRADE EAST; WEST; & SOUTH OF RWY.
- LAND RY 35; TKOF RY17. NIGHT LDG RY 35 3017 FT LGTD. RY 17 NIGHT LDGS NOT AUTH. DUE TO MOUNTAINOUS TERRAIN WITH TREES APROX. 450-700 YDS FROM RY END.
- FOR INFORMATION OR UNOFFICIAL WEATHER REPORTS CALL (530) 343-9600.
- FOR CD CTC OAKLAND ARTCC AT 510-745-3380.

Instrument Procedures

There are no published instrument procedures at CA92.

Some nearby airports with instrument procedures:

- [KCIC](#) - Chico Regional Airport (12 nm NW)
- [KOVE](#) - Oroville Municipal Airport (13 nm S)
- [O37](#) - Haigh Field Airport (24 nm W)
- [KWLW](#) - Willows/Glenn County Airport (30 nm SW)
- [KBAB](#) - Beale Air Force Base (35 nm S)

Would you like to see your business listed on this page?

If your business provides an interesting product or service to pilots, flight crews, aircraft, or users of the Paradise Skypark Airport, you should consider listing it here. To start the listing process, click on the button below

[ADD YOUR BUSINESS OR SERVICE](#)

Other Pages about Paradise Skypark Airport

[paradiseairport.com](#)

[UPDATE, REMOVE OR ADD A LINK](#)

[Airports](#)[Nav aids](#)[Airspace Fixes](#)[Aviation Fuel](#)[Hotels](#)[iPhone App](#)[My AirNav](#)1406 users online [LOGIN](#)

KBAB Beale Air Force Base

Marysville, California, USA



GOING TO MARYSVILLE?



[Reserve a Hotel Room](#)

FAA INFORMATION EFFECTIVE 23 MARCH 2023

Location

FAA Identifier: BAB

Lat/Long: 39-08-09.9639N 121-26-11.7061W

39-08.166065N 121-26.195102W

39.1361011,-121.4365850

(estimated)

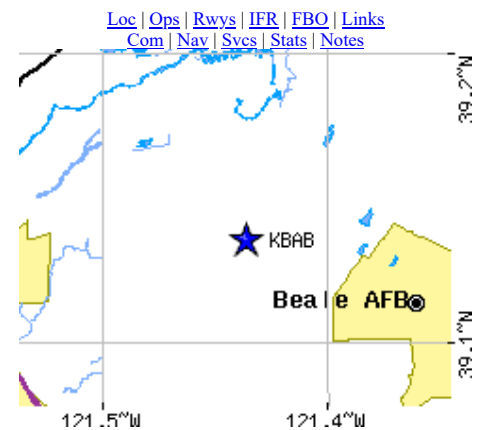
Elevation: 112.7 ft. / 34.4 m (surveyed)

Variation: 16E (1985)

From city: 6 miles E of MARYSVILLE, CA

Time zone: UTC -7 (UTC -8 during Standard Time)

Zip code: 95903



Road maps at: [MapQuest](#) [Bing](#) [Google](#)

Airport Operations

Airport use: Private use. Permission required prior to landing

Activation date: 01/1960

Control tower: yes

ARTCC: OAKLAND CENTER

FSS: RANCHO MURIETA FLIGHT SERVICE STATION

NOTAMs facility: BAB (NOTAM-D service available)

Attendance: ALL

OPR H24 FR 1400Z++ MON THRU 0600Z++ SAT,
AND/OR BY NOTAM; CLSD WKEND AND HOL.

Pattern altitude: TFC PAT: RECTANGULAR PAT 1100 FT; OVHD PAT
2100 FT. FTR TYPE ACFT FLY RP RWY 15.

Wind indicator: yes

Segmented circle: no

Lights: SS-SR

Beacon: white-white-green (lighted military airport)

Operates sunset to sunrise.

International operations: customs landing rights airport

Airport Communications

ATIS: 124.55 273.5 ;OPR DUR WG OPR

Aerial photo

WARNING: Photo may not be current or correct



Photo by Chris Leipelt
Photo taken 12-Feb-2017
looking southeast.

Do you have a better or more recent aerial photo of Beale Air Force Base that you would like to share? If so, please [send us your photo](#).

Sectional chart

BEALE GROUND: 121.6 257.75 [OPR H24 FR 1400Z++ MON THRU 0600Z++ SAT, AND/OR BY NOTAM; CLSD WKEND AND HOL.]

BEALE TOWER: 119.4 284.75 [OPR H24 FR 1400Z++ MON THRU 0600Z++ SAT, AND/OR BY NOTAM; CLSD WKEND AND HOL.]

NORCAL APPROACH: 125.4

NORCAL DEPARTURE: 125.4

CLASS C: 125.4

COMD POST: 311.0 ;WING CMD POST 321.0 ;WING CMD POST

EMERG: 121.5 243.0

PTD: 141.1 372.2

SOF: 139.6 240.225

WX ASOS at MYV (7 nm W): 118.475 (530-742-0695)

WX AWOS-3 at LHM (14 nm S): 124.25 (916-645-0698)

WX AWOS-3 at AUN (20 nm SE): 119.375 (530-888-8934)

- WING COMD POST - 321.0 311.0 (321.0 INBD ACFT CTC COMD POST 35 MIN PRIOR ETA WITH INTENTIONS.)
- PTD-141.1 FOR USE ONLY WITHIN 16.2 NM, 15,000 FT OR BLW.
- RADAR - PAR - NO NOTAM MP: 1500-1730Z++ MON-FRI.

Nearby radio navigation aids

VOR radial/distance	VOR name	Freq	Var
MYV r055/6.7	MARYSVILLE VOR/DME	110.80	16E
ILA r064/27.8	WILLIAMS VORTAC	114.40	18E
MCC r340/28.2	MC CLELLAN VOR/DME	109.20	17E

Airport Services

- Parking: hangars
- Airframe service: MINOR
- Powerplant service: MINOR
- Bottled oxygen: LOW
- Bulk oxygen: LOW

Runway Information

Runway 15/33

Dimensions: 12001 x 300 ft. / 3658 x 91 m
 RWY 300 FT WIDE MARKED AT 200 FT; FULL 300 FT WIDTH USBL.

Surface: concrete/grooved

Weight bearing capacity: PCN 84 /R/B/W/T

Runway edge lights: high intensity

RUNWAY 15

Latitude: 39-09.102640N

Longitude: 121-26.600955W

Elevation: 112.7 ft.

Traffic pattern: left

Runway heading: 146 magnetic, 162 true

Markings: precision, in good condition

RUNWAY 33

Latitude: 39-07.229488N

Longitude: 121-25.789250W

Elevation: 105.0 ft.

Traffic pattern: left

Runway heading: 326 magnetic, 342 true

Markings: precision, in good condition



Airport diagram



[Download PDF](#)
 of official airport diagram from the FAA

Airport distance calculator

Flying to Beale Air Force Base? Find the distance to fly.

From to KBAB

[CALCULATE DISTANCE](#)

Sunrise and sunset

Times for 30-Mar-2023

	Local (UTC-7)	Zulu (UTC)
Morning civil twilight	06:27	13:27
Sunrise	06:54	13:54
Sunset	19:26	02:26
Evening civil twilight	19:53	02:53

Current date and time

Zulu (UTC)	30-Mar-2023 20:24:54
Local (UTC-7)	30-Mar-2023 13:24:54

Visual slope indicator: 4-light PAPI on left (2.75 degrees glide path)	4-light PAPI on left (3.00 degrees glide path)	METAR
RVR equipment: touchdown	touchdown	KBAB 301955Z AUTO 24003KT 10SM CLR 12/05 A2999 RMK AO2 SLP159 T01190046 \$
Approach lights: ALSF1: standard 2,400 foot high intensity approach lighting system with centerline sequenced flashers (category I)	ALSF1: standard 2,400 foot high intensity approach lighting system with centerline sequenced flashers (category I)	KMYV 6nm W 301953Z AUTO VRB05KT 10SM SCT021 12/06 A3001 RMK AO2 SLP164 T01170061
Runway end identifier lights: no	no	KLHM 14nm S 301955Z AUTO 24005KT 10SM SCT023 11/06 A3000 RMK AO1
Touchdown point: yes, no lights	yes, no lights	KAUN 20nm SE 301955Z AUTO 26005KT 10SM FEW022 SCT030 SCT035 10/04 A2998 RMK A01
Instrument approach: LOC/GS	LOC/GS	TAF

Airport Ownership and Management from official FAA records

Ownership: U.S. Air Force
 Owner: USAF
 BEALE AFB
 MARYSVILLE, CA 95903
 Manager: BASE OPERATIONS (USAF)
 9TH CBAT SUP GP(SAC)BEALE AFB
 MARYSVILLE, CA 95903
 Phone 530-634-4823

NOTAMS

[Click for the latest NOTAMS](#)

NOTAMS are issued by the DoD/FAA and will open in a separate window not controlled by AirNav.

Airport Operational Statistics

Aircraft based on the field: 4
 Military aircraft: 4

Additional Remarks

- BEARING STRENGTH RWY 15/33: S160 T300 ST175 ST175 SBTT620 TT490 TDT840.
- CSTMS/AG/IMG: 24 HR PN RQR FOR CSTMS AND AG.
- MISC: TRAN ACFT EXP PROGRESSIVE TAXI. NO COMSEC MATERIAL AVBL. TRAN AIRCREW SHOULD PLAN TO ARR WITH APPROPRIATE COMSEC TO COMPLETE ENTIRE MSN. RWY 15-33 GROOVED. CLASS C AIRSPACE CONT.
- RWY LGTS: RY 15, SF.
- CAUTION: BEALE AFB IS LCTD ON A MAJ MIGRATORY BIRD FLYWAY.
- BEARING STRENGTH RWY 15/33: S81, T122, ST175, SBTT590, TT490, TDT840.
- PMSV METRO: WX OBSN AVBL H24 VIA AUTO OBSN SYS; WX SVC AVBL 1 HR PRIOR TO AFLD OPR HRS AND DUR FCST SEVERE WX DSN 368-9134, C530-634-9134. DUR WX FLT CLOSURES REMOTE BRIEFING SVC AVBL FROM 25 OP WX SQ DSN 228-6598/6599/6588.
- JASU: (AM32A-60A) (A/M32A-86) 7(MC-1A) (MC-2A).
- PMSV METRO: WHEN AUTO OBSN SYS INOP, OBST FR 325-060 DEG, 080-220 DEG, AND 245-280 DEG MAY IMPACT PREVAILING VIS.
- CAUTION: USE EXTREME CAUTION FOR UNMANNED ACFT ACT IN VCNTY OF BEALE AFB.
- CSTMS/AG/IMG: LTD CSTMS/AG AVBL TO MIL ACFT ONLY, 24 HR PN RQR. CTC AFLD MGT AT C530-634-2002 OR DSN 368-2002.
- ATIS: OPR WHEN AERODROME IS OPEN.
- FOR CD WHEN ATCT IS CLSD CTC NORCAL APCH AT 916-361-6874
- MISC: NO SPACE-A PAX SUPPORT AVBL ON WKENDS, HOL, AND ACC FAMILY DAYS.
- RSTD: VIP PRKG RSTD TO ACFT WITH WINGSPAN 95 FT OR LESS. LRGR DV ACFT WILL PARK ON CARGO SPOTS.
- MISC: WX SVC AVBL H24. CURRENT WX OBSN AVBL VIA ATIS OR CTC ATC.
- FUEL: J8.
- SVC TRAN ALERT: LAV CART AVBL FOR TSNT ACFT WITH PRIOR CDN. AIRCREW WILL HAVE TO PERFORM THEIR OWN LAV SVC AND CLEANUP.

- SVC TRAN ALERT: NO POTABLE WATER OR ICE SVC.
- AFRC: 940TH COMD POST, DSN 368-1960, C530-634-1960.
- MISC: FOR SUPPORT OUTSIDE OF AIRFIELD OPR HRS (I.E., WKENDS, WING DOWN DAYS AND HOL) CTC BEALE 9RW COMMAND POST, DSN 368-5700, C530-634-5700.
- FLUID: W SP LPOX LOX.
- RWYLGTS: RY 33, SF.
- OIL: O-128-133-148.
- TRAN ALERT: SVC AVBL 1500-0600Z++ MON-FRI EXC FEDERAL HOL. ACFT THAT ARR AFTER 0600Z++ WILL NOT BE SVCD UNTIL NEXT DUTY DAY. FLEET SVC AVBL, 24 HR PN.
- RSTD: PPR 24 HR PN, CTC BASE OPS DSN 368-2002/9120, C530-634-2002/9120. ISSUED PPR VALID 1 HR +/- ETA, EARLY/LATE ARR/DEP MUST RE-COORD.
- RSTD: NO UNANNOUNCED ACFT PRACTICE APCH. INBOUND TSNT ACFT OBTAIN APVL FROM CTL TWR DSN 368-9140 FOR ACFT PRACTICE APCH PRIOR TO FLT. LTD PRKG AVBL.

Instrument Procedures

NOTE: All procedures below are presented as PDF files. If you need a reader for these files, you should [download](#) the free Adobe Reader.

NOT FOR NAVIGATION. Please procure official charts for flight.

FAA instrument procedures published for use from 23 March 2023 at 0901Z to 20 April 2023 at 0900Z.

IAPs - Instrument Approach Procedures

HI-ILS OR LOC Z RWY 15	download (130KB)
HI-ILS OR LOC Z RWY 33	download (119KB)
ILS OR LOC Y RWY 15	download (98KB)
ILS OR LOC Y RWY 33	download (115KB)
RNAV (GPS) RWY 15	download (127KB)
RNAV (GPS) RWY 33	download (119KB)
HI-TACAN Z RWY 15	download (154KB)
HI-TACAN Z RWY 33	download (114KB)
TACAN Y RWY 15	download (98KB)
TACAN Y RWY 33	download (103KB)

Departure Procedures

PYNUN SIX [download](#) (90KB)

NOTE: Special Take-Off Minimums/Departure Procedures apply [download](#)

Other nearby airports with instrument procedures:

- [KMYV](#) - Yuba County Airport (7 nm W)
- [KLHM](#) - Lincoln Regional Airport/Karl Harder Field (14 nm S)
- [KAUN](#) - Auburn Municipal Airport (20 nm SE)
- [KGOO](#) - Nevada County Airport (21 nm E)
- [KOVE](#) - Oroville Municipal Airport (23 nm N)

Would you like to see your business listed on this page?

If your business provides an interesting product or service to pilots, flight crews, aircraft, or users of the Beale Air Force Base, you should consider listing it here. To start the listing process, click on the button below

[ADD YOUR BUSINESS OR SERVICE](#)

Other Pages about Beale Air Force Base

 www.beale.af.mil

 UPDATE, REMOVE OR ADD A LINK

Copyright © AirNav, LLC. All rights reserved.

[Privacy Policy](#) [Contact](#)



Coastal Barrier Resources Act

Image Details (/media/146029)

We administer the Coastal Barrier Resources Act (CBRA), which encourages the conservation of storm-prone and dynamic coastal barriers by withdrawing the availability of federal funding and financial assistance within a designated set of units known as the Coastal Barrier Resources System (CBRS). The CBRS includes 3.5 million acres along the Atlantic, Gulf of Mexico, Great Lakes, U.S. Virgin Islands, and Puerto Rico coasts.

What We Do



Image Details (/media/effects-storm-surge-chincoteague-national-wildlife-refuge-va)

Our Services

Our responsibilities under CBRA include maintaining the official maps of the CBRS and making recommendations to Congress for appropriate changes to the boundaries; consulting with other federal agencies regarding federally-funded projects proposed within the CBRS; and working with property owners, project proponents, and other stakeholders to determine whether a specific property or project site is located within the CBRS.

Our Projects and Initiatives

The Service is committed to ensuring accurate and user-friendly maps depicting the CBRS. Through a series of [mapping projects \(https://www.fws.gov/program/coastal-barrier-resources-act/what-we-do\)](https://www.fws.gov/program/coastal-barrier-resources-act/what-we-do), we have made progress in modernizing maps for the CBRS using digital technology that has significantly improved public access to information, increased efficiency for infrastructure project planning, and increased accuracy and timeliness in determining whether individual properties are located with the CBRS.

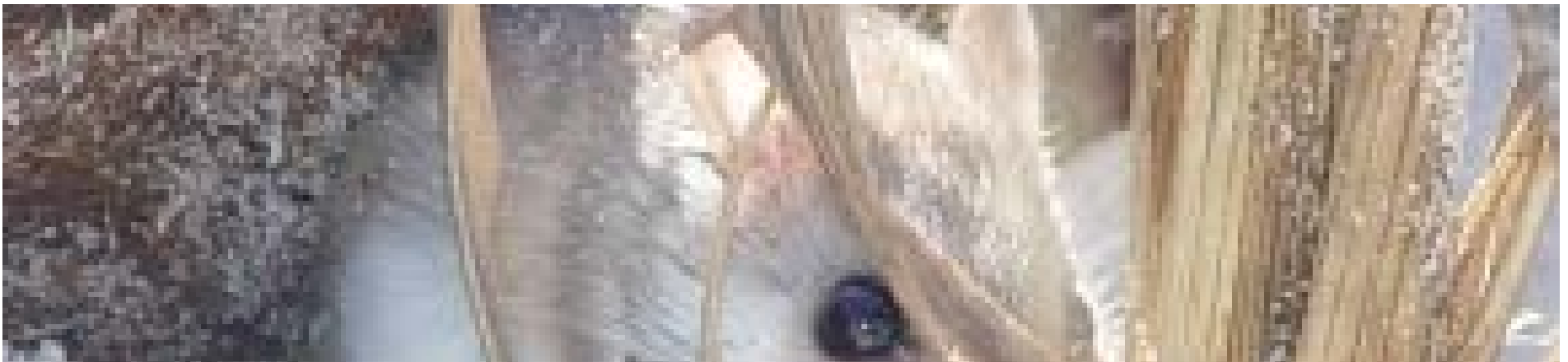
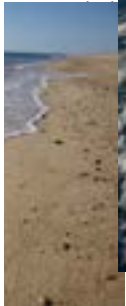


Image Details (/media/alabama-beach-mouse)

Latest News

With the barriers



Areas within the CBRS may be developed, pro

that certain actions and programs of the Federal Government have historically subsidized and encouraged development on coastal areas that pose a significant hazard to human life, health, and property, and the expenditure of millions of tax dollars each year. CBRA seeks to minimize these effects by designating Coastal Barrier Resources System Units, which comprise nearly 1.4 million acres of land and associated aquatic habitat. These units are set aside for conservation and/or recreation purposes that include an additional 2.1 million acres of

of Coastal Research analyzed the economic benefits from CBRA and found that CBRA reduced additional savings will range between \$11 and \$108 billion by 2068.

itionally, it does not prevent federal agencies from issuing permits or conducting environmental review. Non-federal parties bear the full cost and risk.

Emergency Management

Habitat Restoration

[MORE ABOUT WHAT WE DO \(/PROGRAM/COASTAL-BARRIER-RESOURCES-ACT/WHAT-WE-DO\)](#)

CBRA Guidance Following

Hurricanes Fiona and Ian
(/story/2022-10/cbra-guidance-following-hurricanes-fiona-and-ian)

After a Presidentially-declared disaster, federal agencies make expenditures and provide financial assistance to help communities recover and rebuild. Most federal funding for disaster relief is prohibited within System Units of the Coastal Barrier Resources System (CBRS), with some exceptions (...)

Oct 4, 2022

Service Sends Coastal Barrier Resources System Report to Congress with Updated Maps for the North Atlantic Coast
(/press-release/2022-04/service-sends-coastal-barrier-resources-system-report-congress-updated-maps)

The U.S. Fish and Wildlife Service has submitted to Congress its Report to Congress: John H. Chafee Coastal Barrier Resources System Hurricane Sandy Remapping Project. The report includes revised maps for 438 Coastal Barrier Resources System (CBRS) units in the nine states most affected by...

Apr 6, 2022

Our Library

[VIEW ALL NEWS \(/PROGRAM/COASTAL-BARRIER-RESOURCES-ACT/NEWS\)](/PROGRAM/COASTAL-BARRIER-RESOURCES-ACT/NEWS)



Image Details (/media/emergent-wetlands)

Whether you are looking for additional information about the Coastal Barrier Resources System, our current mapping projects, or official maps, you can find it here in our library.

Official Coastal Barrier Resources System Maps (/library/collections/official-coastal-barrier-resources-system-maps)



The Coastal Barrier Resources Act (CBRA) of 1982 and subsequent amendments established the John H. Chafee Coastal Barrier Resources System (CBRS). The CBRS consists of relatively undeveloped coastal barriers and other areas located the Atlantic, Gulf of Mexico, Great Lakes, U.S. Virgin Islands, and...

Library Collection

(/library/collections/official-coastal-barrier-resources-system-maps)

25 Items

Service Sends Coastal Barrier Resources System Report to Congress with Updated Maps for the North Atlantic Coast (/press-release/2022-04/service-sends-coastal-barrier-resources-system-report-congress-updated-maps)



The U.S. Fish and Wildlife Service has submitted to Congress its Report to Congress: John H. Chafee Coastal Barrier Resources System Hurricane Sandy Remapping Project. The report includes revised maps for 438 Coastal Barrier Resources System (CBRS) units in the nine states most affected by...

Press Release

(/press-release/2022-

04/service-sends-coastal-barrier-resources-system-report-congress-updated-maps)

Apr 6, 2022



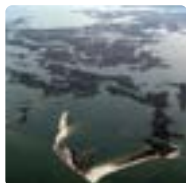
Report to Congress: John H. Chafee Coastal Barrier Resources System Hurricane Sandy Remapping Project (/media/report-congress-john-h-chafee-coastal-barrier-resources-system-hurricane-sandy-remapping)

In 2014, the U.S. Fish and Wildlife Service (Service) initiated a project to modernize the maps of the Coastal Barrier Resources System (CBRS) units in the nine states along the North Atlantic coast most affected by Hurricane Sandy: Connecticut, Delaware, Maryland, Massachusetts, New Hampshire,...

PDF

Apr 5, 2022

Coastal Barrier Resources Act Project Consultation (/library/collections/coastal-barrier-resources-act-project-consultation)



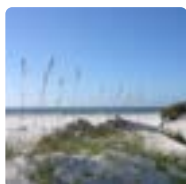
This library collection includes resources and information related to Coastal Barrier Resources Act project consultations, as well as guidance for shoreline stabilization, disaster assistance, and property buyouts.

Library Collection

(/library/collections/coastal-barrier-resources-act-project-consultation)

10 Items

Updated Maps for Coastal Barrier Resources System Units in North Carolina, South Carolina, and Florida (/story/2021-04/updated-maps-coastal-barrier-resources-system-units-north-carolina-south-carolina-and)



The Service has submitted to Congress seven draft revised maps for John H. Chafee Coastal Barrier Resources System (CBRS) units located in North Carolina, South Carolina, and Florida.

Story

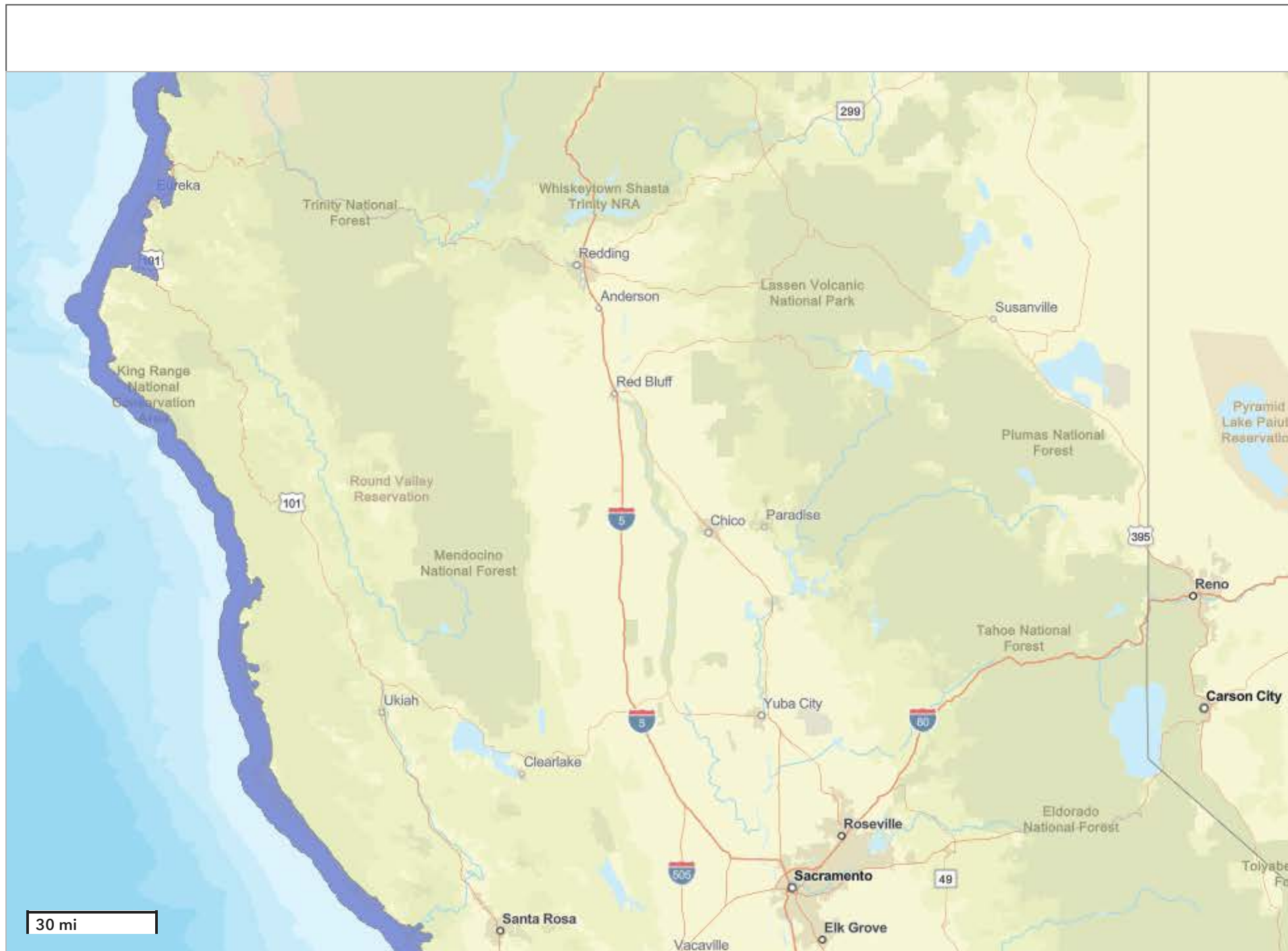
(/story/2021-04/updated-maps-coastal-barrier-resources-system-units-north-carolina-

Apr 29, 2021

Science and Technology

south-carolina-
and)

[VIEW OUR LIBRARY \(/PROGRAM/COASTAL-BARRIER-RESOURCES-ACT/LIBRARY\)](#)



California State Parks, Esri, HERE, Garmin, FAO, NOAA, USGS, Bureau of Land Management, EPA, NPS

Powered by Esri



FEMA Flood Map Service Center: Search By Address

Navigation

Search

[MSC Home \(/portal/\)](#)

[MSC Search by Address \(/portal/search\)](#)

[MSC Search All Products \(/portal/advanceSearch\)](#)

▼ [MSC Products and Tools \(/portal/resources/productsandtools\)](#)

[Hazus \(/portal/resources/hazus\)](#)

[LOMC Batch Files \(/portal/resources/lomc\)](#)

[Product Availability \(/portal/productAvailability\)](#)

[MSC Frequently Asked Questions \(FAQs\) \(/portal/resources/faq\)](#)

[MSC Email Subscriptions \(/portal/subscriptionHome\)](#)

[Contact MSC Help \(/portal/resources/contact\)](#)

Enter an address, place, or coordinates: 🌐

6983 Pentz Road, paradise

Search

Whether you are in a high risk zone or not, you may need [flood insurance \(https://www.fema.gov/national-flood-insurance-program\)](https://www.fema.gov/national-flood-insurance-program) because most homeowners insurance doesn't cover flood damage. If you live in an area with low or moderate flood risk, you are 5 times more likely to experience flood than a fire in your home over the next 30 years. For many, a National Flood Insurance Program's flood insurance policy could cost less than \$400 per year. Call your insurance agent today and protect what you've built.

Learn more about [steps you can take \(https://www.fema.gov/what-mitigation\)](https://www.fema.gov/what-mitigation) to reduce flood risk damage.

Search Results—Products for PARADISE, TOWN OF

[Show ALL Products » \(https://msc.fema.gov/portal/availabilitySearch?addcommunity=060748&communityName=PARA](https://msc.fema.gov/portal/availabilitySearch?addcommunity=060748&communityName=PARA)

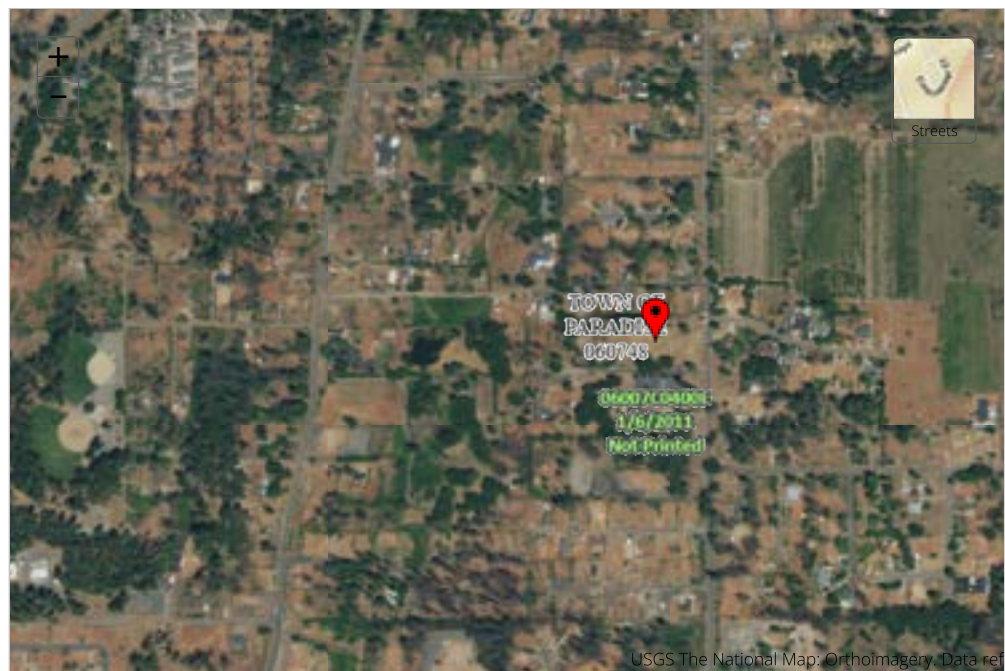
The flood map for the selected area is number 06007C0400E. The flood map for this location has a status of "not printed". This means that the entire area of the panel is in a single flood zone, so FEMA chose to economize and not create a printable image for this location. However, the flood zone data is viewable on the interactive map below and you can print a map for your location using the "FIRMette" button

DYNAMIC MAP



You can choose a new flood map or move the location pin by selecting a different location on the locator map below or by entering a new location in the search field above. It may take a minute or more during peak hours to generate a dynamic FIRMette.

[Go To NFHL Viewer » \(https://hazards-fema.maps.arcgis.com/apps/webappviewer/index.html?id=8b0adb51996444d](https://hazards-fema.maps.arcgis.com/apps/webappviewer/index.html?id=8b0adb51996444d)





Share This Page.

[Home \(//www.fema.gov/\)](http://www.fema.gov/)
[Download Plug-ins \(//www.fema.gov/download-plug-ins\)](http://www.fema.gov/download-plug-ins)
[About Us \(//www.fema.gov/about-agency\)](http://www.fema.gov/about-agency)
[Privacy Policy \(//www.fema.gov/privacy-policy\)](http://www.fema.gov/privacy-policy)
[FOIA \(//www.fema.gov/foia\)](http://www.fema.gov/foia)
[Office of the Inspector General \(//www.oig.dhs.gov/\)](http://www.oig.dhs.gov/)
[Strategic Plan \(//www.fema.gov/fema-strategic-plan\)](http://www.fema.gov/fema-strategic-plan)
[Whitehouse.gov \(//www.whitehouse.gov\)](http://www.whitehouse.gov)
[DHS.gov \(//www.dhs.gov\)](http://www.dhs.gov)
[Ready.gov \(//www.ready.gov\)](http://www.ready.gov)
[USA.gov \(//www.usa.gov\)](http://www.usa.gov)
[DisasterAssistance.gov \(//www.disasterassistance.gov\)](http://www.disasterassistance.gov)



(<https://www.oig.dhs.gov/hotline>)

Official website of the Department of Homeland Security

environmental document should provide a succinct and reasoned discussion concerning the applicability of screening criteria in reaching a determination regarding impact significance.

4.4 Impact Analysis and Determining Significance

If a project does not meet the screening criteria provided in Table 4-1, then emissions of nonattainment pollutants (ROG, NO_x, PM) and, if appropriate given the project, other criteria or toxic air pollutants, should be modeled and quantified to determine whether or not a significant impact will occur pursuant to the thresholds of significance presented in Table ES-2.

4.4.1 Modeling Air Quality Emissions

There are several approaches available to modeling air pollutants; applicants and lead agencies are encouraged to consult with the District regarding the most suitable model. The basic steps are provided in Table 4-2.

Step	Evaluate	Construction			Operation		
		ROG	NO _x	PM	ROG	NO _x	PM
1	Area Sources	A	A	A	A	A	A
	Mobile Sources	B	B	B	B	B	B
	Total Unmitigated Emissions	A+B=C	A+B=C	A+B=C	A+B=C	A+B=C	A+B=C
2	BCAQMD Threshold	Max 137 lbs/day not to exceed annual 4.5 tons/year	Max 137 lbs/day not to exceed annual 4.5 tons/year	80 lbs/day	25 lbs/day	25 lbs/day	80 lbs/day
3	Unmitigated Emissions Exceed BCAQMD Threshold?	Are unmitigated emissions C > Threshold? If yes, the impact is significant - go to Step 4. If no, the impact is less than significant and mitigation is not required.					
4	Emissions Mitigated to Maximum Extent Feasible	D	D	D	D	D	D
5	Mitigated Emissions Exceed BCAQMD Threshold?	Are mitigated emissions D > Threshold? If no, the impact is less than significant with mitigation incorporated. If yes, the impact is significant and unavoidable.					

Note: Letters "A" and "B" represent numeric values that would be obtained through modeling for sources of construction and operational emissions. "C" represents the sum of unmitigated emissions "A" and "B"; "D" represents mitigated emissions.

For most development projects, the District recommends using the latest version of CalEEMod to estimate criteria air pollutants (and, as discussed in Section 6, greenhouse gases). CalEEMod, developed and maintained by the California Air Pollution Control Officers Association (CAPCOA), is widely used and provides a consistent approach to estimating air pollutant emissions resulting from construction and operation. It calculates emissions for a variety of project types, including ROG, NO_x, fugitive dust and exhaust PM, GHGs, and other air pollutants.

Accurate modeling and quantification of criteria air pollutants depends upon correctly evaluating their relevant source(s) and emission rates. CalEEMod provides emission factors for both the

1. ARB Recommendations on Siting New Sensitive Land Uses

Protecting California's communities and our children from the health effects of air pollution is one of the most fundamental goals of state and local air pollution control programs. Our focus on children reflects their special vulnerability to the health impacts of air pollution. Other vulnerable populations include the elderly, pregnant women, and those with serious health problems affected by air pollution. With this document, we hope to more effectively engage local land use agencies as partners in our efforts to reduce health risk from air pollution in all California communities.

Later sections emphasize the need to strengthen the connection between air quality and land use in both planning and permitting processes. Because the siting process for many, but not all air pollution sources involves permitting by local air districts, there is an opportunity for interagency coordination where the proposed location might pose a problem. To enhance the evaluation process from a land use perspective, section 4 includes recommended project related questions to help screen for potential proximity related issues.

Unlike industrial and other stationary sources of air pollution, the siting of new homes or day care centers does not require an air quality permit. Because these situations fall outside the air quality permitting process, it is especially important that land use agencies be aware of potential air pollution impacts.

The following recommendations address the issue of siting "sensitive land uses" near specific sources of air pollution; namely:

- High traffic freeways and roads
- Distribution centers
- Rail yards
- Ports
- Refineries
- Chrome plating facilities
- Dry cleaners
- Large gas dispensing facilities

The recommendations for each category include a summary of key information and guidance on what to avoid from a public health perspective.

Sensitive individuals refer to those segments of the population most susceptible to poor air quality (i.e., children, the elderly, and those with pre-existing serious health problems affected by air quality). Land uses where sensitive individuals are most likely to spend time include schools and schoolyards, parks and playgrounds, daycare centers, nursing homes, hospitals, and residential communities (sensitive sites or sensitive land uses).

We are characterizing sensitive land uses as simply as we can by using the example of residences, schools, day care centers, playgrounds, and medical facilities. However, a variety of facilities are encompassed. For example, residences can include houses, apartments, and senior living complexes. Medical facilities can include hospitals, convalescent homes, and health clinics. Playgrounds could be play areas associated with parks or community centers.

In developing these recommendations, ARB first considered the adequacy of the data available for each air pollution source category. We assessed whether we could generally characterize the relative exposure and health risk from a proximity standpoint. The documented non-cancer health risks include triggering of asthma attacks, heart attacks, and increases in daily mortality and hospitalization for heart and respiratory diseases. These health impacts are well documented in epidemiological studies, but less easy to quantify from a particular air pollution source. Therefore, the cancer health impacts are used in this document to provide a picture of relative risk. This screening process provided the list of source categories we were able to address with specific recommendations. In evaluating the available information, we also considered the practical implications of making hard and fast recommendations where the potential impact area is large, emissions will be reduced with time, and air agencies are in the process of looking at options for additional emission control. Due to the large variability in relative risk between the source categories, we chose not to apply a uniform, quantified risk threshold as is typically done in regulatory programs. Therefore, in the end, we tailored our recommendations to minimize the highest exposures for each source category independently. Additionally, because this guidance is not regulatory or binding on local agencies, we took a more qualitative approach to developing distance based recommendations.

Where possible, we recommend a minimum separation between new sensitive land uses and existing sources. However, this is not always possible, particularly where there is an elevated health risk over large geographical areas. Areas downwind of ports and rail yards are prime examples. In such cases, we recommend doing everything possible to avoid locating sensitive receptors within the highest risk zones. Concurrently, air agencies and others will be working to reduce the overall risk through controls and measures within their scope of authority.

The recommendations were developed from the standpoint of siting new sensitive land uses. Project-specific data for new and existing air pollution sources are available as part of the air quality permitting process. Where such information is available, it should be used. Our recommendations are designed to fill a gap where information about existing facilities may not be readily available. These recommendations are only guidelines and are not designed to substitute for more specific information if it exists.

A summary of our recommendations is shown in Table 1-1. The basis and references¹ supporting each of these recommendations, including health studies, air quality modeling and monitoring studies is discussed below beginning with freeways and summarized in Table 1-2. As new information becomes available, it will be included on ARB's community health web page.

¹Detailed information on these references are available on ARB's website at: <http://www.ARB.ca.gov/ch/landuse.htm>.

Table 1-1

**Recommendations on Siting New Sensitive Land Uses
Such As Residences, Schools, Daycare Centers, Playgrounds, or Medical
Facilities***

Source Category	Advisory Recommendations
Freeways and High-Traffic Roads	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.
Distribution Centers	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day, more than 40 trucks with operating transport refrigeration units (TRUs) per day, or where TRU unit operations exceed 300 hours per week). • Take into account the configuration of existing distribution centers and avoid locating residences and other new sensitive land uses near entry and exit points.
Rail Yards	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses within 1,000 feet of a major service and maintenance rail yard. • Within one mile of a rail yard, consider possible siting limitations and mitigation approaches.
Ports	<ul style="list-style-type: none"> • Avoid siting of new sensitive land uses immediately downwind of ports in the most heavily impacted zones. Consult local air districts or the ARB on the status of pending analyses of health risks.
Refineries	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses immediately downwind of petroleum refineries. Consult with local air districts and other local agencies to determine an appropriate separation.
Chrome Platers	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses within 1,000 feet of a chrome plater.
Dry Cleaners Using Perchloro-ethylene	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses within 300 feet of any dry cleaning operation. For operations with two or more machines, provide 500 feet. For operations with 3 or more machines, consult with the local air district. • Do not site new sensitive land uses in the same building with perc dry cleaning operations.
Gasoline Dispensing Facilities	<ul style="list-style-type: none"> • Avoid siting new sensitive land uses within 300 feet of a large gas station (defined as a facility with a throughput of 3.6 million gallons per year or greater). A 50 foot separation is recommended for typical gas dispensing facilities.

***Notes:**

- These recommendations are advisory. Land use agencies have to balance other considerations, including housing and transportation needs, economic development priorities, and other quality of life issues.

- Recommendations are based primarily on data showing that the air pollution exposures addressed here (i.e., localized) can be reduced as much as 80% with the recommended separation.
- The relative risk for these categories varies greatly (see Table 1-2). To determine the actual risk near a particular facility, a site-specific analysis would be required. Risk from diesel PM will decrease over time as cleaner technology phases in.
- These recommendations are designed to fill a gap where information about existing facilities may not be readily available and are not designed to substitute for more specific information if it exists. The recommended distances take into account other factors in addition to available health risk data (see individual category descriptions).
- Site-specific project design improvements may help reduce air pollution exposures and should also be considered when siting new sensitive land uses.
- This table does not imply that mixed residential and commercial development in general is incompatible. Rather it focuses on known problems like dry cleaners using perchloroethylene that can be addressed with reasonable preventative actions.
- A summary of the basis for the distance recommendations can be found in Table 1-2.

Table 1-2

Summary of Basis for Advisory Recommendations

Source Category	Range of Relative Cancer Risk^{1,2}	Summary of Basis for Advisory Recommendations
Freeways and High-Traffic Roads	300 – 1,700	<ul style="list-style-type: none"> In traffic-related studies, the additional non-cancer health risk attributable to proximity was seen within 1,000 feet and was strongest within 300 feet. California freeway studies show about a 70% drop off in particulate pollution levels at 500 feet.
Distribution Centers ³	Up to 500	<ul style="list-style-type: none"> Because ARB regulations will restrict truck idling at distribution centers, transport refrigeration unit (TRU) operations are the largest onsite diesel PM emission source followed by truck travel in and out of distribution centers. Based on ARB and South Coast District emissions and modeling analyses, we estimate an 80 percent drop-off in pollutant concentrations at approximately 1,000 feet from a distribution center.
Rail Yards	Up to 500	<ul style="list-style-type: none"> The air quality modeling conducted for the Roseville Rail Yard Study predicted the highest impact is within 1,000 feet of the Yard, and is associated with service and maintenance activities. The next highest impact is between a half to one mile of the Yard, depending on wind direction and intensity.
Ports	Studies underway	<ul style="list-style-type: none"> ARB will evaluate the impacts of ports and develop a new comprehensive plan that will describe the steps needed to reduce public health impacts from port and rail activities in California. In the interim, a general advisory is appropriate based on the magnitude of diesel PM emissions associated with ports.
Refineries	Under 10	<ul style="list-style-type: none"> Risk assessments conducted at California refineries show risks from air toxics to be under 10 chances of cancer per million.⁴ Distance recommendations were based on the amount and potentially hazardous nature of many of the pollutants released as part of the refinery process, particularly during non-routine emissions releases.
Chrome Platers	10-100	<ul style="list-style-type: none"> ARB modeling and monitoring studies show localized risk of hexavalent chromium diminishing significantly at 300 feet. There are data limitations in both the modeling and monitoring studies. These include variability of plating activities and uncertainty of emissions such as fugitive dust. Hexavalent chromium is one of the most potent toxic air contaminants. Considering these factors, a distance of 1,000 feet was used as a precautionary measure.
Dry Cleaners Using Perchloroethylene (perc)	15-150	<ul style="list-style-type: none"> Local air district studies indicate that individual cancer risk can be reduced by as much as 75 percent by establishing a 300 foot separation between a sensitive land use and a one-machine perc dry cleaning operation. For larger operations (2 machines or more), a separation of 500 feet can reduce risk by over 85 percent.

Source Category	Range of Relative Cancer Risk ^{1,2}	Summary of Basis for Advisory Recommendations
Gasoline Dispensing Facilities (GDF) ⁵	<p>Typical GDF: Less than 10</p> <p>Large GDF: Between Less than 10 and 120</p>	<ul style="list-style-type: none"> Based on the CAPCOA Gasoline Service Station Industry-wide Risk Assessment Guidelines, most typical GDFs (less than 3.6 million gallons per year) have a risk of less than 10 at 50 feet under urban air dispersion conditions. Over the last few years, there has been a growing number of extremely large GDFs with sales over 3.6 and as high as 19 million gallons per year. Under rural air dispersion conditions, these large GDFs can pose a larger risk at a greater distance.

¹For cancer health effects, risk is expressed as an estimate of the increased chances of getting cancer due to facility emissions over a 70-year lifetime. This increase in risk is expressed as chances in a million (e.g., 10 chances in a million).

²The estimated cancer risks are a function of the proximity to the specific category and were calculated independent of the regional health risk from air pollution. For example, the estimated regional cancer risk from air toxics in the Los Angeles region (South Coast Air Basin) is approximately 1,000 in a million.

³Analysis based on refrigerator trucks.

⁴Although risk assessments performed by refineries indicate they represent a low cancer risk, there is limited data on non-cancer effects of pollutants that are emitted from these facilities. Refineries are also a source of non-routine emissions and odors.

⁵A typical GDF in California dispenses under 3.6 million gallons of gasoline per year. The cancer risk for this size facility is likely to be less than 10 in a million at the fence line under urban air dispersion conditions.

A large GDF has fuel throughputs that can range from 3.6 to 19 million gallons of gasoline per year. The upper end of the risk range (i.e., 120 in a million) represents a hypothetical worst case scenario for an extremely large GDF under rural air dispersion conditions.

Freeways and High Traffic Roads

Air pollution studies indicate that living close to high traffic and the associated emissions may lead to adverse health effects beyond those associated with regional air pollution in urban areas. Many of these epidemiological studies have focused on children. A number of studies identify an association between adverse non-cancer health effects and living or attending school near heavily traveled roadways (see findings below). These studies have reported associations between residential proximity to high traffic roadways and a variety of respiratory symptoms, asthma exacerbations, and decreases in lung function in children.

One such study that found an association between traffic and respiratory symptoms in children was conducted in the San Francisco Bay Area. Measurements of traffic-related pollutants showed concentrations within 300 meters (approximately 1,000 feet) downwind of freeways were higher than regional values. Most other studies have assessed exposure based on proximity factors such as distance to freeways or traffic density.

These studies linking traffic emissions with health impacts build on a wealth of data on the adverse health effects of ambient air pollution. The data on the effects of proximity to traffic-related emissions provides additional information that can be used in land use siting and regulatory actions by air agencies. The key observation in these studies is that close proximity increases both exposure and the potential for adverse health effects. Other effects associated with traffic emissions include premature death in elderly individuals with heart disease.

Key Health Findings

- Reduced lung function in children was associated with traffic density, especially trucks, within 1,000 feet and the association was strongest within 300 feet. (Brunekreef, 1997)
- Increased asthma hospitalizations were associated with living within 650 feet of heavy traffic and heavy truck volume. (Lin, 2000)
- Asthma symptoms increased with proximity to roadways and the risk was greatest within 300 feet. (Venn, 2001)
- Asthma and bronchitis symptoms in children were associated with proximity to high traffic in a San Francisco Bay Area community with good overall regional air quality. (Kim, 2004)
- A San Diego study found increased medical visits in children living within 550 feet of heavy traffic. (English, 1999)

In these and other proximity studies, the distance from the roadway and truck traffic densities were key factors affecting the strength of the association with adverse health effects. In the above health studies, the association of traffic-related emissions with adverse health effects was seen within 1,000 feet and was

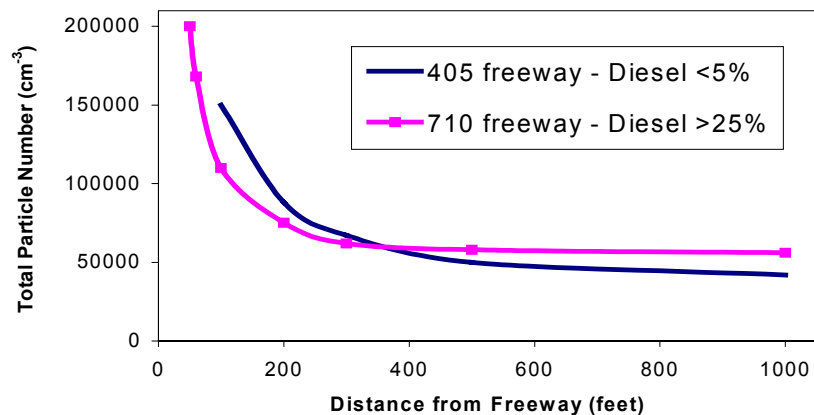
strongest within 300 feet. This demonstrates that the adverse effects diminished with distance.

In addition to the respiratory health effects in children, proximity to freeways increases potential cancer risk and contributes to total particulate matter exposure. There are three carcinogenic toxic air contaminants that constitute the majority of the known health risk from motor vehicle traffic – diesel particulate matter (diesel PM) from trucks, and benzene and 1,3-butadiene from passenger vehicles. On a typical urban freeway (truck traffic of 10,000-20,000/day), diesel PM represents about 70 percent of the potential cancer risk from the vehicle traffic. Diesel particulate emissions are also of special concern because health studies show an association between particulate matter and premature mortality in those with existing cardiovascular disease.

Distance Related Findings

A southern California study (Zhu, 2002) showed measured concentrations of vehicle-related pollutants, including ultra-fine particles, decreased dramatically within approximately 300 feet of the 710 and 405 freeways. Another study looked at the validity of using distance from a roadway as a measure of exposure

**Figure 1-1
Decrease In Concentration of Freeway Diesel PM Emissions
With Distance**



to traffic related air pollution (Knape, 1999). This study showed that concentrations of traffic related pollutants declined with distance from the road, primarily in the first 500 feet.

These findings are consistent with air quality modeling and risk analyses done by ARB staff that show an estimated range of potential cancer risk that decreases with distance from freeways. The estimated risk varies with the local meteorology, including wind pattern. As an example, at 300 feet downwind from a freeway (Interstate 80) with truck traffic of 10,000 trucks per day, the potential cancer risk was as high as 100 in one million (ARB Roseville Rail Yard Study). The cancer health risk at 300 feet on the upwind side of the freeway was much

less. The risk at that distance for other freeways will vary based on local conditions – it may be higher or lower. However, in all these analyses the relative exposure and health risk dropped substantially within the first 300 feet. This phenomenon is illustrated in Figure 1-1.

State law restricts the siting of new schools within 500 feet of a freeway, urban roadways with 100,000 vehicles/day, or rural roadways with 50,000 vehicles with some exceptions.² However, no such requirements apply to the siting of residences, day care centers, playgrounds, or medical facilities. The available data show that exposure is greatly reduced at approximately 300 feet. In the traffic-related studies the additional health risk attributable to the proximity effect was strongest within 1,000 feet.

The combination of the children's health studies and the distance related findings suggests that it is important to avoid exposing children to elevated air pollution levels immediately downwind of freeways and high traffic roadways. These studies suggest a substantial benefit to a 500-foot separation.

The impact of traffic emissions is on a gradient that at some point becomes indistinguishable from the regional air pollution problem. As air agencies work to reduce the underlying regional health risk from diesel PM and other pollutants, the impact of proximity will also be reduced. In the meantime, as a preventative measure, we hope to avoid exposing more children and other vulnerable individuals to the highest concentrations of traffic-related emissions.

Recommendation

- Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.

References

- Brunekreef, B. et al. "Air pollution from truck traffic and lung function in children living near motorways." Epidemiology. 1997; 8:298-303
- Lin, S. et al. "Childhood asthma hospitalization and residential exposure to state route traffic." Environ Res. 2002;88:73-81
- Venn. et al. "Living near a main road and the risk of wheezing illness in children." American Journal of Respiratory and Critical Care Medicine. 2001; Vol.164, pp. 2177-2180
- Kim, J. et al. "Traffic-related air pollution and respiratory health: East Bay Children's Respiratory Health Study." American Journal of Respiratory and Critical Care Medicine 2004; Vol. 170. pp. 520-526

² Section 17213 of the California Education Code and section 21151.8 of the California Public Resources Code. See also Appendix E for a description of special processes that apply to school siting.

- Zhu, Y et al. "Study of Ultra-Fine Particles Near A Major Highway With Heavy-Duty Diesel Traffic." Atmospheric Environment. 2002 ; 36:4323-4335
- Knape, M. "Traffic related air pollution in city districts near motorways." The Science of the Total Environment. 1999; 235:339-341
- *Roseville Rail Yard Study*. ARB (October 2004)
- *ARB Diesel Risk Reduction Plan*. (2000)
- Delfino RJ "Epidemiologic Evidence for Asthma and Exposure to Air Toxics: Linkages Between Occupational, Indoor, and Community Air Pollution Research." Environmental Health Perspectives. (2002) 110 (supplement 4): 573-589
- English P., Neutra R., Scalf R. Sullivan M. Waller L. Zhu L. "Examining Associations Between Childhood Asthma and Traffic Flow Using a Geographic Information System." (1999) Environmental Health Perspectives 107(9): 761-767

Distribution Centers

Distribution centers or warehouses are facilities that serve as a distribution point for the transfer of goods. Such facilities include cold storage warehouses, goods transfer facilities, and inter-modal facilities such as ports. These operations involve trucks, trailers, shipping containers, and other equipment with diesel engines. A distribution center can be comprised of multiple centers or warehouses within an area. The size can range from several to hundreds of acres, involving a number of different transfer operations and long waiting periods. A distribution center can accommodate hundreds of diesel trucks a day that deliver, load, and/or unload goods up to seven days a week. To the extent that these trucks are transporting perishable goods, they are equipped with diesel-powered transport refrigeration units (TRUs) or TRU generator sets.

The activities associated with delivering, storing, and loading freight produces diesel PM emissions. Although TRUs have relatively small diesel-powered engines, in the normal course of business, their emissions can pose a significant health risk to those nearby. In addition to onsite emissions, truck travel in and out of distribution centers contributes to the local pollution impact.

ARB is working to reduce diesel PM emissions through regulations, financial incentives, and enforcement programs. In 2004, ARB adopted two airborne toxic control measures that will reduce diesel PM emissions associated with distribution centers. The first will limit nonessential (or unnecessary) idling of diesel-fueled commercial vehicles, including those entering from other states or countries. This statewide measure, effective in 2005, prohibits idling of a vehicle more than five minutes at any one location.³ The elimination of unnecessary idling will reduce the localized impacts caused by diesel PM and other air toxics

³ For further information on the Anti-Idling ATCM, please click on:
<http://www.arb.ca.gov/toxics/idling/outreach/factsheet.pdf>

in diesel vehicle exhaust. This should be a very effective new strategy for reducing diesel PM emissions at distribution centers as well as other locations.

The second measure requires that TRUs operating in California become cleaner over time. The measure establishes in-use performance standards for existing TRU engines that operate in California, including out-of-state TRUs. The requirements are phased-in beginning in 2008, and extend to 2019.⁴

ARB also operates a smoke inspection program for heavy-duty diesel trucks that focuses on reducing truck emissions in California communities. Areas with large numbers of distribution centers are a high priority.

Key Health Findings

Diesel PM has been identified by ARB as a toxic air contaminant and represents 70 percent of the known potential cancer risk from air toxics in California. Diesel PM is an important contributor to particulate matter air pollution. Particulate matter exposure is associated with premature mortality and health effects such as asthma exacerbation and hospitalization due to aggravating heart and lung disease.

Distance Related Findings

Although distribution centers are located throughout the state, they are usually clustered near transportation corridors, and are often located in or near population centers. Diesel PM emissions from associated delivery truck traffic and TRUs at these facilities may result in elevated diesel PM concentrations in neighborhoods surrounding those sites. Because ARB regulations will restrict truck idling at distribution centers, the largest continuing onsite diesel PM emission source is the operation of TRUs. Truck travel in and out of distribution centers also contributes to localized exposures, but specific travel patterns and truck volumes would be needed to identify the exact locations of the highest concentrations.

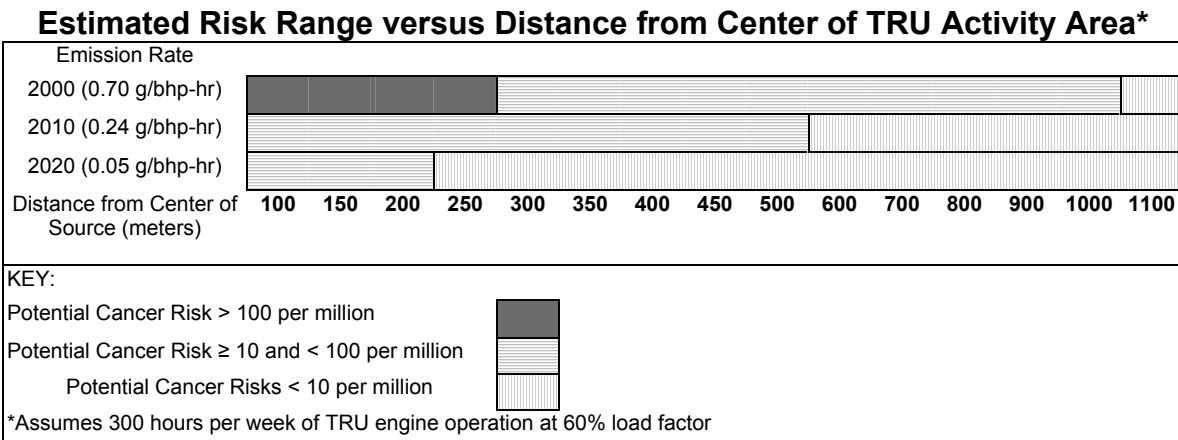
As part of the development of ARB's regulation for TRUs, ARB staff performed air quality modeling to estimate exposure and the associated potential cancer risk of onsite TRUs for a typical distribution center. For an individual person, cancer risk estimates for air pollution are commonly expressed as a probability of developing cancer from a lifetime (i.e., 70 years) of exposure. These risks were calculated independent of regional risk. For example, the estimated regional cancer risk from air toxics in the Los Angeles region (South Coast Air Basin) is approximately 1,000 additional cancer cases per one million population.

⁴ For further information on the Transport Refrigeration Unit ATCM, please click on: <http://www.arb.ca.gov/diesel/documents/trufa.pdf>

The diesel PM emissions from a facility are dependent on the size (horsepower), age, and number of engines, emission rates, the number of hours the truck engines and/or TRUs operate, distance, and meteorological conditions at the site. This assessment assumes a total on-site operating time for all TRUs of 300 hours per week. This would be the equivalent of 40 TRU-equipped trucks a day, each loading or unloading on-site for one hour, 12 hours a day and seven days a week.

As shown in Figure 1-2 below, at this estimated level of activity and assuming a current fleet diesel PM emission rate, the potential cancer risk would be over 100 in a million at 800 feet from the center of the TRU activity. The estimated potential cancer risk would be in the 10 to 100 per million range between 800 to 3,300 feet and fall off to less than 10 per million at approximately 3,600 feet. However with the implementation of ARB’s regulation on TRUs, the risk will be significantly reduced.⁵ We have not conducted a risk assessment for distribution centers based on truck traffic alone, but on an emissions basis, we would expect similar risks for a facility with truck volumes in the range of 100 per day.

Figure 1-2

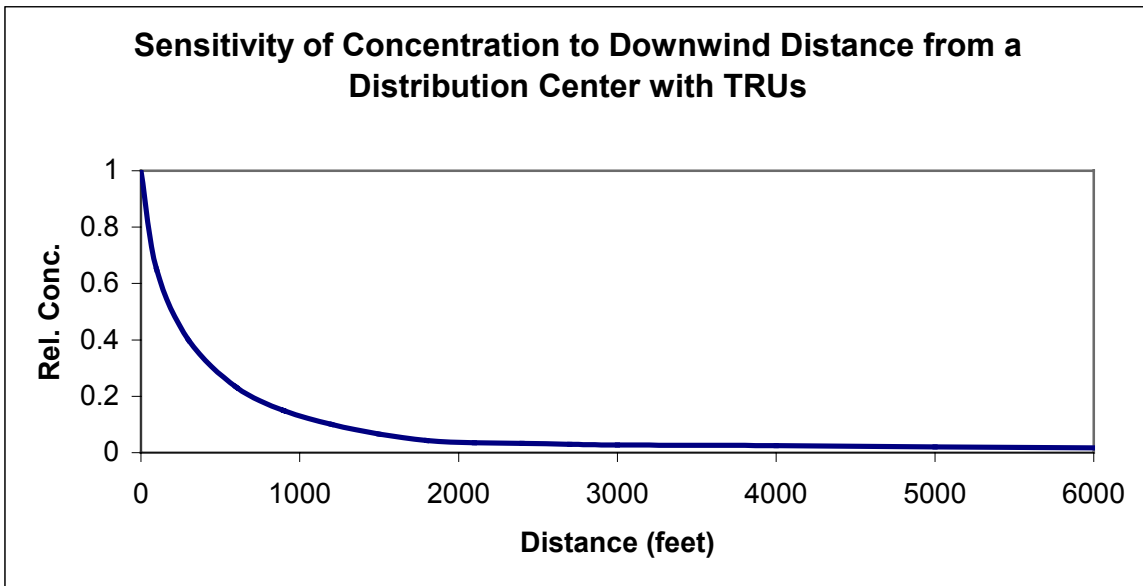


The estimated potential cancer risk level in Figure 1-2 is based on a number of assumptions that may not reflect actual conditions for a specific site. For example, increasing or decreasing the hours of diesel engine operations would change the potential risk levels. Meteorological and other facility specific parameters can also impact the results. Therefore, the results presented here are not directly applicable to any particular facility or operation. Rather, this information is intended to provide an indication as to the potential relative levels of risk that may be observed from operations at distribution centers. As shown in Figure 1-2, the estimated risk levels will decrease over time as lower-emitting diesel engines are used.

⁵ These risk values assume an exposure duration of 70 years for a nearby resident and uses the methodology specified in the 2003 OEHHA health risk assessment guidelines.

Another air modeling analysis, performed by the South Coast Air Quality Management District (South Coast AQMD), evaluated the impact of diesel PM emissions from distribution center operations in the community of Mira Loma in southern California. Based on dispersion of diesel PM emissions from a large distribution center, Figure 1-3 shows the relative pollution concentrations at varying distances downwind. As Figure 1-3 shows, there is about an 80 percent drop off in concentration at approximately 1,000 feet.

Figure 1-3
Decrease In Relative Concentration of Risk
With Distance



Both the ARB and the South Coast AQMD analyses indicate that providing a separation of 1,000 feet would substantially reduce diesel PM concentrations and public exposure downwind of a distribution center. While these analyses do not provide specific risk estimates for distribution centers, they provide an indication of the range of risk and the benefits of providing a separation. ARB recommends a separation of 1,000 feet based on the combination of risk analysis done for TRUs and the decrease in exposure predicted with the South Coast AQMD modeling. However, ARB staff plans to provide further information on distribution centers as we collect more data and implement the TRU control measure.

Taking into account the configuration of distribution centers can also reduce population exposure and risk. For example, locating new sensitive land uses away from the main entry and exit points helps to reduce cancer risk and other health impacts.

Recommendations

- Avoid siting new sensitive land uses within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day, more than 40 trucks with operating TRUs per day, or where TRU unit operations exceed 300 hours per week).
- Take into account the configuration of existing distribution centers and avoid locating residences and other new sensitive land uses near entry and exit points.

References

- *Airborne Toxic Control Measure To Limit Diesel-Fueled Commercial Motor Vehicle Idling*. ARB (August 20, 2004). Rule effectiveness date awaiting submittal of regulation to the Office of Administration Law.
<http://www.arb.ca.gov/regact/idling/idling.htm>
- *Revised Staff Report: Initial Statement of Reasons for Proposed Rulemaking. Airborne Toxic Control Measure for In-Use Diesel-Fueled Transport Refrigeration Units (TRU) and TRU Generator Sets, and Facilities Where TRUs Operate*. ARB (October 28, 2003).
<http://www.arb.ca.gov/regact/trude03/revisor.doc>
- *Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis*. SCAQMD (August 2003) http://www.aqmd.gov/ceqa/handbook/diesel_analysis.doc
- “*Mira Loma Study: Analysis of the Impact of Diesel Particulate Emissions from Warehouse/Distribution Center Operations*”, PowerPoint presentation. SCAQMD (July 31, 2002)

Rail Yards

Rail yards are a major source of diesel particulate air pollution. They are usually located near inter-modal facilities, which attract heavy truck traffic, and are often sited in mixed industrial and residential areas. ARB, working with the Placer County air district and Union Pacific Railroad, recently completed a study⁶ of the Roseville Rail Yard (Yard) in northern California that focused on the health risk from diesel particulate. A comprehensive emissions analysis and air quality modeling were conducted to characterize the estimated potential cancer risk associated with the facility.

⁶ To review the study, please click on: <http://www.arb.ca.gov/diesel/documents/rstudy.htm>

The Yard encompasses about 950 acres on a one-quarter mile wide by four-mile long strip of land that parallels Interstate 80. It is surrounded by commercial, industrial, and residential properties. The Yard is one of the largest service and maintenance rail yards in the West with over 30,000 locomotives visiting annually.

Using data provided by Union Pacific Railroad, the ARB determined the number and type of locomotives visiting the Yard annually and what those locomotives were doing - moving, idling, or undergoing maintenance testing. Union Pacific provided the annual, monthly, daily, and hourly locomotive activity in the yard including locomotive movements; routes for arrival, departure, and through trains; and locomotive service and testing. This information was used to estimate the emissions of particulate matter from the locomotives, which was then used to model the potential impacts on the surrounding community.

The key findings of the study are:

- Diesel PM emissions in 2000 from locomotive operations at the Roseville Yard were estimated at about 25 tons per year.
- Of the total diesel PM in the Yard, moving locomotives accounted for about 50 percent, idling locomotives about 45 percent, and locomotive testing about five percent.
- Air quality modeling predicts potential cancer risks greater than 500 in a million (based on 70 years of exposure) in a 10-40 acre area immediately adjacent to the Yard's maintenance operations.
- The risk assessment also showed elevated cancer risk impacting a larger area covering about a 10 by 10 mile area around the Yard.

The elevated concentrations of diesel PM found in the study contribute to an increased risk of cancer and premature death due to cardiovascular disease, and non-cancer health effects such as asthma and other respiratory illnesses. The magnitude of the risk, the general location, and the size of the impacted area depended on the meteorological data used to characterize conditions at the Yard, the dispersion characteristics, and exposure assumptions. In addition to these variables, the nature of locomotive activity will influence a risk characterization at a particular rail yard. For these reasons, the quantified risk estimates in the Roseville Rail Yard Study cannot be directly applied to other rail yards. However, the study does indicate the health risk due to diesel PM from rail yards needs to be addressed. ARB, in conjunction with the U.S. Environmental Protection Agency (U.S. EPA), and local air districts, is working with the rail industry to identify and implement short term, mid-term and long-term mitigation strategies. ARB also intends to conduct a second rail study in southern California to increase its understanding of rail yard operations and the associated public health impacts.

Key Health Findings

Diesel PM has been identified by ARB as a toxic air contaminant and represents 70 percent of the known potential cancer risk from air toxics in California. Diesel PM is an important contributor to particulate matter air pollution. Particulate matter exposure is associated with premature mortality and health effects such as asthma exacerbation and hospitalization due to aggravating heart and lung disease.

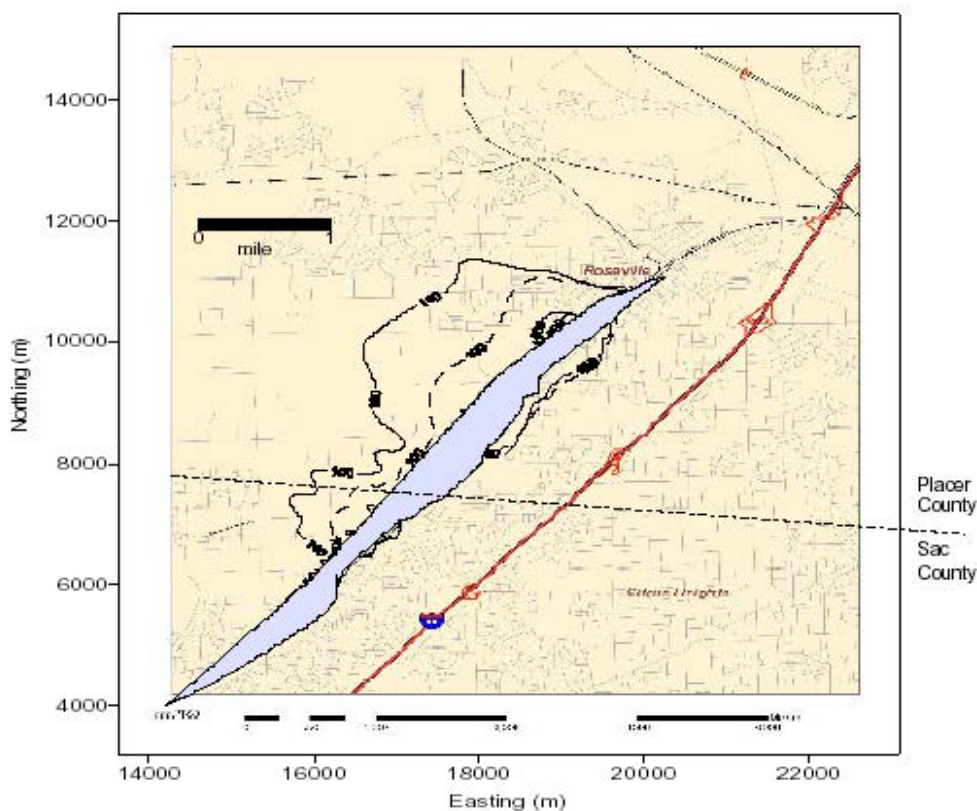
Distance Related Findings

Two sets of meteorological data were used in the Roseville study because of technical limitations in the data. The size of the impact area was highly dependent on the meteorological data set used. The predicted highest impact area ranged from 10 - 40 acres with the two different meteorological data sets. This area, with risks estimated above 500 in a million, is adjacent to an area that includes a maintenance shop (see Figure 1-4). The high concentration of diesel PM emissions is due to the number of locomotives and nature of activities in this area, particularly idling locomotives.

The area of highest impact is within 1,000 feet of the Yard. The next highest impact zone as defined in the report had a predicted risk between 500 and 100 in one million and extends out between a half to one mile in some spots, depending on which meteorological conditions were assumed. The impact areas are irregular in shape making it difficult to generalize about the impact of distance at a particular location. However, the Roseville Rail Yard Study clearly indicates that the localized health risk is high, the impact area is large, and mitigation of the locomotive diesel PM emissions is needed.

For facilities like rail yards and ports, the potential impact area is so large that the real solution is to substantially reduce facility emissions. However, land use planners can avoid encroaching upon existing rail facilities and those scheduled for expansion. We also recommend that while air agencies tackle this problem, land use planners try not to add new sensitive individuals into the highest exposure areas. Finally, we recommend that land use agencies consider the potential health impacts of rail yards in their planning and permitting processes. Additional limitations and mitigation may be feasible to further reduce exposure on a site-specific basis.

Figure 1-4
Estimated Cancer Risk from the Yard
(100 and 500 in a million risk isopleths)



Notes: 100/Million Contours: Solid Line – Roseville Met Data; Dashed Line-McClellan Met Data, Urban Dispersion Coefficients, 80th Percentile Breathing Rate, All Locomotives' Activities (23 TPY), 70-Year Exposure

Recommendation

- Avoid siting new sensitive land uses within 1,000 feet of a major service and maintenance rail yard⁷.
- Within one mile of a rail yard, consider possible siting limitations and mitigation approaches.

References

- *Roseville Rail Yard Study*. ARB (2004)

⁷ The rail yard risk analysis was conducted for the Union Pacific rail yard in Roseville, California. This rail yard is one of the largest in the state. There are other rail yards in California with comparable levels of activity that should be considered "major" for purposes of this Handbook.

Ports

Air pollution from maritime port activities is a growing concern for regional air quality as well as air quality in nearby communities. The primary air pollutant associated with port operations is directly emitted diesel particulate. Port-related activities also result in emissions that form ozone and secondary particulate in the atmosphere. The emission sources associated with ports include diesel engine-powered ocean-going ships, harbor craft, cargo handling equipment, trucks, and locomotives. The size and concentration of these diesel engines makes ports one of the biggest sources of diesel PM in the state. For that reason, ARB has made it a top priority to reduce diesel PM emissions at the ports, in surrounding communities, and throughout California.

International, national, state, and local government collaboration is critical to reducing port emissions based on both legal and practical considerations. For example, the International Maritime Organization (IMO) and the U.S. EPA establish emission standards for ocean-going vessels and U.S.-flagged harbor craft, respectively. ARB is pursuing further federal actions to tighten these standards. In addition, ARB and local air districts are reducing emissions from ports through a variety of approaches. These include: incentive programs to fund cleaner engines, enhanced enforcement of smoke emissions from ships and trucks, use of dockside electricity instead of diesel engines, cleaner fuels for ships, harbor craft, locomotives, and reduced engine idling. The two ATCMs that limit truck idling and reduce emissions from TRUs (discussed under “Distribution Centers”) also apply to ports.

ARB is also developing several other regulations that will reduce port-related emissions. One rule would require ocean-going ships to use a cleaner marine diesel fuel to power auxiliary engines while in California coastal waters and at dock. Ships that frequently visit California ports would also be required to further reduce their emissions. ARB has adopted a rule that would require harbor craft to use the same cleaner diesel fuel used by on-road trucks in California. In 2005, ARB will consider a rule that would require additional controls for in-use harbor craft, such as the use of add-on emission controls and accelerated turnover of older engines.

Key Health Findings

Port activities are a major source of diesel PM. Diesel PM has been identified by ARB as a toxic air contaminant and represents 70 percent of the known potential cancer risk from air toxics in California. Diesel PM is an important contributor to particulate matter air pollution. Particulate matter exposure is associated with premature mortality and health effects such as asthma exacerbation and hospitalization due to aggravating heart and lung disease.

Distance Related Findings

The Ports of Los Angeles and Long Beach provide an example of the emissions impact of port operations. A comprehensive emissions inventory was completed in June 2004. These ports combined are one of the world's largest and busiest seaports. Located in San Pedro Bay, about 20 miles south of downtown Los Angeles, the port complex occupies approximately 16 square miles of land and water. Port activities include five source categories that produce diesel emissions. These are ocean-going vessels, harbor craft, cargo handling equipment, railroad locomotives, and heavy-duty trucks.

The baseline emission inventory provides emission estimates for all major air pollutants. This analysis focuses on diesel PM from in-port activity because these emissions have the most potential health impact on the areas adjacent to the port. Ocean vessels are the largest overall source of diesel PM related to the ports, but these emissions occur primarily outside of the port in coastal waters, making the impact more regional in nature.

The overall in-port emission inventory for diesel particulate for the ports of Los Angeles and Long Beach is estimated to be 550 tons per year. The emissions fall in the following major categories: ocean-going vessels (17%), harbor craft (25%), cargo handling (47%), railroad locomotive (3%), and heavy duty vehicles (8%). In addition to in-port emissions, ship, rail, and trucking activities also contribute to regional emissions and increase emissions in nearby neighborhoods. Off-port emissions associated with related ship, rail, and trucking activities contribute an additional 680 tons per year of diesel particulate at the Port of Los Angeles alone.

To put this in perspective, the diesel PM emissions estimated for the Roseville Yard in ARB's 2004 study are 25 tons per year. The potential cancer risk associated with these emissions is 100 in one million at a distance of one mile, or one half mile, depending on the data set used. This rail yard covers one and a half square miles. The Los Angeles and Long Beach ports have combined diesel PM emissions of 550 tons per year emitted from a facility that covers a much larger area - 16 miles. The ports have about twice the emission density of the rail yard - 34 tons per year per square mile compared to 16 tons per year per square mile. However, while this general comparison is illustrative of the overall size of the complex, a detailed air quality modeling analysis would be needed to assess the potential health impact on specific downwind areas near the ports.

ARB is in the process of evaluating the various port-related emission sources from the standpoint of existing emissions, growth forecasts, new control options, regional air quality impacts, and localized health risk. A number of public processes - both state and local - are underway to address various aspects of these issues. Until more of these analyses are complete, there is little basis for recommending a specific separation between new sensitive land uses and ports.

For example, the type of data we have showing the relationship between air pollutant concentrations and distance from freeways is not yet available.

Also, the complexity of the port facilities makes a site-specific analysis critical. Ports are a concentration of multiple emission sources with differing dispersion and other characteristics. In the case of the Roseville rail yard, we found a high, very localized impact associated with a particular activity, service and maintenance. By contrast, the location, size, and nature of impact areas can be expected to vary substantially for different port activities. For instance, ground level emissions from dockside activities would behave differently from ship stack level emissions.

Nonetheless, on an emissions basis alone, we expect locations downwind of ports to be substantially impacted. For that reason, we recommend that land use agencies track the current assessment efforts, and consider limitations on the siting of new sensitive land uses in areas immediately downwind of ports.

Recommendations

Avoid siting new sensitive land uses immediately downwind of ports in the most heavily impacted zones. Consult local air districts or the ARB on the status of pending analyses of health risks.

References

- *Roseville Rail Yard Study*. ARB (2004)
- Final Draft, "*Port-Wide Baseline Air Emissions Inventory*." Port of Los Angeles (June 2004)
- Final Draft, "*2002 Baseline Air Emissions Inventory*." Port of Long Beach (February 2004)

Petroleum Refineries

A petroleum refinery is a complex facility where crude oil is converted into petroleum products (primarily gasoline, diesel fuel, and jet fuel), which are then transported through a system of pipelines and storage tanks for final distribution by delivery truck to fueling facilities throughout the state. In California, most crude oil is delivered either by ship from Alaska or foreign sources, or is delivered via pipeline from oil production fields within the state. The crude oil then undergoes many complex chemical and physical reactions, which include distillation, catalytic cracking, reforming, and finishing. These refining processes have the potential to emit air contaminants, and are subject to extensive emission controls by district regulations.

As a result of these regulations covering the production, marketing, and use of gasoline and other oil by-products, California has seen significant regional air quality benefits both in terms of cleaner fuels and cleaner operating facilities. In

the 1990s, California refineries underwent significant modifications and modernization to produce cleaner fuels in response to changes in state law. Nevertheless, while residual emissions are small when compared to the total emissions controlled from these major sources, refineries are so large that even small amounts of fugitive, uncontrollable emissions and associated odors from the operations, can be significant. This is particularly the case for communities that may be directly downwind of the refinery. Odors can cause health symptoms such as nausea and headache. Also, because of the size, complexity, and vast numbers of refinery processes onsite, the occasional refinery upset or malfunction can potentially result in acute or short-term health effects to exposed individuals.

Key Health Findings

Petroleum refineries are large single sources of emissions. For volatile organic compounds (VOCs), eight of the ten largest stationary sources in California are petroleum refineries. For oxides of nitrogen (NO_x), four of the ten largest stationary sources in California are petroleum refineries. Both of these compounds react in the presence of sunlight to form ozone. Ozone impacts lung function by irritating and damaging the respiratory system. Petroleum refineries are also large stationary sources of both particulate matter under 10 microns in size (PM₁₀) and particulate matter under 2.5 microns in size (PM_{2.5}). Exposure to particulate matter aggravates a number of respiratory illnesses, including asthma, and is associated with premature mortality in people with existing cardiac and respiratory disease. Both long-term and short-term exposure can have adverse health impacts. Finer particles pose an increased health risk because they can deposit deep in the lung and contain substances that are particularly harmful to human health. NO_x are also significant contributors to the secondary formation of PM_{2.5}.

Petroleum refineries also emit a variety of toxic air pollutants. These air toxics vary by facility and process operation but may include: acetaldehyde, arsenic, antimony, benzene, beryllium, 1,3-butadiene, cadmium compounds, carbonyl sulfide, carbon disulfide, chlorine, dibenzofurans, diesel particulate matter, formaldehyde, hexane, hydrogen chloride, lead compounds, mercury compounds, nickel compounds, phenol, 2,3,7,8 tetrachlorodibenzo-p-dioxin, toluene, and xylenes (mixed) among others. The potential health effects associated with these air toxics can include cancer, respiratory irritation, and damage to the central nervous system, depending on exposure levels.

Distance Related Findings

Health risk assessments for petroleum refineries have shown risks from toxic air pollutants that have quantifiable health risk values to be around 10 potential cancer cases per million. Routine air monitoring and several air monitoring studies conducted in the San Francisco Bay Area (Crockett) and the South Coast Air Basin (Wilmington) have not identified significant health risks specifically

associated with refineries. However, these studies did not measure diesel PM as no accepted method currently exists, and there are many toxic air pollutants that do not have quantifiable health risk values.

In 2002, ARB published a report on the results of the state and local air district air monitoring done near oil refineries. The purpose of this evaluation was to try to determine how refinery-related emissions might impact nearby communities. This inventory of air monitoring activities included 10 ambient air monitoring stations located near refineries in Crockett and four stations near refineries in Wilmington. These monitoring results did not identify significant increased health risks associated with the petroleum refineries. In 2002-2003, ARB conducted additional monitoring studies in communities downwind of refineries in Crockett and Wilmington. These monitoring results also did not indicate significant increased health risks from the petroleum refineries.

Consequently, there are no air quality modeling or air monitoring data that provides a quantifiable basis for recommending a specific separation between refineries and new sensitive land uses. However, in view of the amount and potentially hazardous nature of many of the pollutants released as part of the refinery process, we believe the siting of new sensitive land uses immediately downwind should be avoided. Land use agencies should consult with the local air district when considering how to define an appropriate separation for refineries within their jurisdiction.

Recommendations

- Avoid siting new sensitive land uses immediately downwind of petroleum refineries. Consult with local air districts and other local agencies to determine an appropriate separation.

References

- *Review of Current Ambient Air Monitoring Activities Related to California Bay Area and South Coast Refineries.* ARB (March 2002)
<http://www.arb.ca.gov/aaqm/qmosqual/special/mldrefinery.pdf>
- *Community Air Quality Monitoring: Special Studies – Crockett.* ARB (September 2004)
<http://www.arb.ca.gov/ch/communities/studies/crockett/crockett.htm>
- *Wilmington Study - Air Monitoring Results.* ARB (2003)
<http://www.arb.ca.gov/ch/communities/studies/wilmington/wilmington.htm>

Chrome Plating Operations

Chrome plating operations rely on the use of the toxic metal hexavalent chromium, and have been subject to ARB and local air district control programs for many years. Regulation of chrome plating operations has reduced statewide emissions substantially. However, due to the nature of chrome plating

operations and the highly toxic nature of hexavalent chromium, the remaining health risk to nearby residents is a continuing concern.

Chrome plating operations convert hexavalent chromium in solution to a chromium metal layer by electroplating, and are categorized based upon the thickness of the chromium metal layer applied. In “decorative plating”, a layer of nickel is first plated over a metal substrate. Following this step, a thin layer of chromium is deposited over the nickel layer to provide a decorative and protective finish, for example, on faucets and automotive wheels. “Hard chrome plating” is a process in which a thicker layer of chromium metal is deposited directly on metal substrates such as engine parts, industrial machinery, and tools to provide greater protection against corrosion and wear.

Hexavalent chromium is emitted into the air when an electric current is applied to the plating bath. Emissions are dependent upon the amount of electroplating done per year and the control requirements. A unit of production referred to as an ampere-hour represents the amount of electroplating produced. Small facilities have an annual production rate of 100,000 – 500,000 ampere-hours, while medium-size facilities may have a production rate of 500,000 to about 3 million ampere-hours. The remaining larger facilities have a range of production rates that can be as high as 80 million ampere-hours.

The control requirements, which reduce emissions from the plating tanks, vary according to the size and type of the operation. Facilities either install add-on pollution control equipment, such as filters and scrubbers, or in-tank controls, such as fume suppressants and polyballs. With this combination of controls, the overall hexavalent chromium emissions have been reduced by over 90 percent. Larger facilities typically have better controls that can achieve efficiencies greater than 99 percent. However, even with stringent controls, the lack of maintenance and good housekeeping practices can lead to problems. And, since the material itself is inherently dangerous, any lapse in compliance poses a significant risk to nearby residents.

A 2002 ARB study in the San Diego community of Barrio Logan measured unexpectedly high concentrations of hexavalent chromium near chrome platers. The facilities were located in a mixed-use area with residences nearby. The study found that fugitive dust laden with hexavalent chromium was an important source of emissions that likely contributed to the elevated cancer risk. Largely as a result of this study, ARB is in the process of updating the current requirements to further reduce the emissions from these facilities.

In December 2004, the ARB adopted an ATCM to reduce emissions of hexavalent chromium and nickel from thermal spraying operations through the installation of best available control technology. The ATCM requires all existing facilities to comply with its requirements by January 1, 2006. New and modified thermal spraying operations must comply upon initial startup. An existing thermal spraying facility may be exempt from the minimum control efficiency

requirements of the ATCM if it is located at least 1,640 feet from the nearest sensitive receptor and emits no more than 0.5 pound per year of hexavalent chromium.⁸

Key Health Findings

Hexavalent chromium is one of the most toxic air pollutants regulated by the State of California. Hexavalent chromium is a carcinogen and has been identified in worker health studies as causing lung cancer. Exposure to even very low levels of hexavalent chromium should be avoided.

The California Office of Environmental Health Hazard Assessment has found that: 1) many epidemiological studies show a strong association between hexavalent chromium exposure in the work place and respiratory cancer; and 2) all short-term assays reported show that hexavalent chromium compounds can cause damage to human DNA.

Hexavalent chromium when inhaled over a period of many years can cause a variety of non-cancer health effects. These health effects include damage to the nose, blood disorders, lung disease, and kidney damage. The non-cancer health impacts occur with exposures considerably higher than exposures causing significant cancer risks. It is less likely that the public would be exposed to hexavalent chromium at levels high enough to cause these non-cancer health effects. Non-cancer health effects, unlike cancer health effects, have a threshold or exposure level below which non-cancer health effects would not be expected.

Distance Related Findings

ARB's 2002 Barrio Logan Study measured concentrations of hexavalent chromium in the air near two chrome plating facilities. The study was conducted from December 2001 to May 2002. There were two chrome platers on the street - one decorative and one hard plater. The purpose of the study was to better understand the near source impact of hexavalent chromium emissions. Air monitors were placed at residences next to the platers and at varying distances down the street. The monitors were moved periodically to look at the spatial distribution of the impact. Source testing and facility inspections identified one of the facilities as the likely source.

The first two weeks of monitoring results showed unexpectedly high levels of hexavalent chromium at a number of the monitoring sites. The high concentrations were intermittent. The concentrations ranged from 1 to 22 ng/m³ compared to the statewide average of 0.1 ng/m³. If these levels were to continue for 70 years, the potential cancer risk would be 150 in one million. The highest value was found at an air monitor behind a house adjacent to one of the

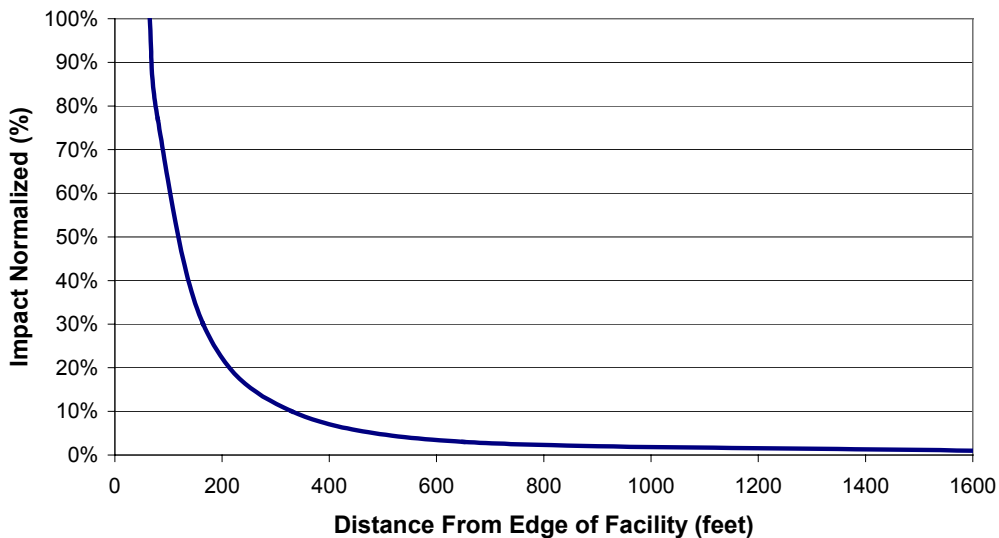
⁸ For further information on the ATCM, please refer to:
<http://www.arb.ca.gov/regact/thermspr/thermalspr.htm>

plating facilities—approximately 30 feet from the back entrance. Lower, but significant concentrations were found at an ambient air monitor 250 feet away.

The monitoring covered a period when the facility was not operating its plating tank. During this period, one of the highest concentrations was measured at an adjacent house. It appears that chromium-laden dust was responsible for high concentrations at this location since there was no plating activity at the time. Dust samples from the facility were tested and found to contain high levels of hexavalent chromium. On the day the highest concentration was measured at the house next door, a monitor 350 feet away from the plater's entrance showed very little impact. Similar proximity effects are shown in ARB modeling studies.

Figure 1-5 shows how the relative health risk varies as a function of distance from a chrome plater. This analysis is based on a medium-sized chrome plater with an annual production rate of 3 million ampere-hours. As shown in Figure 1- 5, the potential health risk drops off rapidly, with over 90 percent reduction in risk within 300 feet. This modeling was done in 2003 as part of a review of ARB's current air toxic control measure for chrome platers and is based on data from a recent ARB survey of chrome platers in California. The emission

Figure 1-5
Risk vs. Distance From Chrome Plater
(Based on plating tank emissions)



rates are only for plating operations. Because there are insufficient data available to directly quantify the impacts, the analysis does not include fugitive emissions, which the Barrio Logan analysis indicated could be significant.

Both the ARB Barrio Logan monitoring results and ARB's 2003 modeling analysis suggests that the localized emissions impact of a chrome plater diminishes significantly at 300 feet. However, in developing our recommendation, we also considered the following factors:

- some chrome platers will have higher volumes of plating activity,
- potential dust impacts were not modeled,
- we have only one monitoring study looking at the impact of distance, and,
- hexavalent chromium is one of the most potent toxic air contaminants ARB has identified.

Given these limitations in the analysis, we recommend a separation of 1,000 feet as a precautionary measure. For large chrome platers, site specific information should be obtained from the local air district.

Recommendation

- Avoid siting new sensitive land uses within 1,000 feet of a chrome plater.

References

- *Ambient Air Monitoring for Hexavalent Chromium and Metals in Barrio Logan: May 2001 through May 2002.* ARB, Monitoring and Laboratory Division (October 14, 2003)
- *Draft Barrio Logan Report.* ARB, Planning and Technical Support Division (November 2004)
- *Proposed Amendments to the Hexavalent Chromium Control Measure for Decorative and Hard Chrome Plating and Chromic Acid Anodizing Facilities.* ARB (April 1998)
- Murchison, Linda; Suer, Carolyn; Cook, Jeff. “*Neighborhood Scale Monitoring in Barrio Logan,*” (AWMA Annual Conference Proceedings, June 2003)

Dry Cleaners Using Perchloroethylene (Perc Dry Cleaners)

Perchloroethylene (perc) is the solvent most commonly used by the dry cleaning industry to clean clothes or other materials. The ARB and other public health agencies have identified perc as a potential cancer-causing compound. Perc persists in the atmosphere long enough to contribute to both regional air pollution and localized exposures. Perc dry cleaners are the major source of perc emissions in California.

Since 1990, the statewide concentrations and health risk from exposure to perc has dropped over 70 percent. This is due to a number of regulatory requirements on perc dry cleaners and other sources, including degreasing operations, brake cleaners, and adhesives. ARB adopted an Airborne Toxic Control Measure (ATCM) for Perc Emissions from Dry Cleaning Operations in 1993. ARB has also prohibited the use of perc in aerosol adhesives and automotive brake cleaners.

Perc dry cleaners statewide are required to comply with ARB and local air district regulations to reduce emissions. However, even with these controls, some emissions continue to occur. Air quality studies indicate that there is still the potential for significant risks even near well-controlled dry cleaners. The South Coast AQMD has adopted a rule requiring that all new dry cleaners use alternatives to perc and that existing dry cleaners phase out the use of perc by December 2020. Over time, transition to non-toxic alternatives should occur. However, while perc continues to be used, a preventative approach should be taken to siting of new sensitive land uses.

Key Health Findings

Inhalation of perc may result in both cancer and non-cancer health effects. An assessment by California's Office of Environmental Health Hazard Assessment (OEHHA) concluded that perc is a potential human carcinogen and can cause non-cancer health effects. In addition to the potential cancer risk, the effects of long-term exposure include dizziness, impaired judgment and perception, and damage to the liver and kidneys. Workers have shown signs of liver toxicity following chronic exposure to perc, as well as kidney dysfunction and neurological effects. Non-cancer health effects occur with higher exposure levels than those associated with significant cancer risks. The public is more likely to be exposed to perchloroethylene at levels causing significant cancer risks than to levels causing non-cancer health effects. Non-cancer health effects, unlike cancer health effects, have a threshold or exposure level below which non-cancer health effects would not be expected. The ARB formally identified perc as a toxic air contaminant in October 1991.

One study has determined that inhalation of perc is the predominant route of exposure to infants living in apartments co-located in the same building with a business operating perc dry cleaning equipment. Results of air sampling within co-residential buildings indicate that dry cleaners can cause a wide range of exposures depending on the type and maintenance of the equipment. For example, a well-maintained state-of-the-art system may have risks in the range of 10 in one million, whereas a badly maintained machine with major leaks can have potential cancer risks of thousands in one million.

The California Air Pollution Control Officers Association (CAPCOA) is developing Industry-wide Risk Assessment Guidelines for Perchloroethylene Dry Cleaners which, when published, will provide detailed information on public health risk from exposure to emissions from this source.

Distance Related Findings

Risk created by perc dry cleaning is dependent on the amount of perc emissions, the type of dry cleaning equipment, proximity to the source, and how the emissions are released and dispersed (e.g., type of ventilation system, stack parameters, and local meteorology). Dry cleaners are often located near

residential areas, and near shopping centers, schools, day-care centers, and restaurants.

The vast majority of dry cleaners in California have one dry cleaning machine per facility. The South Coast AQMD estimates that an average well-controlled dry cleaner uses about 30 to 160 gallons of cleaning solvent per year, with an average of about 100 gallons. Based on these estimates, the South Coast AQMD estimates a potential cancer risk between 25 to 140 in one million at residential locations 75 feet or less from the dry cleaner, with an average of about 80 in one million. The estimate could be as high as 270 in one million for older machines.

CAPCOA's draft industry-wide risk assessment of perc dry cleaning operations indicates that the potential cancer risk for many dry cleaners may be in excess of potential cancer risk levels adopted by the local air districts. The draft document also indicates that, in general, the public's exposure can be reduced by at least 75 percent, by providing a separation distance of about 300 feet from the operation. This assessment is based on a single machine with perc use of about 100 gallons per year. At these distances, the potential cancer risk would be less than 10 potential cases per million for most scenarios.

The risk would be proportionately higher for large, industrial size, dry cleaners. These facilities typically have two or more machines and use 200 gallons or more per year of perc. Therefore, separation distances need to be greater for large dry cleaners. At a distance of 500 feet, the remaining risk for a large plant can be reduced by over 85 percent.

In California, a small number of dry cleaners that are co-located (sharing a common wall, floor, or ceiling) with a residence have the potential to expose the inhabitants of the residence to high levels of perc. However, while special requirements have been imposed on these existing facilities, the potential for exposure still exists. Avoiding these siting situations in the future is an important preventative measure.

Local air districts are a source of information regarding specific dry cleaning operations—particularly for large industrial operations with multiple machines. The 300 foot separation recommended below reflects the most common situation – a dry cleaner with only one machine. While we recommend 500 feet when there are two or more machines, site specific information should be obtained from the local air district for some very large industrial operations. Factors that can impact the risk include the number and type of machines, controls used, source configuration, building dimensions, terrain, and meteorological data.

Recommendation

- Avoid siting new sensitive land uses within 300 feet of any dry cleaning operation. For operations with two or more machines provide 500 feet. For operations with 3 or more machines, consult with the local air district.
- Do not site new sensitive land uses in the same building with perc dry cleaning operations.

References

- *Proposed Amended Rule 1421 – Control of Perchloroethylene Emissions from Dry Cleaning Systems*, Final Staff Report. South Coast AQMD. (October 2002)
- *Air Toxic Control Measure for Emissions of Perchloroethylene from Dry Cleaning Operations*. ARB (1994)
(<http://www.arb.ca.gov/toxics/atcm/percatcm.htm>)
- “An Assessment of Tetrachloroethylene in Human Breast Milk”, Judith Schreiber, New York State Department of Health – Bureau of Toxic Substance Assessment, Journal of Exposure Analysis and Environmental Epidemiology, Vol.2, Suppl.2, pp. 15-26, 1992.
- *Draft Air Toxics “Hot Spots” Program Perchloroethylene Dry Cleaner Industry-wide Risk Assessment Guidelines*. (CAPCOA (November 2002)
- *Final Environmental Assessment for Proposed Amended Rule 1421 – Control of Perchloroethylene Emissions from Dry Cleaning Systems*. South Coast AQMD. (October 18, 2002)

Gasoline Dispensing Facilities

Refueling at gasoline dispensing facilities releases benzene into the air. Benzene is a potent carcinogen and is one of the highest risk air pollutants regulated by ARB. Motor vehicles and motor vehicle-related activity account for over 90 percent of benzene emissions in California. While gasoline-dispensing facilities account for a small part of total benzene emissions, near source exposures for large facilities can be significant.

Since 1990, benzene in the air has been reduced by over 75 percent statewide, primarily due to the implementation of emissions controls on motor vehicle vapor recovery equipment at gas stations, and a reduction in benzene levels in gasoline. However, benzene levels are still significant. In urban areas, average benzene exposure is equivalent to about 50 in one million.

Gasoline dispensing facilities tend to be located in areas close to residential and shopping areas. Benzene emissions from the largest gas stations may result in near source health risk beyond the regional background and district health risk thresholds. The emergence of very high gasoline throughput at large retail or

wholesale outlets makes this a concern as these types of outlets are projected to account for an increasing market share in the next few years.

Key Health Findings

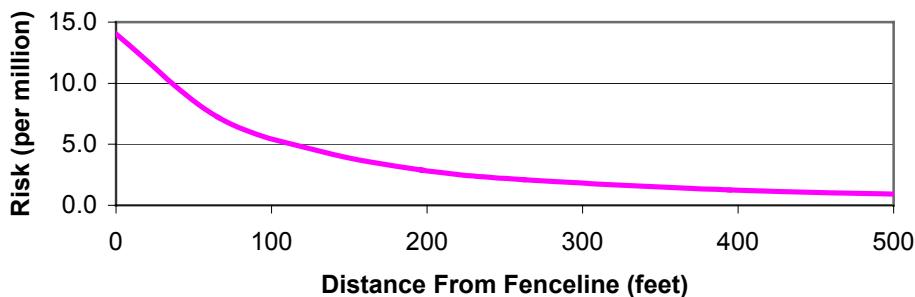
Benzene is a human carcinogen identified by ARB as a toxic air contaminant. Benzene also can cause non-cancer health effects above a certain level of exposure. Brief inhalation exposure to high concentrations can cause central nervous system depression. Acute effects include central nervous system symptoms of nausea, tremors, drowsiness, dizziness, headache, intoxication, and unconsciousness. It is unlikely that the public would be exposed to levels of benzene from gasoline dispensing facilities high enough to cause these non-cancer health effects.

Distance Related Findings

A well-maintained vapor recovery system can decrease emissions of benzene by more than 90% compared with an uncontrolled facility. Almost all facilities have emission control systems. Air quality modeling of the health risks from gasoline dispensing facilities indicate that the impact from the facilities decreases rapidly as the distance from the facility increases.

Statistics reported in the ARB's staff reports on Enhanced Vapor Recovery released in 2000 and 2002, indicated that almost 96 percent of the gasoline dispensing facilities had a throughput less than 2.4 million gallons per year. The remaining four percent, or approximately 450 facilities, had throughputs exceeding 2.4 million gallons per year. For these stations, the average gasoline throughput was 3.6 million gallons per year.

**Figure 1-6
Gasoline Dispensing Facility Health Risk
for 3,600,000 gal/yr throughput**



As shown in Figure 1-6, the risk levels for a gasoline dispensing facility with a throughput of 3.6 million gallons per year is about 10 in one million at a distance of 50 feet from the fenceline. However, as the throughput increases, the potential risk increases.

As mentioned above, air pollution levels in the immediate vicinity of large gasoline dispensing facilities may be higher than the surrounding area (although tailpipe emissions from motor vehicles dominates the health impacts). Very large gasoline dispensing facilities located at large wholesale and discount centers may dispense nine million gallons of gasoline per year or more. At nine million gallons, the potential risk could be around 25 in one million at 50 feet, dropping to about five in one million at 300 feet. Some facilities have throughputs as high as 19 million gallons.

Recommendation

- Avoid siting new sensitive land uses within 300 feet of a large gasoline dispensing facility (defined as a facility with a throughput of 3.6 million gallons per year or greater). A 50 foot separation is recommended for typical gas dispensing facilities.

References

- *Gasoline Service Station Industry-wide Risk Assessment Guidelines*. California Air Pollution Control Officers Association (December 1997 and revised November 1, 2001)
- *Staff Report on Enhanced Vapor Recovery*. ARB (February 4, 2000)
- *The California Almanac of Emissions and Air Quality*. ARB (2004)
- *Staff Report on Enhanced Vapor Recovery Technology Review*. ARB (October 2002)

Other Facility Types that Emit Air Pollutants of Concern

In addition to source specific recommendations, Table 1-3 includes a list of other industrial sources that could pose a significant health risk to nearby sensitive individuals depending on a number of factors. These factors include the amount of pollutant emitted and its toxicity, the distance to nearby individuals, and the type of emission controls in place. Since these types of facilities are subject to air permits from local air districts, facility specific information should be obtained where there are questions about siting a sensitive land use close to an industrial facility.

Potential Sources of Odor and Dust Complaints

Odors and dust from commercial activities are the most common sources of air pollution complaints and concerns from the public. Land use planning and permitting processes should consider the potential impacts of odor and dust on surrounding land uses, and provide for adequate separation between odor and dust sources. As with other types of air pollution, a number of factors need to be considered when determining an adequate distance or mitigation to avoid odor or

Table 1-3 – Examples of Other Facility Types That Emit¹ Air Pollutants of Concern

<u>Categories</u>	<u>Facility Type</u>	<u>Air Pollutants of Concern</u>
Commercial	Autobody Shops Furniture Repair Film Processing Services Distribution Centers Printing Shops Diesel Engines	Metals, Solvents Solvents ² , Methylene Chloride Solvents, Perchloroethylene Diesel Particulate Matter Solvents Diesel Particulate Matter
Industrial	Construction Manufacturers Metal Platers, Welders, Metal Spray (flame spray) Operations Chemical Producers Furniture Manufacturers Shipbuilding and Repair Rock Quarries and Cement Manufacturers Hazardous Waste Incinerators Power Plants Research and Development Facilities	Particulate Matter, Asbestos Solvents, Metals Hexavalent Chromium, Nickel, Metals Solvents, Metals Solvents Hexavalent chromium and other metals, Solvents Particulate Matter, Asbestos Dioxin, Solvents, Metals Benzene, Formaldehyde, Particulate Matter Solvents, Metals, etc.
Public	Landfills Waste Water Treatment Plants Medical Waste Incinerators Recycling, Garbage Transfer Stations Municipal Incinerators	Benzene, Vinyl Chloride, Diesel Particulate Matter Hydrogen Sulfide Dioxin, Benzene, PAH, PCBs, 1,3-Butadiene Diesel Particulate Matter Dioxin, Benzene, PAH, PCBs, 1,3-Butadiene
Transportation	Truck Stops	Diesel Particulate Matter
Agricultural Operations	Farming Operations Livestock and Dairy Operations	Diesel Particulate Matter, VOCs, NOx, PM10, CO, SOx, Pesticides Ammonia, VOCs, PM10

¹Not all facilities will emit pollutants of concern due to process changes or chemical substitution. Consult the local air district regarding specific facilities.

²Some solvents may emit toxic air pollutants, but not all solvents are toxic air contaminants.

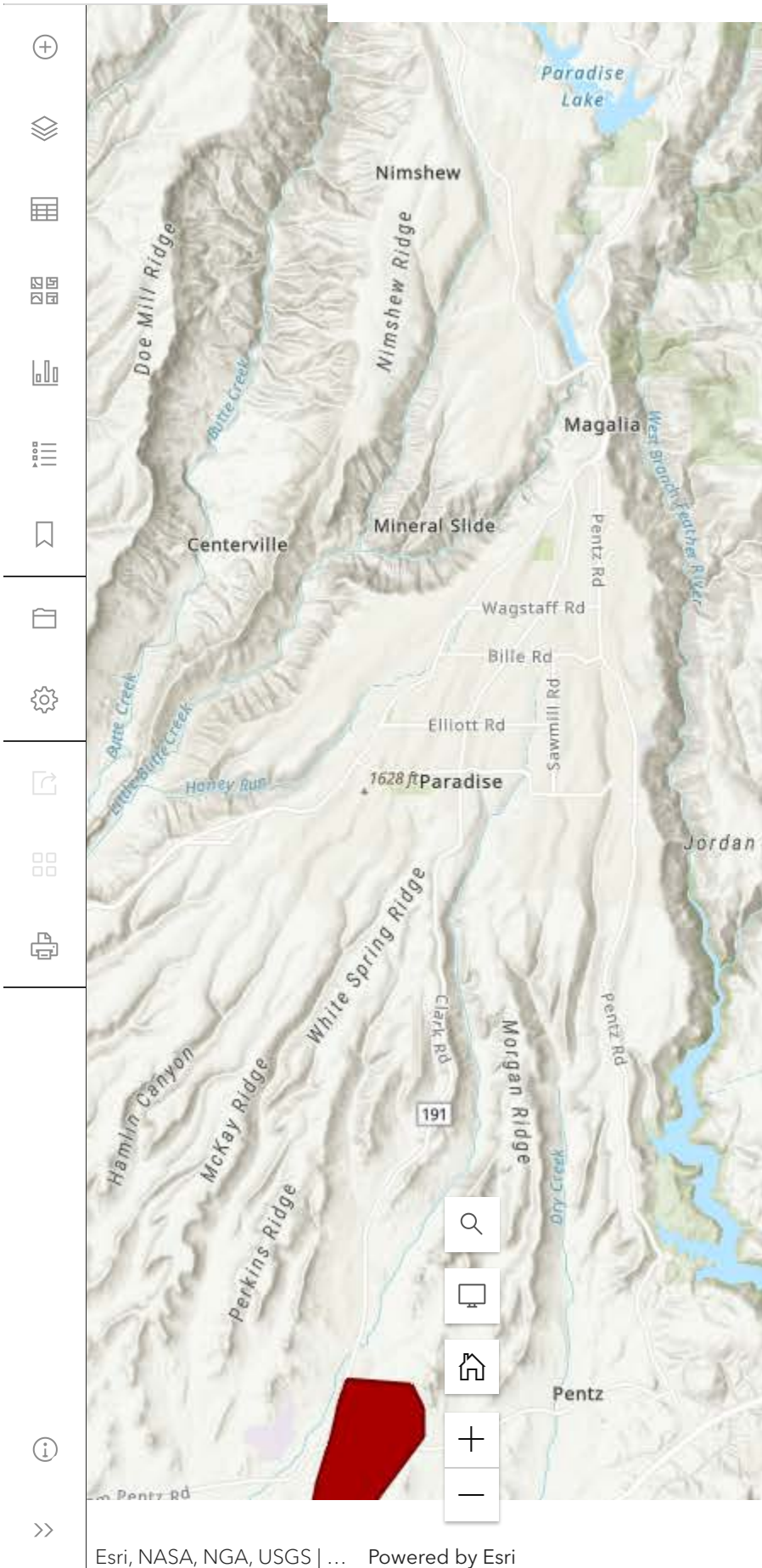
**TABLE 3.13-6
PROJECTED TRAFFIC VOLUMES, LANE REQUIREMENTS, CLASSIFICATION AND LEVELS OF SERVICE**

Dowling Associates Average Daily Traffic Assignments							
Roadway Segment		Daily Volume	Lanes	Center	Proposed Classification	LOS Threshold	LOS
Skyway	South of Neal	24,600	4	Undivided	Expressway	32,000	C or Better
	Neal to Pearson	45,000	6	Divided	Arterial	45,000	E
	Pearson to Elliott	38,300	6	Divided	Arterial	40,000	D
	Elliott to Oliver	39,600	6	Divided	Arterial	40,000	D
	Oliver to Maxwell	36,600	6	Divided	Arterial	40,000	D
	Maxwell to Bille	33,600	6	Divided	Arterial	36,000	C or Better
	Bille to Wagstaff	25,500	6	Divided	Arterial	36,000	C or Better
	Wagstaff to Clark	18,200	4	Undivided	Arterial	18,500	C or Better
	Clark to Pentz	21,100	4	Divided	Arterial	24,000	C or Better
	North of Pentz	21,700	4	Divided	Arterial	24,000	C or Better
	Clark Road	South of Pearson	23,500	4	Undivided	Expressway	32,000	C or Better
Pearson to Elliott		24,900	4	Divided	Arterial	27,000	D
Elliott to Bille		26,500	4	Divided	Arterial	27,000	D
Bille to Wagstaff		23,800	4	Divided	Arterial	24,000	C or Better
Wagstaff to Skyway		11,700	2	Divided	Arterial	12,000	C or Better
Pentz Road	South of Pearson	7,800	2	Undivided	Collector	9,000	C or Better
	Pearson to Bille	9,600	2	Undivided	Arterial	10,500	D
	Bille to Skyway	6,600	2	Undivided	Collector	9,000	C or Better
Neal Road	South of Skyway	15,700	4	Divided	Collector	18,500	C or Better
Pearson Road	Skyway to Clark	24,500	4	Divided	Arterial	27,000	D
	Clark to Edgewood	15,200	4	Undivided	Arterial	18,500	C or Better
	Edgewood to Pentz	10,900	2	Divided	Arterial	12,000	C or Better



Open in Map Viewer Classic >

Untitled map



USFWS Critical Habitat


Properties ×

Use the selector above to switch between layers in the map. ×


Symbology ^

USFWS Critical Habitat


Critical Habitat - Polygon Features - Final




Critical Habitat - Linear Features - Final



Critical Habitat - Polygon Features - Proposed



Critical Habitat - Linear Features - Proposed



Appearance ^

Blending

▼ Normal

Transparency

0%

IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location

Butte County, California



Local office

Sacramento Fish And Wildlife Office

☎ (916) 414-6600

📅 (916) 414-6713

Federal Building

2800 Cottage Way, Room W-2605
Sacramento, CA 95825-1846

NOT FOR CONSULTATION

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

-
1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).

2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Birds

NAME	STATUS
California Spotted Owl <i>Strix occidentalis occidentalis</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/7266	Proposed Threatened

Amphibians

NAME	STATUS
California Red-legged Frog <i>Rana draytonii</i> Wherever found There is final critical habitat for this species. Your location does not overlap the critical habitat. https://ecos.fws.gov/ecp/species/2891	Threatened
Foothill Yellow-legged Frog <i>Rana boylei</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/5133	Proposed Threatened

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> Wherever found No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/9743	Candidate

Crustaceans

NAME	STATUS
Conservancy Fairy Shrimp <i>Branchinecta conservatio</i> Wherever found There is final critical habitat for this species. Your location does not overlap the critical habitat. https://ecos.fws.gov/ecp/species/8246	Endangered

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

You are still required to determine if your project(s) may have effects on all above listed species.

Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act¹ and the Bald and Golden Eagle Protection Act².

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <https://www.fws.gov/program/migratory-birds/species>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your

list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
<p>Bald Eagle <i>Haliaeetus leucocephalus</i></p> <p>This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.</p>	Breeds Jan 1 to Aug 31
<p>Bullock's Oriole <i>Icterus bullockii</i></p> <p>This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	Breeds Mar 21 to Jul 25
<p>California Thrasher <i>Toxostoma redivivum</i></p> <p>This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Jan 1 to Jul 31
<p>Cassin's Finch <i>Carpodacus cassinii</i></p> <p>This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska. https://ecos.fws.gov/ecp/species/9462</p>	Breeds May 15 to Jul 15
<p>Clark's Grebe <i>Aechmophorus clarkii</i></p> <p>This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	Breeds Jun 1 to Aug 31
<p>Common Yellowthroat <i>Geothlypis trichas sinuosa</i></p> <p>This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA https://ecos.fws.gov/ecp/species/2084</p>	Breeds May 20 to Jul 31

Golden Eagle *Aquila chrysaetos*

Breeds Jan 1 to Aug 31

This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.

<https://ecos.fws.gov/ecp/species/1680>

Lawrence's Goldfinch *Carduelis lawrencei*

Breeds Mar 20 to Sep 20

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

<https://ecos.fws.gov/ecp/species/9464>

Nuttall's Woodpecker *Picoides nuttallii*

Breeds Apr 1 to Jul 20

This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA

<https://ecos.fws.gov/ecp/species/9410>

Oak Titmouse *Baeolophus inornatus*

Breeds Mar 15 to Jul 15

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

<https://ecos.fws.gov/ecp/species/9656>

Olive-sided Flycatcher *Contopus cooperi*

Breeds May 20 to Aug 31

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

<https://ecos.fws.gov/ecp/species/3914>

Western Grebe *Aechmophorus occidentalis*

Breeds Jun 1 to Aug 31

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

<https://ecos.fws.gov/ecp/species/6743>

Wrentit *Chamaea fasciata*

Breeds Mar 15 to Aug 10

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

Probability of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is $0.25/0.25 = 1$; at week 20 it is $0.05/0.25 = 0.2$.
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

To see a bar's probability of presence score, simply hover your mouse cursor over the bar.

Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

Survey Effort (|)

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

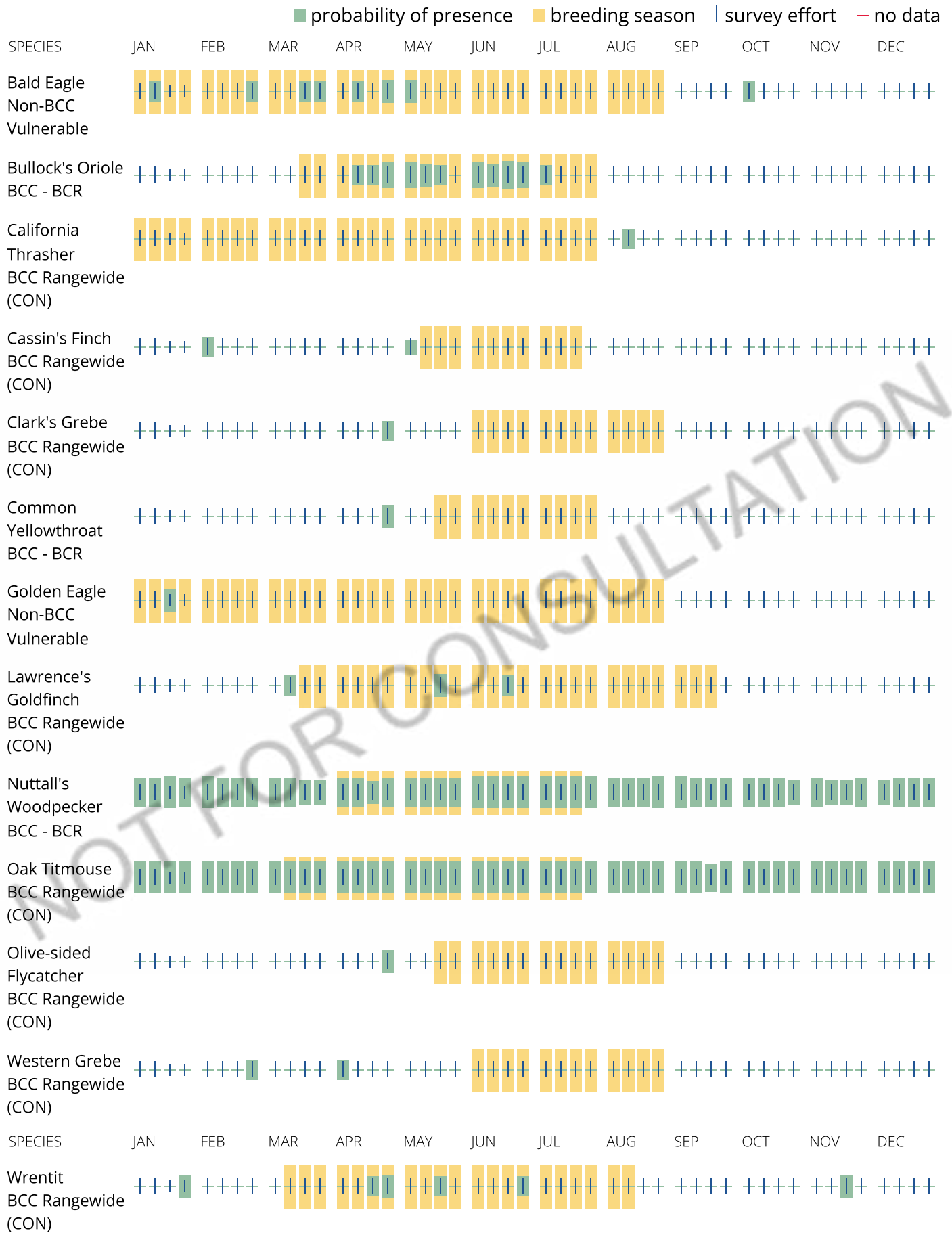
To see a bar's survey effort range, simply hover your mouse cursor over the bar.

No Data (—)

A week is marked as having no data if there were no survey events for that week.

Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.



Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

How do I know if a bird is breeding, wintering or migrating in my area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);

2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

Facilities

National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

Fish hatcheries

There are no fish hatcheries at this location.

Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Wetland information is not available at this time

This can happen when the National Wetlands Inventory (NWI) map service is unavailable, or for very large projects that intersect many wetland areas. Try again, or visit the [NWI map](#) to view wetlands at this location.

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

CALIFORNIA DEPARTMENT OF
FISH and WILDLIFE RareFind

Query Summary:

Quad **IS** (Paradise East (3912175) **OR** Paradise West (3912176) **OR** Pulga (3912174) **OR** Berry Creek (3912164) **OR** Cherokee (3912165) **OR** Hamlin Canyon (3912166) **OR** Cohasset (3912186) **OR** Stirling City (3912185) **OR** Kimshew Point (3912184))
AND Federal Listing Status **IS** (Endangered **OR** Threatened **OR** Proposed Endangered **OR** Proposed Threatened **OR** Candidate) **OR** State Listing Status **IS** (Endangered **OR** Threatened **OR** Candidate Endangered **OR** Candidate Threatened)

CNDDDB Element Query Results

Scientific Name	Common Name	Taxonomic Group	Element Code	Total Occs	Returned Occs	Federal Status	State Status	Global Rank	State Rank	CA Rare Plant Rank	Other Status	Habitats
Agelaius tricolor	tricolored blackbird	Birds	ABPBXB0020	955	1	None	Threatened	G1G2	S2	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_EN-Endangered, NABCI_RWL-Red Watch List, USFWS_BCC-Birds of Conservation Concern	Freshwater marsh, Marsh & swamp, Swamp, Wetland
Bombus crotchii	Crotch bumble bee	Insects	IIHYM24480	437	1	None	Candidate Endangered	G2	S2	null	IUCN_EN-Endangered	null
Bombus occidentalis	western bumble bee	Insects	IIHYM24252	306	1	None	Candidate Endangered	G3	S1	null	IUCN_VU-Vulnerable, USFS_S-Sensitive	null
Desmocerus californicus dimorphus	valley elderberry longhorn beetle	Insects	IICOL48011	271	1	Threatened	None	G3T2T3	S3	null	null	Riparian scrub
Euphorbia hooveri	Hoover's spurge	Dicots	PDEUP0D150	29	1	Threatened	None	G1	S1	1B.2	null	Vernal pool, Wetland
Haliaeetus leucocephalus	bald eagle	Birds	ABNKC10010	332	2	Delisted	Endangered	G5	S3	null	BLM_S-Sensitive, CDF_S-Sensitive, CDFW_FP-Fully Protected, IUCN_LC-Least Concern, USFS_S-Sensitive	Lower montane coniferous forest, Oldgrowth
Laterallus jamaicensis coturniculus	California black rail	Birds	ABNME03041	303	3	None	Threatened	G3T1	S2	null	BLM_S-Sensitive, CDFW_FP-Fully Protected, IUCN_EN-Endangered, NABCI_RWL-Red Watch List	Brackish marsh, Freshwater marsh, Marsh & swamp, Salt marsh, Wetland
Lepidurus packardii	vernal pool tadpole shrimp	Crustaceans	ICBRA10010	330	2	Endangered	None	G4	S3	null	IUCN_EN-Endangered	Valley & foothill grassland, Vernal pool, Wetland
Oncorhynchus mykiss irideus pop. 11	steelhead - Central Valley DPS	Fish	AFCHA0209K	31	2	Threatened	None	G5T2Q	S2	null	AFS_TH-Threatened	Aquatic, Sacramento/San Joaquin flowing waters
Oncorhynchus tshawytscha pop. 11	chinook salmon - Central Valley spring-run ESU	Fish	AFCHA0205L	13	2	Threatened	Threatened	G5T2Q	S2	null	AFS_TH-Threatened	Aquatic, Sacramento/San Joaquin flowing waters
Rana boylei pop. 2	foothill yellow-legged frog -	Amphibians	AAABH01052	116	55	Proposed Threatened	Threatened	G3T2	S2	null	BLM_S-Sensitive, USFS_S-Sensitive	Aquatic, Riparian forest, Riparian scrub, Riparian woodland, Sacramento/San Joaquin flowing waters

	Feather River DPS											
Rana cascadae	Cascades frog	Amphibians	AAABH01060	443	1	None	Candidate Endangered	G3	S3	null	CDFW_SSC-Species of Special Concern, IUCN_NT- Near Threatened, USFS_S- Sensitive	Aquatic, Lower montane coniferous forest
Rana draytonii	California red- legged frog	Amphibians	AAABH01022	1685	2	Threatened	None	G2G3	S2S3	null	CDFW_SSC-Species of Special Concern, IUCN_VU- Vulnerable	Aquatic, Artificial flowing waters, Artificial standing waters, Freshwater marsh, Marsh & swamp, Riparian forest, Riparian scrub, Riparian woodland, Sacramento/San Joaquin flowing waters, Sacramento/San Joaquin standing waters, South coast flowing waters, South coast standing waters, Wetland
Tuctoria greenei	Greene's tuctoria	Monocots	PMPOA6N010	50	1	Endangered	Rare	G1	S1	1B.1	null	Vernal pool, Wetland

Search By Keyword

SEARCH RESULTS (7)

Measure Tool

Select the line, circle, or polygon tool below and then click the map to measure your first point - double-click to complete the measurement.

LINE CIRCLE POLYGON

miles²

[CLEAR MEASUREMENTS](#)

Advanced Search Criteria

CRITERIA (0) FILTERS (1)

- Regulatory Programs 1
- Aboveground Petroleum Storage 7
- Agriculture Discharge 0
- Animal Wastewater Discharge 0
- Chemical Storage Facilities 7
- Cleanup Program Site 0
- Construction and Industrial Stormwater 0
- Construction Storm Water 0
- Corrective Action 0
- Department Of Defense 0
- Forestry & Silviculture 0



California Important Farmland Finder

Ca. Dept of Conservation

6983 Pentz Rd, Paradise, CA

Show search results for 6983 P...



Legend

California Important Farmland: Most Recent

Most Recent

- Prime Farmland
- Farmland of Statewide Importance
- Unique Farmland
- Grazing Land
- Farmland of Local Importance
- Farmland of Local Potential
- Land
- ed Animal Agriculture
- gricultural or Natural Vegetation
- Vacant or Disturbed Land
- Rural Residential Land

Search result

6983 Pentz Rd, Paradise, California, 95969

[Zoom to](#)

200m

[Back to Top](#)

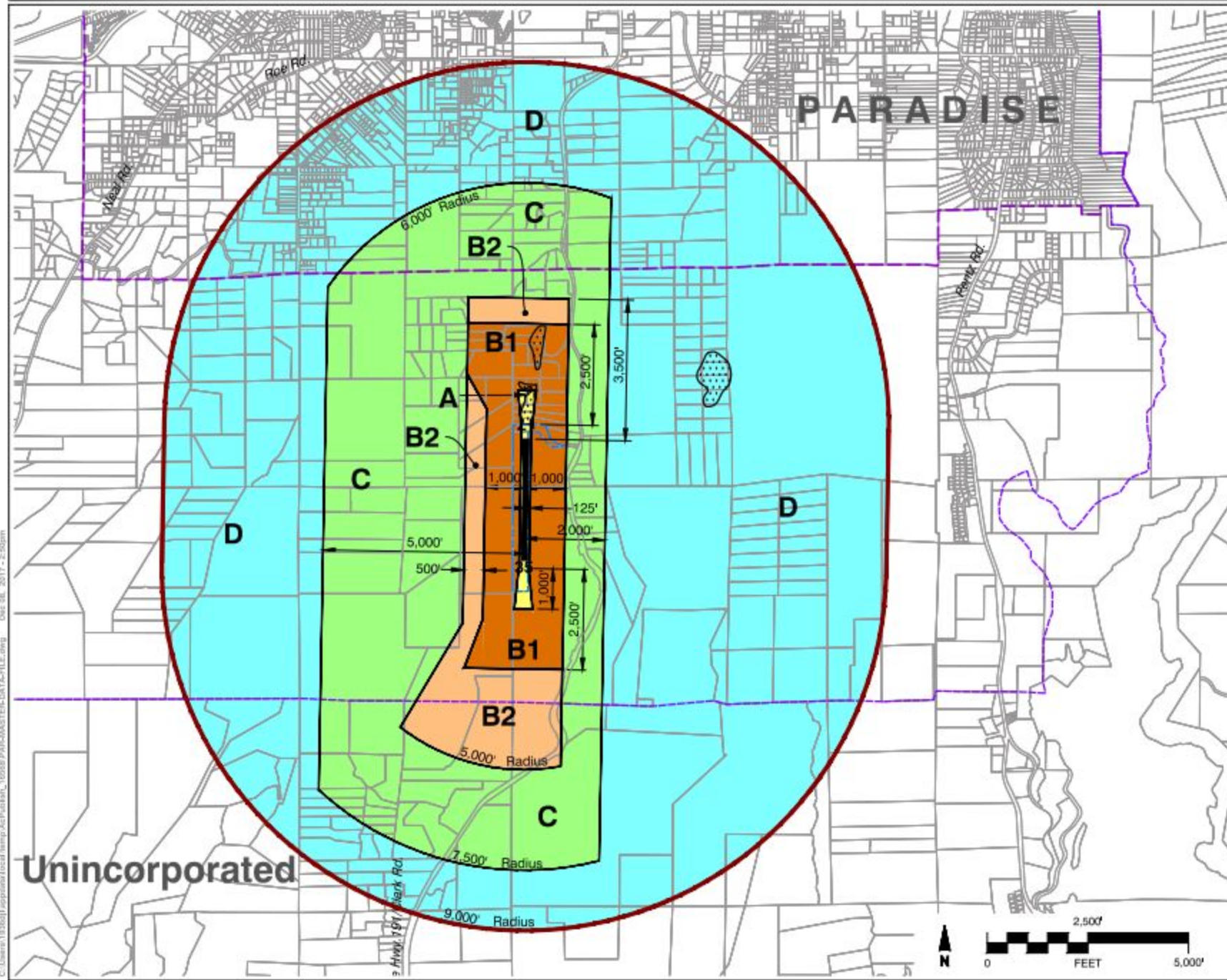
[Privacy Policy](#)

[Contact Us](#)

[Conditions of Use](#)

[Accessibility](#)

Copyright © 2022 State of California



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Height Review Overlay Zone
 - Compatibility Zone

- Boundary Lines**
- Existing Runway 17-35 (3,017' x 60')
 - Airport Property Line
 - City Limits
 - City Sphere of Influence

- Notes:**
1. This ALUCP utilizes composite compatibility zones addressing four compatibility concerns: noise, safety, overflight and airspace protection.
 2. Height Review Overlay Zone encompasses locations where the ground elevation exceeds or is within 35 feet beneath the Airspace Protection Surfaces defined by FAR Part 77.
 3. Longitudinal dimensions measure from end of primary surface, 200 feet from ends of runway.

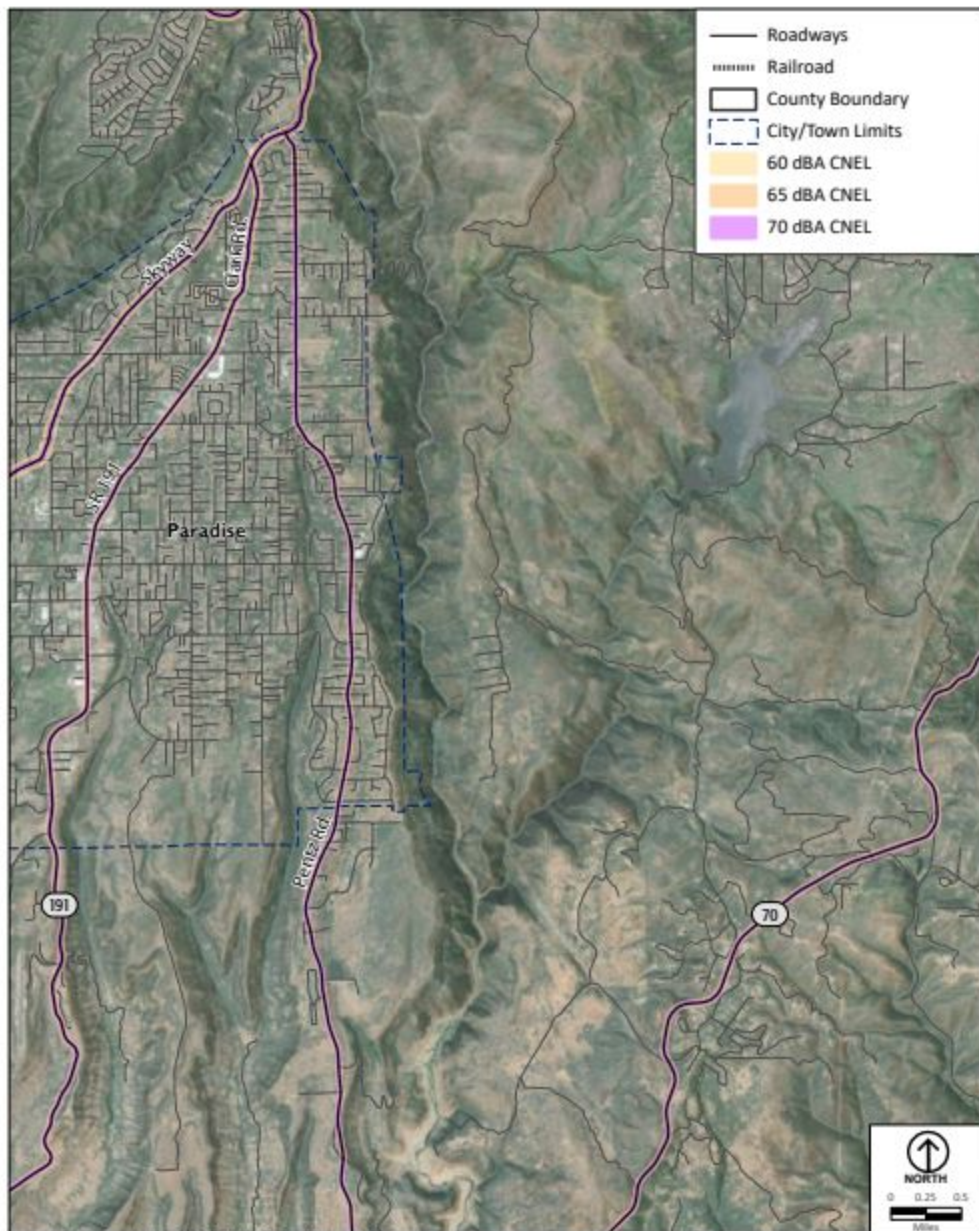
Butte County
Airport Land Use Commission
Paradise Skypark Airport
Land Use Compatibility Plan
 (Adopted November 15, 2017)

Map PAR-4_3A



C:\Users\132601\appdata\local\temp\Ac\Pub\04_160559\PAR-MASTER-DATA-FILE.dwg Dec 08, 2017 - 2:50pm

Unincorporated



Source: Butte County, 2021; ESRI, 2020; PlaceWorks, 2021.

FIGURE 5.13-9
EXISTING TRAFFIC NOISE CONTOURS (MAP 8)

Road # 1 Name:

Pentz Road

Road #1

Vehicle Type

Cars

Medium Trucks

Heavy Trucks

Effective Distance

16

Distance to Stop Sign

Average Speed

35

Average Daily Trips (ADT)

4910

Night Fraction of ADT

15

Road Gradient (%)

Vehicle DNL

68

0

0

Calculate Road #1 DNL

68

Reset

Road # 1 Name:

Pentz Road

Road #1

Vehicle Type

Cars

Medium Trucks

Heavy Trucks

Effective Distance

16

Distance to Stop Sign

Average Speed

35

Average Daily Trips (ADT)

1228

Night Fraction of ADT

15

Road Gradient (%)

Vehicle DNL

62

0

0

Calculate Road #1 DNL

62

Reset

2 Filters ?

- Paradise town, California
- 2000
- Clear search

Search for a filter

Geography

- Nation
- State
- County
- County Subdivision
- Place
- ZIP Code Tabulation Area
- Metropolitan/Micropolitan Statistical Area
- Census Tract
- Block
- Block Group
- All Geographies

Topics

- Business and Economy
- Education
- Employment
- Families and Living Arrangements
- Government
- Health
- Housing
- Income and Poverty

1259 Results

View: 10 | 25 | 50 [Download Table Data](#)

- Decennial Census
DP1 | Profile of General Demographic Characteristics: 2000
[View All 2 Products](#)
- Decennial Census
DP2 | Profile of Selected Social Characteristics: 2000
[View All 2 Products](#)
- Decennial Census
DP3 | Profile of Selected Economic Characteristics: 2000
[View All 2 Products](#)
- Decennial Census
DP4 | Profile of Selected Housing Characteristics: 2000
[View All 2 Products](#)
- Decennial Census
H001 | HOUSING UNITS [1]
[View All 2 Products](#)
- Decennial Census
H002 | UNWEIGHTED SAMPLE HOUSING UNITS BY OCCUPANCY STATUS [3]
[View All 2 Products](#)
- Decennial Census
H003 | 100-PERCENT COUNT OF HOUSING UNITS [1]
[View All 2 Products](#)
- Decennial Census
H004 | PERCENT OF HOUSING UNITS IN SAMPLE BY OCCUPANCY STATUS [2]
[View All 2 Products](#)
- Decennial Census
H005 | URBAN AND RURAL [7]

DP1 | Profile of General Demographic Characteristics: 2000

Decennial Census | 2000: DEC Summary File 4 Demographic Profile

Notes | **Geos** | Topics | Codes | Dataset | Year | Hide | Transpose | Restore | Excel | CSV | ZIP | More Tools

		Paradise town, California				
		Total population		White alone		White alone or in com
Label		Number	Percent	Number	Percent	
▼ Total population		26,451	100.0	24,872	100.0	
▼ SEX AND AGE						
Male		12,179	46.0	11,445	46.0	
Female		14,272	54.0	13,427	54.0	
Under 5 years		1,181	4.5	1,063	4.3	
5 to 9 years		1,410	5.3	1,258	5.1	
10 to 14 years		1,794	6.8	1,689	6.8	
15 to 19 years		1,674	6.3	1,490	6.0	
20 to 24 years		1,024	3.9	941	3.8	
25 to 34 years		2,135	8.1	1,899	7.6	
35 to 44 years		3,619	13.7	3,377	13.6	
45 to 54 years		3,682	13.9	3,515	14.1	
55 to 59 years		1,415	5.3	1,330	5.3	
60 to 64 years		1,474	5.6	1,426	5.7	
65 to 74 years		2,873	10.9	2,787	11.2	
75 to 84 years		3,016	11.4	2,958	11.9	
85 years and over		1,154	4.4	1,139	4.6	
Median age (years)		45.8 (x)		46.8 (x)		
▼ 18 years and over		20,960	79.2	19,863	79.9	
Male		9,386	35.5	8,893	35.8	
Female		11,574	43.8	10,970	44.1	
21 years and over		20,177	76.3	19,161	77.0	
62 years and over		7,868	29.7	7,680	30.9	

Filters
2 Filters
1072 Results

2 Filters

Paradise town, California

2018

Clear search

Search for a filter

Geography

- Nation
 - State
 - County
 - County Subdivision
 - Place
 - ZIP Code Tabulation Area
 - Metropolitan/Micropolitan Statistical Area
 - Census Tract
 - Block
 - Block Group
 - All Geographies
- Topics
- Education
 - Employment
 - Families and Living Arrangements
 - Health
 - Housing
 - Income and Poverty
 - Populations and People
 - Race and Ethnicity
- Surveys

1072 Results

View: 10 | 25 | 50

Download Table Data

American Community Survey
DP05 | ACS DEMOGRAPHIC AND HOUSING ESTIMATES
 2018: ACS 5-Year Estimates Data Profiles

American Community Survey
S0101 | AGE AND SEX
 2018: ACS 5-Year Estimates Subject Tables

American Community Survey
S0102 | POPULATION 60 YEARS AND OVER IN THE UNITED STATES
 2018: ACS 5-Year Estimates Subject Tables

American Community Survey
S0601 | SELECTED CHARACTERISTICS OF THE TOTAL AND NATIVE POPULATIONS IN THE UNITED STATES
 2018: ACS 5-Year Estimates Subject Tables

American Community Survey
S0701 | GEOGRAPHIC MOBILITY BY SELECTED CHARACTERISTICS IN THE UNITED STATES
 2018: ACS 5-Year Estimates Subject Tables

American Community Survey
S0801 | COMMUTING CHARACTERISTICS BY SEX
 2018: ACS 5-Year Estimates Subject Tables

American Community Survey
S0802 | MEANS OF TRANSPORTATION TO WORK BY SELECTED CHARACTERISTICS
 2018: ACS 5-Year Estimates Subject Tables

American Community Survey
S0804 | MEANS OF TRANSPORTATION TO WORK BY SELECTED CHARACTERISTICS FOR WORKPLACE

DP05 | ACS DEMOGRAPHIC AND HOUSING ESTIMATES

American Community Survey 2018: ACS 5-Year Estimates Data Profiles

Notes Geos Topics Codes Year Hide Transpose Margin of Error Restore Excel CSV ZIP

Paradise town, California				
Label	Estimate	Margin of Error	Percent	Percent Margin of Error
SEX AND AGE				
Total population	26,543	±27	26,543	(X)
Male	12,604	±470	47.5%	±1.8
Female	13,939	±474	52.5%	±1.8
Sex ratio (males per 100 females)	90.4	±6.5	(X)	(X)
Under 5 years	1,199	±279	4.5%	±1.1
5 to 9 years	1,748	±336	6.6%	±1.3
10 to 14 years	1,231	±321	4.6%	±1.2
15 to 19 years	1,105	±285	4.2%	±1.1
20 to 24 years	1,492	±378	5.6%	±1.4
25 to 34 years	3,305	±436	12.5%	±1.6
35 to 44 years	2,194	±385	8.3%	±1.5
45 to 54 years	2,767	±420	10.4%	±1.6
55 to 59 years	2,191	±344	8.3%	±1.3
60 to 64 years	2,463	±385	9.3%	±1.5
65 to 74 years	3,765	±433	14.2%	±1.6
75 to 84 years	2,060	±294	7.8%	±1.1
85 years and over	1,023	±213	3.9%	±0.8
Median age (years)	49.1	±3.5	(X)	(X)
Under 18 years	4,973	±560	18.7%	±2.1
16 years and over	22,050	±519	83.1%	±2.0
18 years and over	21,570	±559	81.3%	±2.1
21 years and over	20,811	±547	78.4%	±2.1
62 years and over	8,108	±591	30.5%	±2.2
65 years and over	6,848	±496	25.8%	±1.9

Road # 1 Name:

Future Pentz Road

Road #1

Vehicle Type

Cars

Medium Trucks

Heavy Trucks

Effective Distance

16

Distance to Stop Sign

Average Speed

35

Average Daily Trips (ADT)

1232

Night Fraction of ADT

15

Road Gradient (%)

Vehicle DNL

62

0

0

Calculate Road #1 DNL

62

Reset

Add Road Source

Add Rail Source



PSSA



NATIONAL SYSTEM

MANAGEMENT

RESOURCES

PUBLICATIONS

CONTACT US

50 YEARS

SITE INDEX

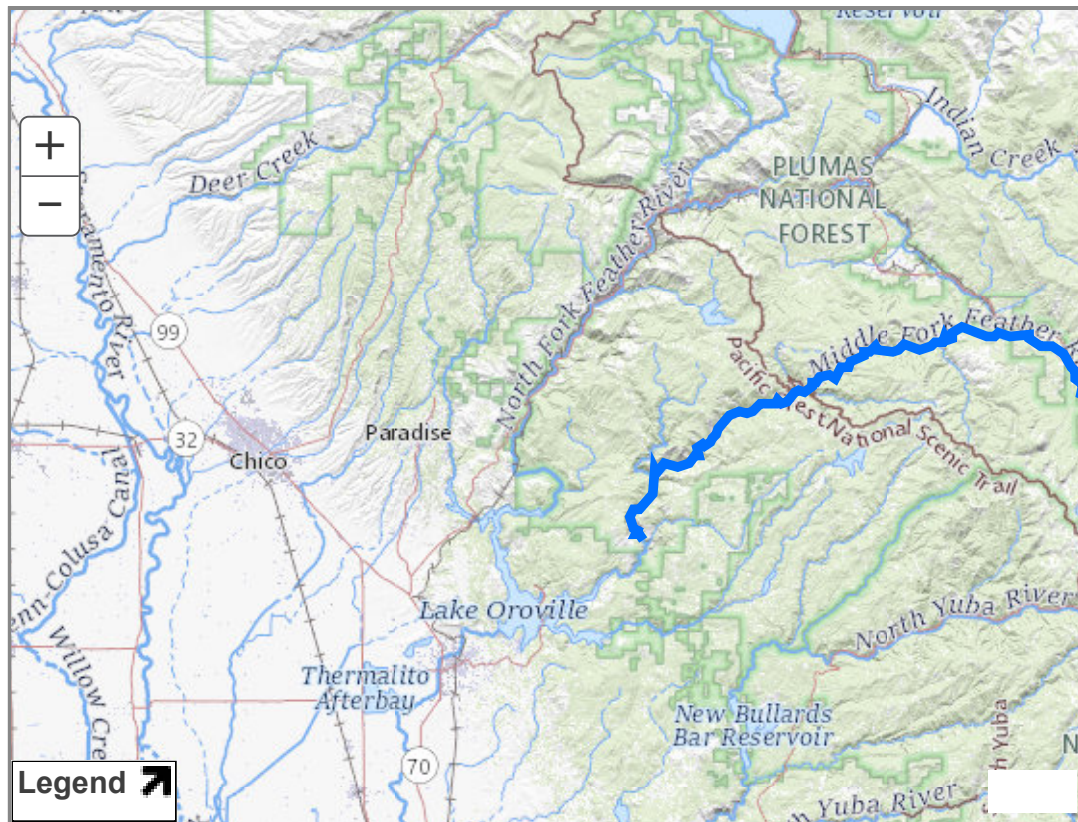
CALIFORNIA

California has approximately 189,454 miles of river, of which 1,999.6 miles are designated as wild & scenic—1% of the state's river miles.

Choose A State ▼ Go

Choose A River ▼ Go

Seen as barren by the first explorers to today's first-time visitors, the rivers of the high desert simply hide their treasures well.



[+ View larger map](#)

- Amargosa River
- American River (Lower)
- American River (North Fork)
- Bautista Creek
- Big Sur River
- Black Butte River
- Cottonwood Creek
- Deep Creek
- Eel River
- Feather River
- Fuller Mill Creek
- Kern River

- Kings River**
- Klamath River**
- Merced River**
- Owens River Headwaters**
- Palm Canyon Creek**
- Piru Creek**
- San Jacinto River (North Fork)**
- Sespe Creek**
- Sisquoc River**
- Surprise Canyon Creek**
- Smith River**
- Trinity River**
- Tuolumne River**
- Whitewater River**

[NRI](#) | [CONTACT US](#) | [Q & A SEARCH](#) | [PRIVACY NOTICE](#) | [VULNERABILITY DISCLOSURE POLICY](#)

 [Rivers on Flickr](#)

Designated Rivers

[About WSR Act](#)

National System

[WSR Table](#)

River Management

[Council](#)

Resources

[Q & A Search](#)

State Listings
Profile Pages

Study Rivers
Stewardship
WSR Legislation

California
Agencies
Management Plans
River Mgt. Society
GIS Mapping

Bibliography
Publications
GIS Mapping
Logo & Sign Standards



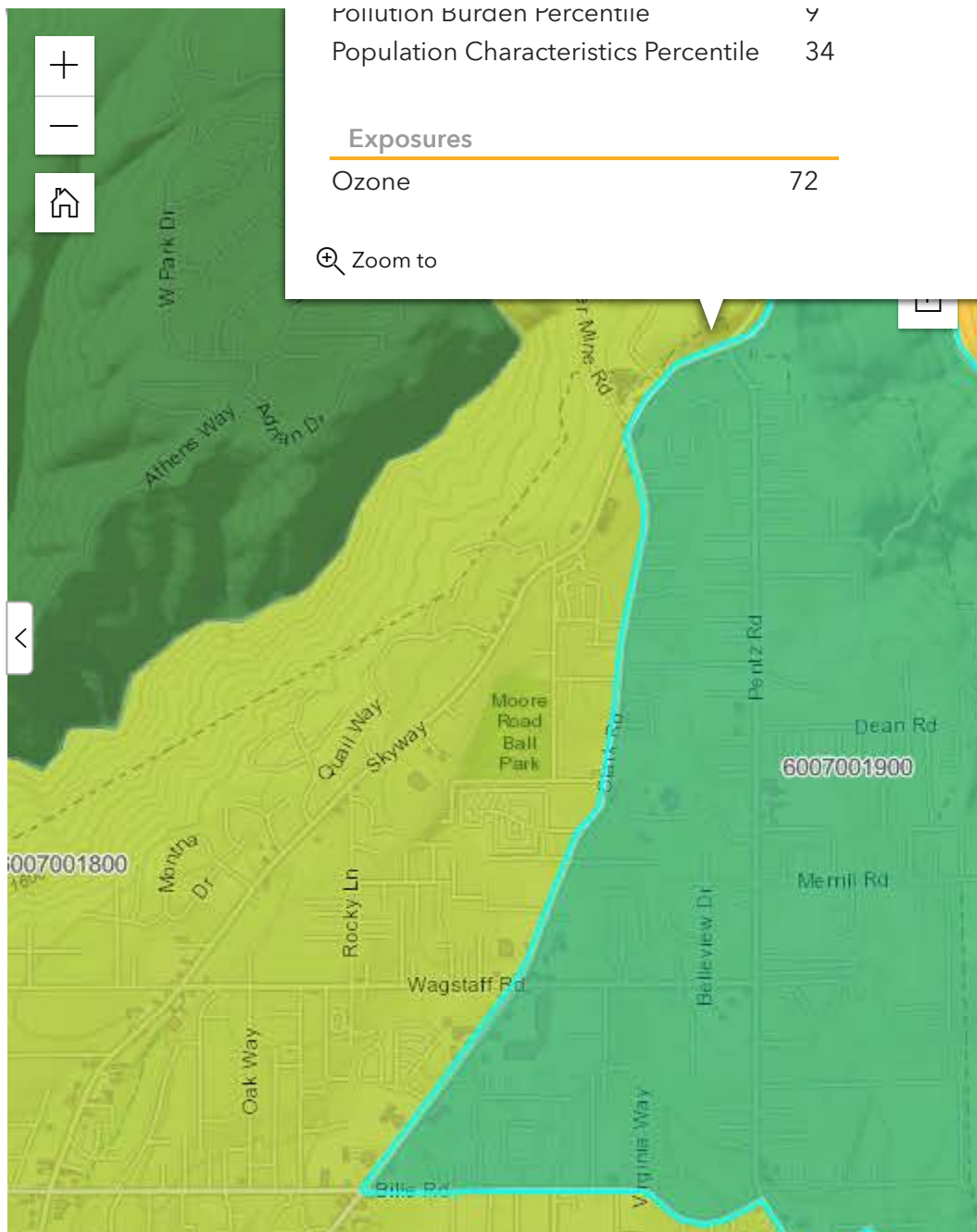
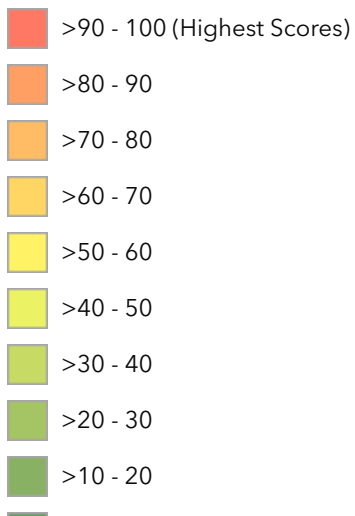
The CalEnviroScreen 4.0 tool shows cumulative impacts in California communities by census tract.

How to use this map

- Use your mouse or touchpad to pan around.
- Zoom in/out with a mouse wheel or the +/- icons.
- Search by location or census tract number with the **search icon**.
- Click on a census tract to view additional information in the pop-up window.
- Dock the pop-up window to the side of the screen by clicking the **dock icon**.
- Export a map view that includes the legend and popup using the **screenshot** widget.
- Learn more about CalEnviroScreen 4.0 and how this map was created [here](#)

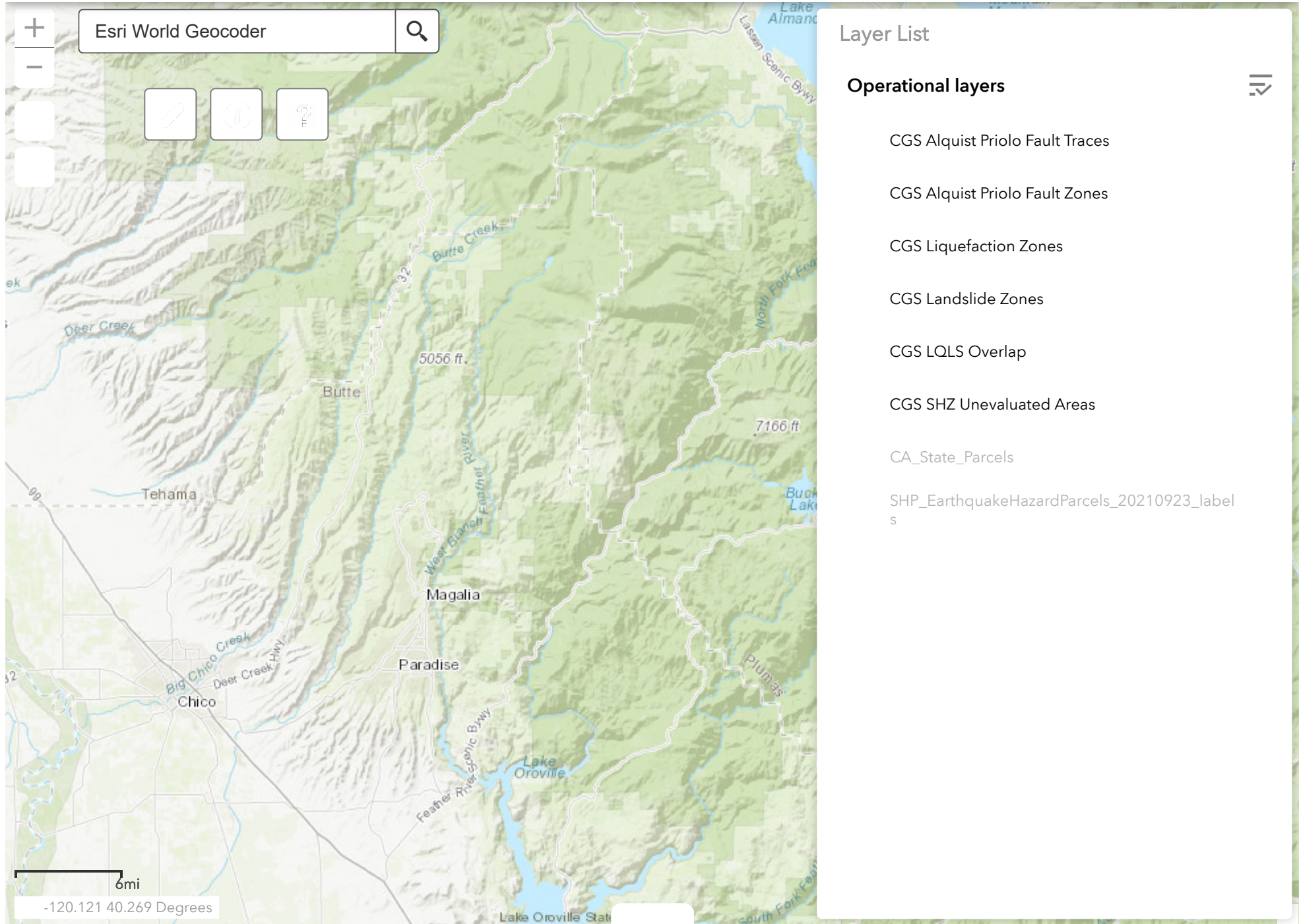
Overall Percentile

CalEnviroScreen 4.0 Results



Earthquake Zones of Required Investigation

CGS Homepage





[Printable Version](#) | [Add to Shopping Cart](#)

Search

Map Unit Legend

Butte Area, California, Parts of Butte and Plumas Counties (CA612)

Butte Area, California, Parts of Butte and Plumas Counties (CA612)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
829	Paradiso loam, 2 to 15 percent slopes	2.2	100.0%
Totals for Area of Interest		2.2	100.0%

Soil Map

Scale (not to scale) v



Warning: Soil Map may not be valid at this scale.

You have zoomed in beyond the scale at which the soil map for this area is intended to be used. Map design of map units and the level of detail shown in the resulting soil map are dependent on that map scale. Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of map units. This map has been shown at a more detailed scale.



FHSZ Viewer



LEGEND ✕

City Boundaries

- Incorporated Area

County Boundaries

-

FHSZ in LRA

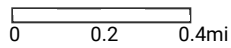
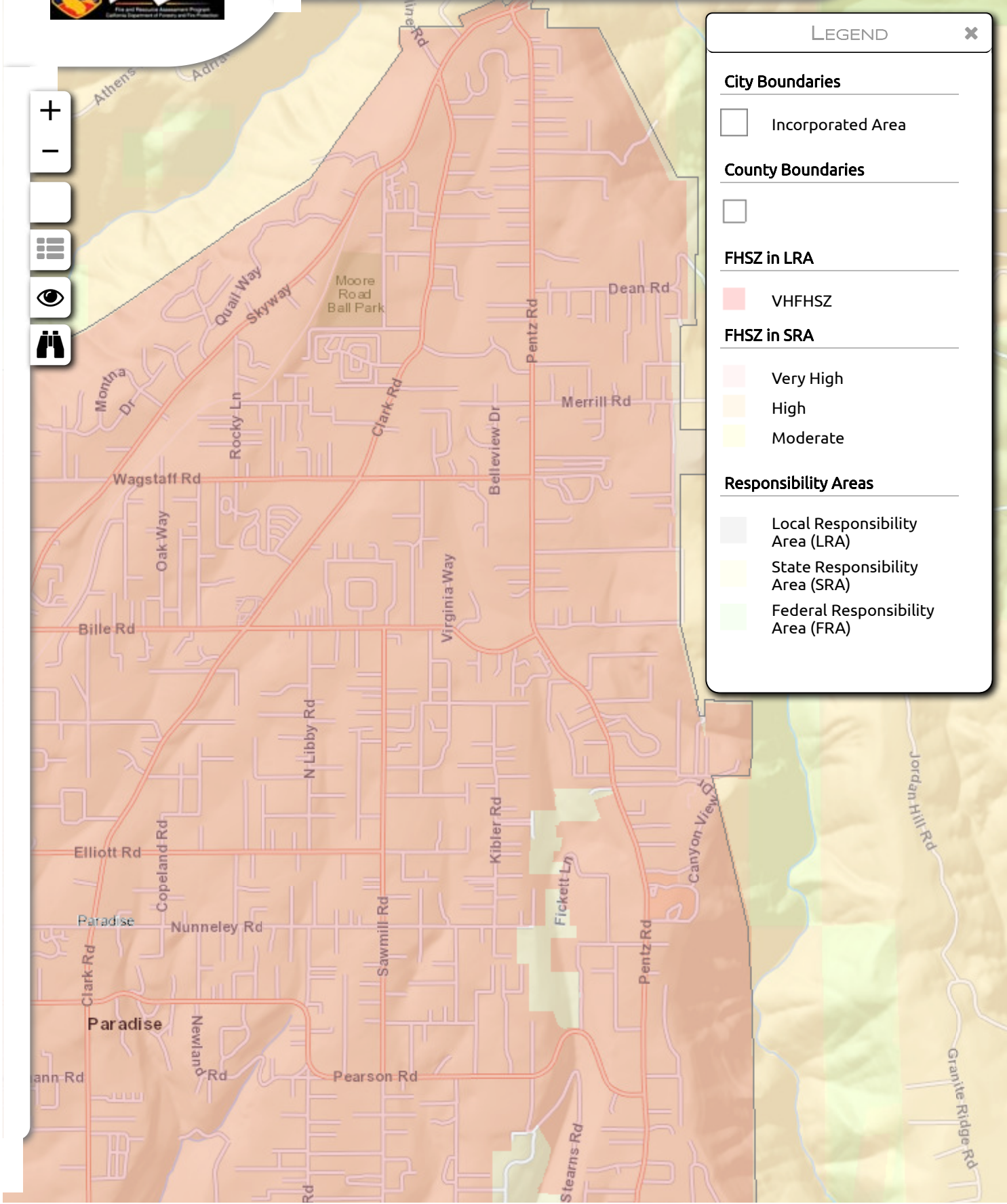
- VHFHSZ

FHSZ in SRA

- Very High
- High
- Moderate

Responsibility Areas

- Local Responsibility Area (LRA)
- State Responsibility Area (SRA)
- Federal Responsibility Area (FRA)



Place

Paradise town, California

Paradise town, California is a city, town, place equivalent, and township located in [California](#).

// [United States](#) / [California](#) / Paradise town, California

[Display Sources](#)

Populations and People

Total Population

4,764

P1 | 2020 Decennial Census

Education

Bachelor's Degree or Higher

25.1%

S1501 | 2021 American Community Survey 5-Year Estimates

Housing

Total Housing Units

2,493

H1 | 2020 Decennial Census

Families and Living Arrangements

Total Households

3,479

DP02 | 2021 American Community Survey 5-Year Estimates

Income and Poverty

Median Household Income

\$51,396

S1901 | 2021 American Community Survey 5-Year Estimates

Employment

Employment Rate

36.1%

DP03 | 2021 American Community Survey 5-Year Estimates

Health

Without Health Care Coverage

6.1%

S2701 | 2021 American Community Survey 5-Year Estimates

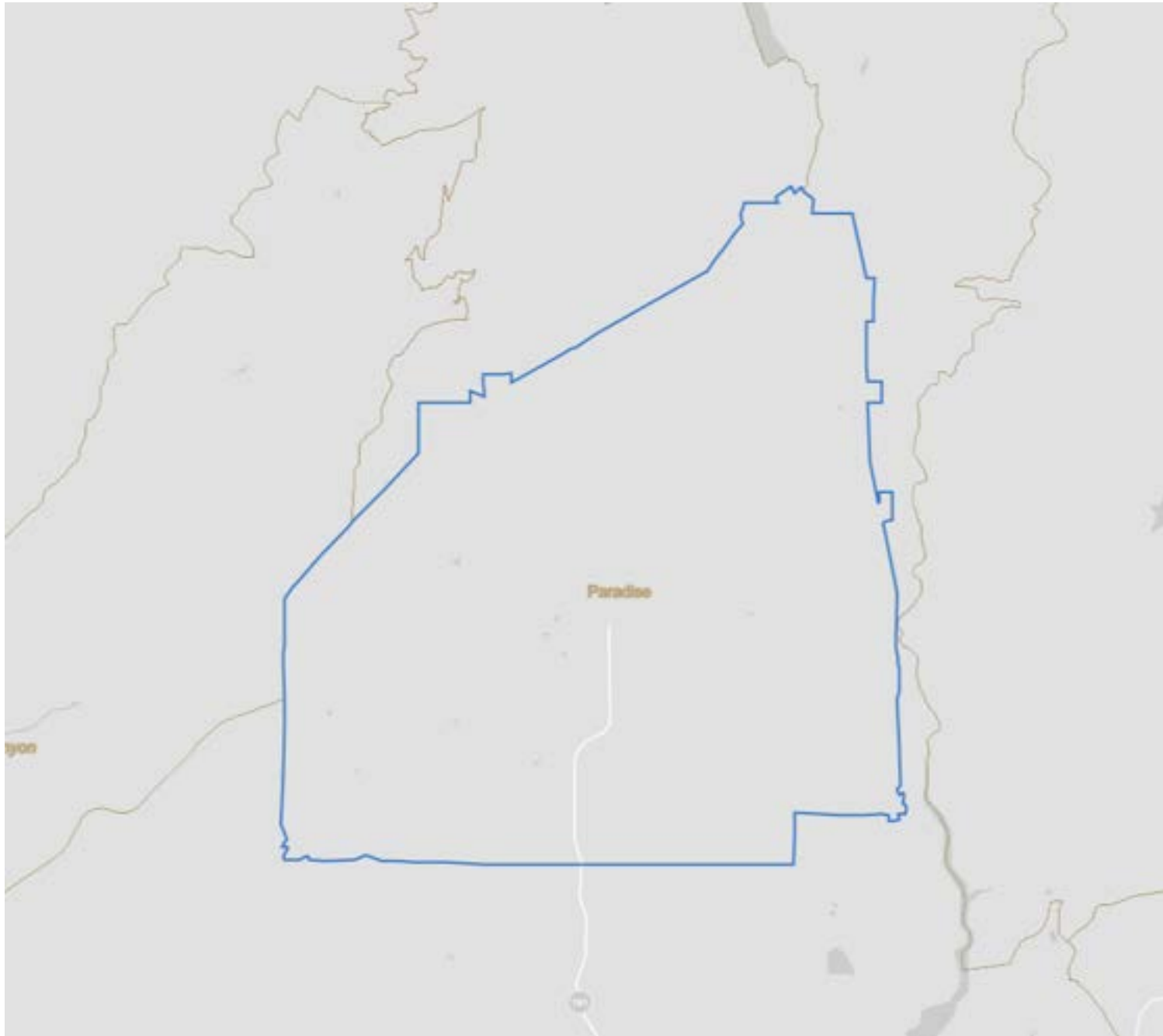
Race and Ethnicity

Hispanic or Latino (of any race)

419

P2 | 2020 Decennial Census

Paradise town, California Reference Map



Source: U.S. Census Bureau

Families and Living Arrangements

Children

15.8% ± 3.2%

Under 18 years old in Paradise town, California

22.4% ± 0.1%

Under 18 years old in California

[DP05](#) | 2021 American Community Survey 5-Year Estimates

Children Under 18 by Age Range

in Paradise town, California

[Share / Embed](#)

Under 5 years - 3.8%



5 to 14 years - 9.0%



15 to 17 years - 3.0%



Display Margin of Error

[S0101](#) | 2021 ACS 5-Year Estimates Subject Tables

Families and Household Characteristics

2.76 ± 0.20

Average Family Size in Paradise town, California

3.44 ± 0.01

Average Family Size in California

[S1101](#) | 2021 American Community Survey 5-Year Estimates

Total Households by Type of Households

in Paradise town, California

[Share / Embed](#)

Married-couple family household - 44.3%



Male householder, no spouse present, family household - 20.1%



Female householder, no spouse present, family household - 29.4%



Display Margin of Error

[DP02](#) | 2021 ACS 5-Year Estimates Data Profiles

Marital Status and Marital History

22.1% ± 3.6%

Never Married in Paradise town, California

38.2% ± 0.1%

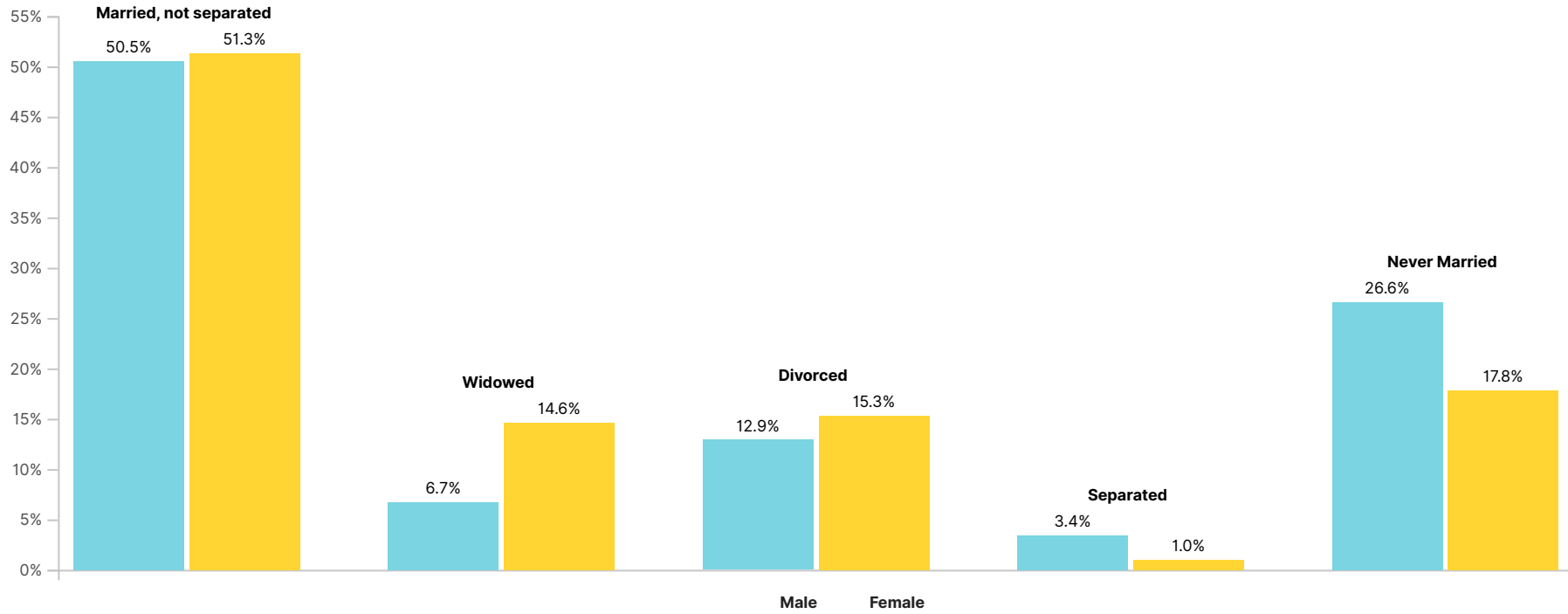
Never Married in California

[S1201](#) | 2021 American Community Survey 5-Year Estimates

Marital Status by Sex

in Paradise town, California

[Share / Embed](#)



Display Margin of Error
[S1201](#) | 2021 ACS 5-Year Estimates Subject Tables

[Accessibility](#) | [Information Quality](#) | [FOIA](#) | [Data Protection and Privacy Policy](#) | [U.S. Department of Commerce](#) | [Release Notes](#)

Please note: Territory data (except Puerto Rico) is not available as comparable to the US. It is only comparable to the territory itself by using the 'Compare to State' functionality. Likewise, some of the

Compare to US **Compare to State**

Environmental Justice Indexes

- Particulate Matter 2.5
- Ozone
- Diesel Particulate Matter
- Air Toxics Cancer Risk
- Air Toxics Respiratory HI
- Traffic Proximity
- Lead Paint
- Superfund Proximity
- RMP Facility Proximity
- Hazardous Waste Proximity
- Underground Storage Tanks
- Wastewater Discharge

Supplemental Indexes

Pollution and Sources

Socioeconomic Indicators

Health Disparities

Climate Change Data

Critical Service Gaps

Additional Demographics

Threshold Map

Indexes Threshold Map Widget

Step 1. Select type of Index:

EJ Indexes Supplemental Indexes

Step 2. Select location:

Compare to US Compare to State

Step 3. Select Index percentile range:

Lower bound: Upper bound:

Step 4. Select number of indexes or individual Indexes (maximum 12) within percentile range:

At least 1 of the indexes is within the percentile range

Or

Select All

<input type="checkbox"/> Particulate Matter 2.5	<input type="checkbox"/> Ozone
<input type="checkbox"/> Diesel Particulate Matter	<input type="checkbox"/> Air Toxics Cancer Risk
<input type="checkbox"/> Air Toxics Respiratory HI	<input type="checkbox"/> Traffic Proximity
<input type="checkbox"/> Lead Paint	<input type="checkbox"/> Superfund Proximity
<input type="checkbox"/> RMP Facility Proximity	<input type="checkbox"/> Hazardous Waste Proximity
<input type="checkbox"/> Underground Storage Tanks	<input type="checkbox"/> Wastewater Discharge

Download selected 3,047 records. (<https://data.epa.gov/api-collections/ejscreen/32866824-b2e0-4e10-ad0b-d6f1282b1b85.csv>)

Map Contents

EJ Index (US)

There are 3,047 block groups where 12 indexes are within

80-100 percentile



Employment & Social Services

The Department of Employment and Social Services (DESS) is committed to collaborating with our many partners to provide a safe, healthy and self-reliant community. At DESS we aim to administer employment and social services to all citizens of Butte County with dignity and respect.

Our Mission

"We administer employment and social services, preserving the dignity of children, families and adults."

Our Vision

"Partnering for a safe, healthy, and self-reliant community."

Benefits & Services

▶ CALFRESH

CalFresh (formerly Food Stamps) helps low-income people buy the food they need to remain healthy. To qualify for CalFresh the minimum basic requirement(s) are:

- Identity of Primary Applicant
- Gross non-exempt income

- Non-citizenship Status
- Social Security Number(s)
- Residency

▶ **MEDICAL COVERAGE**

Medical coverage is available, including Medi-Cal, Expanded Medi-Cal, Health Care Reform Options, and the County Medical Services Program (CMSP).

▶ **CALIFORNIA WORK OPPORTUNITY & RESPONSIBILITY TO KIDS (CALWORKS)**

CalWORKs provides temporary financial assistance and employment-related services to needy families with minor children.

▶ **GENERAL ASSISTANCE (GA)**

General Assistance provides three months of cash assistance to eligible, employable adults and provides longer-term assistance to eligible adults who are temporarily disabled or who are awaiting Supplemental Security Income (SSI) approval.

▶ **SENIOR & ADULT SERVICES**

Adult Services provides services to help the elderly and persons with disabilities to live safely in their own homes. Investigates reports of elder or dependent adult abuse and neglect.

▶ **CHILDREN'S SERVICES**

The Children's Services Division investigates child abuse and neglect and works to preserve or restore family stability. Visit the Parent and Guardian Information and Resources page to learn more.

▶ VETERAN SERVICES

The County Veterans Service Office is an office established by the Butte County Board of Supervisors to assist veterans, their dependents and survivors, and the general public in obtaining benefits from federal, state, and local agencies administering programs for veterans.

Special Needs Awareness Program (SNAP)

The Special Needs Awareness Program (SNAP) is a voluntary program for individuals with Access and Functional Needs (AFN) such as physical/developmental or intellectual disabilities, chronic conditions or injuries, limited English proficiency, older adults, children and low income households, homeless and/or transportation disadvantaged (i.e. dependent on public transit), and pregnant women.

If you would like to register for SNAP, please call Butte County Adult Services at 530-538-7538, option 2, or toll free 855-398-8899. You can also send an [email request to our SNAP contact](#).

Once registered, you will receive a SNAP packet containing community resources and information needed to prepare for an emergency.

Registration in the SNAP program will provide additional evacuation information which may include evacuation assistance, as well as notification for extreme heat/cold events and Public Safety Power Shutoffs (PSPS) events.

ALERT FM Emergency Notification System

Butte County is partnering with Bare on the Ridge, Inc. and ALERT FM to provide ALERT FM devices to individuals that meet program eligibility guidelines and **you may be eligible** to receive a free ALERT FM receiver if you meet that criteria.

ALERT FM is a device that receives mass notifications in times of crisis or emergency. This device keeps citizens informed when the power, internet and/or cellular networks fail. **Free** devices are available on a **first come, first-served** basis for eligible households. Once supplies have been exhausted you may request to be added to a waitlist.

To register for the program please complete the [ALERT FM Application \(PDF\)](#) and submit or call 530-552-6887. Visit the [ALERT FM website](#) to learn more.



Apply for Benefits

Contact Us



Shelby Boston

Director/Public Guardian/Public Administrator

Employment & Social Services

Mailing Address

P.O. Box 1649
Oroville, CA 95965

Phone: : 877-410-8803

Fax: : 530-879-3614

Hours

8:00 am to 4:30 pm

Locations

Oroville

78 Table Mountain Boulevard
Oroville, CA 95965

Chico

765 East Avenue
Chico, CA 95926

Paradise

7204 Skyway
Paradise, CA 95969

24-Hour Emergency Numbers

Customer Service Center

Phone: 877-410-8803

Children's Services

Phone: 800-400-0902

Adult Services

Phone: 800-664-9774

Family Urgent Response System

Phone: 833-939-3877 (FURS)

Butte 211

Dial 211 or visit the [Butte 211 website](#)

[Directory](#)



- [HOME](#)
- [RECYCLING](#)
- [COMMERCIAL](#)
- [RESIDENTIAL](#)
- [ROLLOFF](#)
- [EVENTS](#)
- [NEWSLETTERS](#)
- [BILL PAY](#)
- [CONTACT](#)

OUR HISTORY

- [Customer Service](#)
- [Recycling Guide](#)
- [Recycling Center](#)
- [Photo Gallery](#)

Northern Recycling & Waste Services is a family owned and locally operated full-service recycling and solid waste company. Together with our sister companies we have serviced the region for over a century. We are pleased to provide Paradise and unincorporated Butte County with efficient, economical, and sustainable services with world class customer service.

We believe that properly managing our solid waste is a fundamental ecological issue. It illustrates, perhaps more clearly than any other environmental impact, that we must change many of our traditional habits and the cultural manner in which we manage our waste. Our mission is to eliminate waste, reuse and recycle all resources, provide objective education and quality service. It's our Planet, let's support it.



OUR FAMILIES SERVING YOUR FAMILY

Being a local independent company, NRWS has a local customer service and billing department that can respond quickly to any questions or concerns that our customers might have.

Our entire team lives in Butte County, allowing us to make decisions quickly and decisively, to react to our customers changing needs.



NRWS Team 2007

OUR SISTER COMPANIES



[Napa Recycling & Waste Services](#), providing recycling and waste collection for the City of Napa and Napa County Recycling & Waste Services, LLC, providing recycling and waste collection for the lower portion of the Napa Valley ..Southern Napa County currently has one of the five highest diversion rates in the state of California and the first commercial food composting programs in the North Bay.



[Upper Valley Disposal & Recycling](#), which recycles and collects waste material from Yountville, St. Helena, Calistoga, unincorporated areas of the Upper Napa Valley and parts of Lake County. A pioneer in producing organic compost, Upper Valley Disposal opened the first permitted composting facility in California nearly 40 years ago.



[Marin Sanitary Service](#), one of the country's leading recycling firms, which services much of Marin County. In 1981, Marin Sanitary started the first countywide curbside recycling program in the country.



[Garaventa Enterprises, Inc.](#), which provides recycling and disposal service to Concord and other communities in Contra Costa and Solano Counties. For over 75 years Garaventa Enterprises has served their community and recently opened the state-of-the-art Mt. Diablo Recycling Center and Transfer Station in Pittsburg.



[Northern Recycling Operations & Waste Services](#), which operates the Devlin Road Recycling & Transfer Facility. The facility's new construction & demolition sorting line saves thousands of tons of recyclable material from the landfill.

Northern Recycling, which operates a composting facility in Yolo County. The Yolo County Facility is currently testing new technology and expanding to food waste programs. For contact information, please email Pauline Garcia at pauline@northernrecycling.biz.

Valley Recycling, a local company that provides commercial recycling services.

CALGreen Construction Waste Management Requirements

Waste Diversion

CALGreen requires covered projects to recycle and/or salvage for reuse a minimum 65% of the nonhazardous construction and demolition waste or meet a local construction and demolition waste management ordinance, whichever is more stringent.

The code applies to various occupancies and types. Please see [this table](#) for general requirements for each type. For specifics on the code's scope, see Section 101.3. Also see Section 101.11 for a list of steps that can be used to determine which sections apply to each type of occupancy.

Methods of Compliance

- Enforcing agencies can require contractors to develop and maintain a waste management plan and document diversion and disposal.
OR
- Utilize a waste management company that can provide verifiable documentation that it meets 65% waste diversion. OR
- Use a waste stream reduction alternative:
 - Non-residential new construction and residential high rise (4 stories or more) projects with a total disposal weight of ≤ 2 lbs/ft² meets the 65% waste diversion requirement.
 - Residential low rise (3 stories or less) with new construction disposal of ≤ 3.4 lbs/ft² meets the 65% waste diversion requirement.

Recycling by Occupants (Space for Recycling)

Newly constructed non-residential buildings, certain non-residential additions and multi-family housing with ≥ 5 units should provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste and metals.

For more information on CALGreen's waste diversion requirements, refer to the [FAQ](#) page.

[Know Your Waste Stream](#)

For more information contact: Local Assistance & Market Development, LAMD@calrecycle.ca.gov

UTILITIES AND SERVICE SYSTEMS

The Neal Road Recycling and Waste Facility buried approximately 163,200 tons of municipal solid waste in 2020. In addition to that total, 3,247 tons of inert materials, 4,559 tons of wood waste, 5,514 tons of scrap metal, 225 tons of tires, 574 tons of cardboard and mattresses, and 270 tons of electronic waste were diverted from disposal in the landfill (Cissell 2021).

Collection and Transfer

Butte County is served by three licensed private haulers who provide residential, commercial, and industrial collection services for solid waste transported to the Neal Road Recycling and Waste Facility for disposal. In 2014, the County divided the unincorporated area into three collection service areas and issued franchise agreements to three waste and recycling collection companies to service these areas. The three franchised companies provide collection and processing of commercial and residential recyclable material, green waste, and solid waste within the three franchise service areas. Waste Management serves the northwest unincorporated area of the county, Northern Recycling and Waste Services serves the northeast unincorporated area, and Recology serves the central and southern unincorporated area. All commercial waste haulers operating in Butte County are required to obtain a permit issued by the County Public Health Department, Environmental Health Division after meeting requirements set forth in Butte County Code, Chapter 31. The incorporated areas of the county manage their own waste collection services.

Table 5.17-6, *Solid Waste Franchise Private Haulers*, outlines the existing haulers, their service areas, contract status, and recycling efforts.

TABLE 5.17-6 SOLID WASTE FRANCHISE PRIVATE HAULERS

Private Hauler	Service Area	Franchise/ Contract	Recycling Efforts
Recology 2720 South Fifth Avenue Oroville, CA 95965	Southern portion of the unincorporated area in the County	Franchise with County	Curbside recycling, residential and commercial yard trimmings, compost, recycling, and garbage collection
Northern Recycling and Waste Services 920 American Way Paradise, CA 95969	Paradise ridge area	Franchise with County	Curbside recycling, including green waste collection, commercial waste
Waste Management 2569 Scott Ave. Chico, CA 95928	Northwest unincorporated area of the County	Franchise with County	Curbside recycling including residential and commercial yard waste

Source: Butte 2021b.

The three private collection firms operate three transfer stations in Butte County. The Recology Butte Colusa Counties Transfer Station is in Oroville and hosts a public recycling drop-off center, household hazardous waste facility, green waste drop-off center, and a construction and demolition sorting facility. The North Valley Disposal Transfer Station is in Chico and managed by Waste Management. Northern Recycling and Waste Services is in Paradise and provides transfer station services as part of their franchise agreement with the County. The recycling and waste buy-back center at Northern Recycling and Waste Services is currently closed as a result of the recent wildfires and COVID-19.



April 30, 2021

Notice of Preparation of an Environmental Impact Report and Public Scoping Meeting Notice

RE: Paradise Sewer Project

To Interested Agencies and Persons:

The Town of Paradise (Town) as the Lead Agency for the Paradise Sewer Project (Proposed Project) has issued this Notice of Preparation (NOP) pursuant to the California Environmental Quality Act (CEQA) to notify responsible and trustee agencies and other interested parties that an Environmental Impact Report (EIR) will be prepared to evaluate potential environmental impacts of the Proposed Project. The Town is soliciting public input regarding the scope and content of environmental information to be included in the EIR.

The NOP provides information about the public review and comment period, project location, project description, and the probable environmental effects of the Proposed Project, and is posted on the Town's website at www.paradisesewer.com.

Agency and Public Review and Comment

The Town is interested in receiving input from agencies, stakeholders, and the public regarding the Proposed Project. Your agency may need to use the EIR prepared by our agency when considering your permit or other approval for the Proposed Project, if any is required. Please respond with written comments regarding the proposed scope and the intended content of the EIR as it relates to your agency's area of statutory responsibility or your areas of concern or expertise. We are requesting that all comments be provided in writing to enable us to address the comments as intended in the EIR. Written comments are also requested from organizations and other interested parties regarding the scope and evaluation of potential environmental issues associated with the Proposed Project.

Written responses are due within 30 days of the receipt of this NOP, as provided by state law. As such, a 30-day public review and scoping period is established from May 3 to June 3, 2021. Comments may be submitted by mail or email, or by attending the public scoping meeting (see details below) and submitting a written comment. All comments should indicate a contact person for the agency or organization.

Two virtual public scoping meetings regarding the Proposed Project and EIR will be held. You, members of your agency or organization, and the public are invited to attend to provide written comments on the scope and content of environmental information to be included in the EIR. These meetings will include a brief overview of the Proposed Project and EIR process, and will allow time for questions about the project and process.



The Town will hold these public scoping meetings on May 13 with an approximately 30-minute presentation starting at 6:00 p.m. and on May 25 with an approximately 30-minute presentation starting at 12:00 p.m. In light of the COVID-19 pandemic, the meetings will be held virtually for remote public participation. The meeting links and call-in number for the presentation are provided below.

Thursday, May 13, at 6:00 p.m.	Tuesday, May 25, at 12:00 p.m.
<p>WebEx Link: bit.ly/Paradise_Sewer_Mtg1</p> <p>WebEx Password: Paradise</p> <p>Dial In #: 408-418-9388</p> <p>Code: 123 202 6837</p>	<p>WebEx Link: bit.ly/Paradise_Sewer_Mtg2</p> <p>WebEx Password: Paradise</p> <p>Dial In #: 408-418-9388</p> <p>Code: 123 877 2748</p>

For additional accessibility preferences, please post a message on the project website at paradisesewer.com/contact (from subject dropdown menu, select “Submit a comment on Environmental Impact Report”). Persons who are deaf, hard of hearing, or speech impaired (TDD) may contact the California Relay Service TTY and/or Voice Line at 1-800-735-2929, or 711.

We value your input and look forward to hearing from you. For your convenience, we have a number of ways for you to provide comments at any time during the 30-day comment period ending at 5:00 p.m. on June 3, 2021. Comments can be submitted the following ways:

- Direct Mail:
Colette Curtis, Public Information Officer
Town of Paradise
5555 Skyway
Paradise, CA 95969
- Website and Virtual Meeting comment submittal: paradisesewer.com/contact (from subject dropdown menu, select “Submit a comment on Environmental Impact Report”).
- Telephone: 530-872-6291, ext. 112

If you are an authorized representative of a Responsible Agency or a Trustee Agency, the Town needs to know the views of your agency regarding the scope and content of the environmental information that is relevant to your agency’s statutory responsibilities in connection with the Proposed Project. Your agency will need to use the EIR when considering whether to permit or otherwise approve the Proposed Project. Comments received from State of California agencies should address (1) whether the agency will be a Responsible Agency or a Trustee Agency for the Proposed Project, and (2) if the agency is a Responsible Agency, the significant environmental issues and reasonable alternatives and mitigation measures that the Responsible Agency will need to have explored in the analysis. We will also need the name, address, telephone number, and email address of the contact person for your agency.



Project Location

Paradise is in eastern Butte County, in the western foothills of the Sierra Nevada Mountains. The topography of Paradise is characterized by intervening ridges and valleys sloping to the southwest, with elevations ranging from 1,080 to 2,320 feet. Paradise is bordered on the east by the west branch of the Feather River and on the west by Little Butte Creek. Paradise is approximately 12 miles east of the City of Chico, California; 20 miles northwest of the City of Oroville, California; and 90 miles north of the City of Sacramento California. The primary entrances to Paradise are Skyway and Highway 191 (Clark Road). Paradise is connected to Chico via Skyway and to Oroville via Highway 191, which is known as Clark Road upon entering Paradise.

Chico, also in Butte County, sits on the Sacramento Valley floor close to the foothills of the Sierra Nevada range to the east. Chico's terrain is generally flat, with increasingly hilly terrain beginning at the eastern city limits. The city is traversed by two creeks, Big Chico Creek and Little Chico Creek, and the Lindo channel, all of which feed into the Sacramento River. Highways 32 and 99 comprise Chico's regional transportation network. Highway 32 connects Chico residents to Glenn and Plumas Counties to the west and east, respectively. Highway 99 connects residents to Tehama and Sutter Counties to the north and south, respectively (see Figure 1, map inset).

Project Background

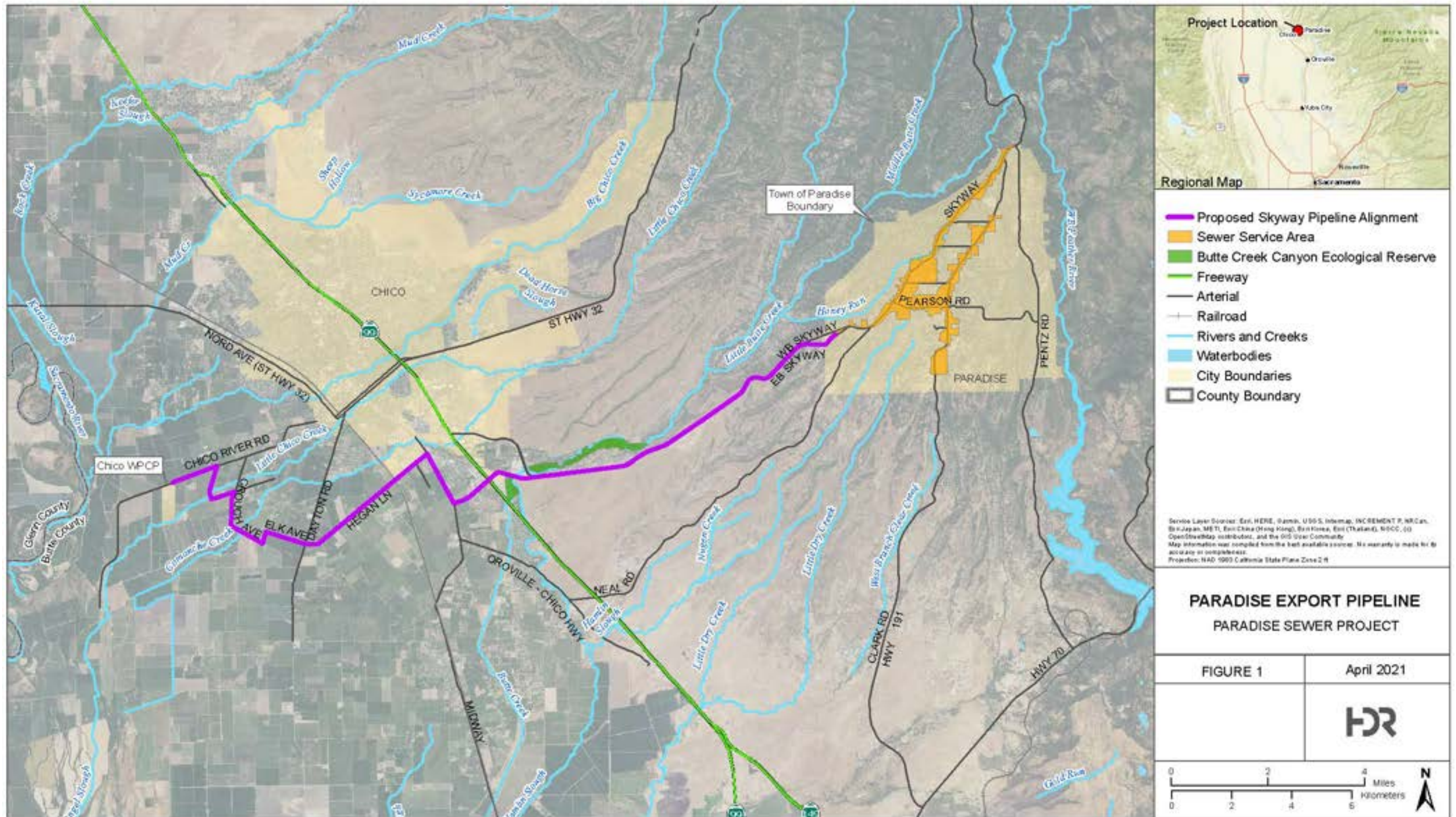
Since its incorporation in 1979, the Town has sought a formal wastewater treatment solution for the community, with service for commercial and densely populated residential areas being a priority. Failed and failing septic systems create the potential for public health and environmental concerns and have limited economic growth. Prior to the Camp Fire, which almost completely destroyed the town in 2018, Paradise was the largest unsewered community in California.

The Town has supported numerous studies to address its need for a centralized wastewater treatment solution, and in its most recent study,¹ the Town identified a proposed sewer service area. The proposed sewer service area includes the Town's commercial corridors, and as described in the 2017 study, it represented the area that had the most septic systems that had failed or were projected to fail by 2022.

Existing Facilities

Wastewater treatment facilities in Paradise consist of individual, privately owned septic tanks and soil absorption disposal systems known as leach fields, together with several engineered subsurface disposal systems serving commercial and institutional facilities. Businesses and residences near the future sewer system continue to rely on septic tanks and leach field systems for wastewater treatment and disposal.

¹ Bennett Engineering, 2017, Town of Paradise Sewer Project Alternatives Analysis and Feasibility Report: Determining a Preferred Option for Implementation, June 21.





The Chico Water Pollution Control Plant (WPCP) is approximately 5 miles southwest of Chico on 120 acres of land owned by the City of Chico. The City of Chico owns and operates the Chico WPCP, which provides wastewater treatment and disposal for the greater Chico area. The Chico WPCP service area comprises the incorporated area of Chico and small parcels of unincorporated Butte County.

The Chico WPCP treatment system consists of screening for removal of large solids, grit removal, primary clarification, activated sludge treatment with secondary clarification, and chlorination/dechlorination. Sludge is treated by anaerobic digestion followed by mechanical dewatering. Biosolids are hauled directly from the centrifuge building for land application in unincorporated Sacramento County, California. The treated wastewater from the Chico WPCP is discharged to the Sacramento River through a submerged outfall diffuser and is regulated in accordance with the National Pollutant Discharge Elimination System (NPDES) Permit No. CA0079081 (Order No. R5-2016-0023). This order permits an average dry weather flow effluent flow of 12 million gallons per day (gpd).

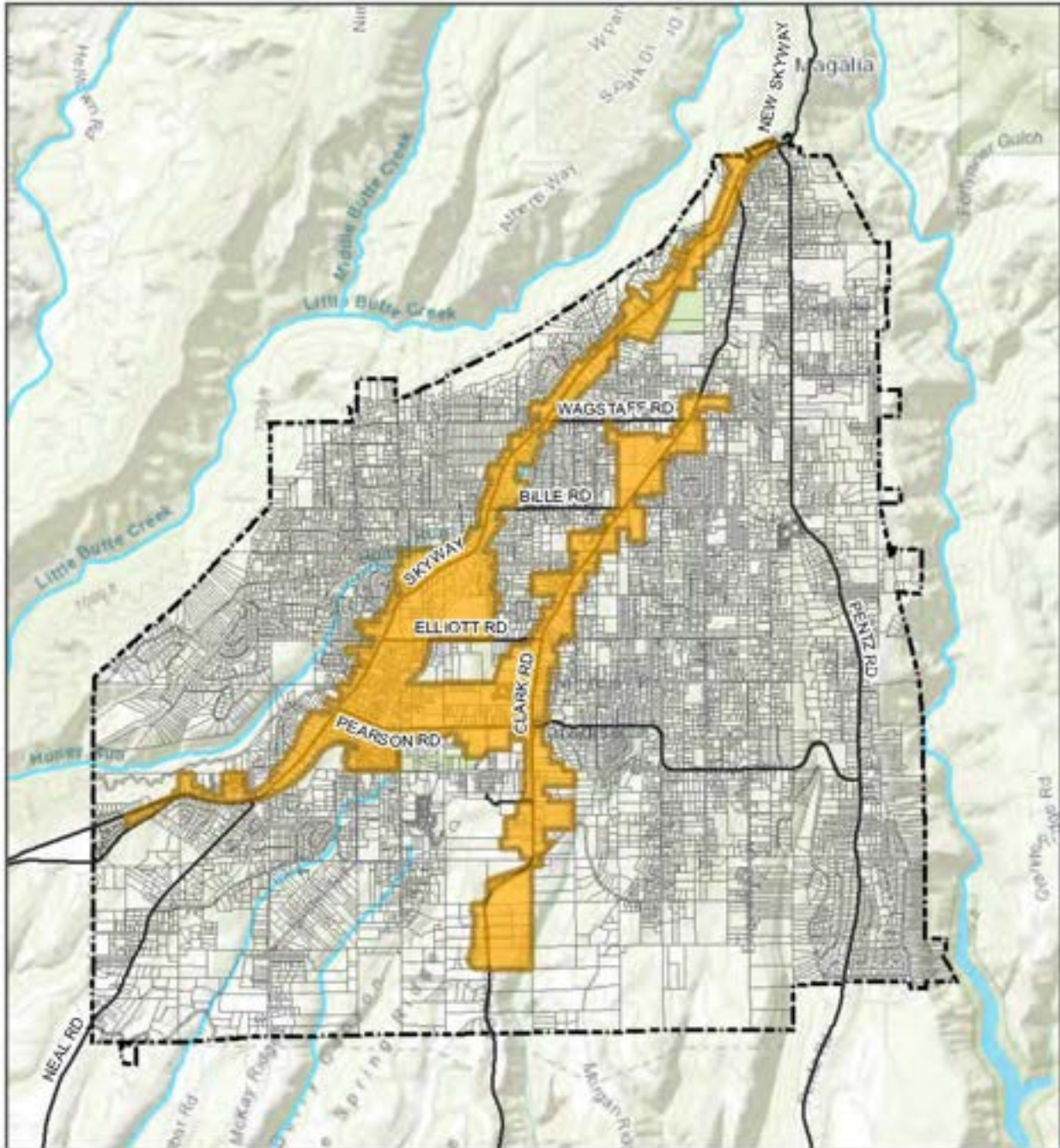
Project Description

The Proposed Project consists of three constructed components—a wastewater collection system in Paradise, an 18-mile export pipeline to convey wastewater to the Chico WPCP, and connection to the WPCP—and operation of the new sewer system. The export pipeline would begin at the southwest edge of Paradise and run for approximately 8 miles along Skyway until reaching south Chico, at which point the pipeline would leave Skyway and continue west, crossing Butte Creek, Highway 99, and the Union Pacific Railroad, and terminating at the Chico WPCP in Chico. The Proposed Project would not change the service area of the Chico WPCP other than the addition of the Paradise connection and treatment. Moreover, there would be no additional fees for Chico residents and rate payers as a result of the Proposed Project.

Sewer Service Area

The sewer service area (SSA) would serve approximately 1,500 parcels (out of the 11,000 total parcels in Paradise) along the Skyway, Clark Road, and Pearson Road corridors (see Figure 2). The SSA also would serve most businesses in Paradise and would enable future construction of affordable multi-family housing, which is limited because of multiple septic system constraints such as high groundwater, poor soils, and limited parcel sizes.

At the time of initial operation, an estimated 360 occupied parcels within the SSA would be generating an average wastewater flow of 109,000 gpd. It is estimated that it could take 30 years for the entire SSA to be occupied, at which time the average wastewater flow would be 448,000 gpd. The Town is considering this level of development and wastewater flow in planning its wastewater treatment solutions.



	Sewer Service Area	Freeway
	Paradise Parcels	Arterial
City Boundaries	Railroad	Rivers and Creeks
	Waterbodies	

**TOWN OF PARADISE
PROPOSED SEWER SERVICE AREA
PARADISE SEWER PROJECT**

FIGURE 2	APRIL 2021
----------	------------



Collection System

The collection system would serve all parcels within the SSA, and would consist of a system of gravity sewers, small pump stations, and force mains. This collection system would enable properties within the SSA to have existing septic tanks and leach line systems abandoned altogether and would remove future onsite wastewater treatment and dispersal requirements. Because of the varied topography within the SSA, a number of pump stations and pressurized force mains would be required to pump flows out of valleys and swales, and back up to an adjacent gravity sewer. The collection system would consist of approximately 157,000 feet of 2- to 4-inch-diameter force mains, 29,000 feet of 8-inch-diameter gravity trunk lines, and 28 pump stations, all within public right-of-way. The gravity sewers would come together at the southwest edge of town, on Skyway, where they would transition to the export pipeline to the Chico WPCP.

Export Pipeline

The proposed export pipeline would start along Skyway at the south end of the Paradise collection system and would continue southwest along Skyway. Near Chico, at the bend where Skyway turns north, the pipeline would continue west, heading cross-country with crossings of Butte Creek and Highway 99 until reaching Midway, and would proceed into Chico and end at the Chico WPCP. The connection to the Chico WPCP is not associated with other ongoing facility upgrades. Figure 1 shows the proposed export pipeline route and connection to the Chico WPCP.

Operation and Maintenance

Operation and maintenance activities would occur with the facilities that comprise the Proposed Project. This would include various inspections, servicing, and replacement of pertinent Proposed Project facility elements at designated intervals.

Probable Environmental Effects of the Proposed Project

After completing a preliminary review of the Proposed Project, as described in Section 15060(d) of the CEQA Guidelines, the Town has determined that an EIR should be prepared to assess the potentially significant environmental impacts of the Proposed Project.

The EIR will address environmental impacts of the Proposed Project's construction and operation activities and will propose mitigation measures to address significant impacts that are identified. The following describes the anticipated environmental issues that may be addressed in the EIR:

- **Aesthetics.** Potential impacts on aesthetics during construction and operation of the Proposed Project will be considered. Although temporary impacts may occur during construction, no permanent change in the visual landscape or viewshed is expected.
- **Agriculture and Forestry Resources.** Given the rural conditions, impacts on agriculture and forestry resources will be considered. However, it is anticipated that the Proposed Project would not result in impacts on prime agriculture and forestry resources that cannot be avoided.



- **Air Quality and Greenhouse Gas Emissions.** Criteria air pollutants generated during construction and operation of the Proposed Project would be estimated using the California Emissions Estimator Model (CalEEMod). Potential impacts on air quality will be assessed by comparing the Proposed Project's criteria air pollutant emissions with the thresholds of significance for criteria air pollutants in the Butte County Air Quality Management District's (BCAQMD) *CEQA Air Quality Handbook*.

Construction would be the main source of greenhouse gas (GHG) emissions. GHG emissions during construction of the Proposed Project would be estimated using CalEEMod. Impacts associated with GHG emissions would be determined by comparing project GHG emissions during construction to BCAQMD's recommended thresholds for GHG emissions contained in the *CEQA Air Quality Handbook*.

- **Biological Resources.** The Town is completing field surveys to catalogue protected species and habitat conditions including wetlands and vernal pools. The EIR will consider impacts of proposed trenching and trenchless construction methods on biological resources.
- **Cultural Resources.** Potential impacts on cultural resources that could occur during ground-disturbing construction activities will be evaluated. An initial historic records search was completed, and intensive pedestrian surveys are being completed as part of this planning process. The findings from these studies will be used to analyze the potential physical impacts on historic, pre-historic, archaeological, and cultural resources that could result from proposed construction activities.
- **Energy.** A temporary increase in the consumption of energy would be required during construction, and a long-term increase in the use of energy would be required for operation of the Proposed Project. The impact analysis will assess if the Proposed Project would result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources during construction or operation, or would conflict with or obstruct a state or local plan for renewable energy or energy efficiency.
- **Geology and Soils.** Construction of the Proposed Project could result in site-specific impacts on or from local geology and soils conditions. Potential impacts related to geologic, seismic, and soils constraints will be assessed. Potential impacts on paleontological resources and mineral resources will also be considered.
- **Hazards and Hazardous Materials.** Potential impacts related to hazards and hazardous materials will be evaluated, including the potential hazardous materials associated with transport, use, and disposal of hazardous materials during construction and potential hazardous emissions or hazardous materials used during construction and operation of the Proposed Project.
- **Hydrology and Water Quality.** Potential impacts on hydrology and water quality will be described based on qualitative assessment of Project construction activities. No permanent changes to hydrology are expected to result from the Proposed Project.



- **Land Use and Planning.** Although the Proposed Project is not expected to change existing land use, the EIR will evaluate zoning within the sewer service area in relation to current and future development.
- **Noise.** Potential construction-period noise and vibration impacts on sensitive receptors (residences) near the Proposed Project will be assessed. Operational noise will also be analyzed in the EIR.
- **Population and Housing.** While the Proposed Project is not a response to the recovery effort from population and housing loss associated with the 2018 Camp Fire, the Proposed Project could lead to new opportunities for population and housing in the sewer service area. It is not anticipated that siting of the Proposed Project would lead to housing displacement. The balance of current and planned housing in the sewer service area would be considered against the Chico WPCP capacity.
- **Public Services.** Impacts on fire protection services, law enforcement services, schools, and other public services will be evaluated based on available information.
- **Recreation.** Potential impacts on existing recreational resources will be evaluated. It is not anticipated that the Proposed Project would affect existing recreational facilities or activities.
- **Transportation.** Because much of the proposed collection and export pipeline would be constructed in or adjacent to existing roadways, impacts on transportation are expected. Construction-related vehicle trips will be estimated, and temporary construction-related traffic will be evaluated to identify any hazardous conditions on roadways or inadequacies in emergency access that may result during construction of the Proposed Project.
- **Tribal Cultural Resources.** The Town is coordinating with interested tribes in accordance with Assembly Bill 52. Impacts on tribal cultural resources will be evaluated based on discussions with tribes regarding the relationship of the Proposed Project to the ongoing practice of traditional life ways.
- **Utilities and Service Systems.** The Proposed Project would introduce a new utility and service system, which will be analyzed. Construction and operation of the Proposed Project would raise demands on water supply and power utilities.
- **Wildfire.** The Proposed Project is in a state responsibility area, traversing moderate and high fire hazard severity zones. Therefore, this evaluation will focus on the potential for construction activities to impair an emergency response or evacuation plan, exacerbate wildfire risks, and expose people to risks due to post-fire effects, consistent with standards in the CEQA Guidelines Appendix G. The focus will be on elements of construction that could exacerbate fire hazard risks; however, once construction is completed, the underground pipeline would not create conditions that would affect wildland fire risks.
- **Other Sections.** The EIR will include additional topics as required by the CEQA Guidelines, including significant irreversible environmental changes, growth inducement, cumulative



impacts, and alternatives. The EIR will describe and evaluate a reasonable range of alternatives to the Proposed Project that would feasibly attain most or all of the Proposed Project's basic objectives while avoiding or substantially lessening any significant effects of the Proposed Project. These alternatives may include alternative pipeline routes. For each alternative, the EIR will assess the degree to which it might reduce one or more identified significant project impacts, whether it could result in other new or increased impacts, its feasibility, and the degree to which it is consistent with the Proposed Project objectives. The "No Project" alternative will also be evaluated as required by CEQA.

Further Information

For environmental review information or questions about the Proposed Project, please contact us at through our project website at paradisewer.com/contact (from subject dropdown menu, select "Submit a comment on Environmental Impact Report") or by calling us at 530-872-6291, ext. 112

Sincerely,

 4/23/2021

Marc Mattox

Town of Paradise Director of Public Works



Search

Septic / Onsite

Onsite Wastewater Manual

The Town of Paradise

LOCAL AGENCY MANAGEMENT PROGRAM

For the maintenance construction and monitoring of onsite wastewater treatment systems

July 12, 2016

Comprised of the

Town of Paradise Manual for the Onsite Treatment of Wastewater

and

Chapters 5.14 and 13.04 of the Paradise Municipal Code

Supporting Documents

 Onsite Wastewater Manual (5 MB)

Contact Information

Building Resiliency Center

6295 Skyway
Paradise, CA 95969

Monday
9:00am - 5pm

Tues - Friday
8:00am - 5pm

Closed for Lunch Daily
12:00 - 1:00pm

Appointments Preferred
(530) 872-6291 ext 411

[Email Onsite Division](#)

[View Full Contact Details](#)



[Home](#) [Accessibility](#) [Staff Login](#)

5555 Skyway | Paradise, CA 95969 | Monday – Thursday 8:00am – 5:00pm

a municode design
Evacuation Status Map



Search

Fire Department

Burning is Permitted

Fire Department



Welcome to Paradise Fire & Rescue

We are an "All-Risk" department, meaning that we respond to all emergencies: fires, emergency medical services, hazardous materials, rescues, and public assists. Our mission to protect the community is a cooperative agreement with CAL FIRE. With a headquarters in Oroville, Fire Chief Garrett Sjolund directs over 400 firefighters at all ranks and experience. The Town is located geographically within the Butte Unit's Northern Division under the direction of Division Chief Patrick Purvis. Battalion Chief Rick Manson supervises the day to day operations of the Paradise Battalion and retains his office at Station 81. By contracting with CAL FIRE the Town of Paradise is able to staff two fire stations with three-person engine companies, and one station with a two-

person engine company. This allows for a rapid response to all coverage areas and facilitates being able to retain the town-wide Insurance Service Office rating of three.

In addition, to the Town's resources, CAL FIRE maintains their own stations in Paradise and the neighboring community of Magalia. These resources are available to assist with the Town's fire protection efforts as necessary.

The Town of Paradise employs a fire prevention inspector, fire marshal, and administrative assistant for the fire department, and all ordinances and municipal codes related to hazard abatement and burning for the Town of Paradise remain in effect.

Residential growth has created a Wildland Urban Interface (WUI) that requires greater preparedness than ever before on behalf of emergency staff and residents. The Town of Paradise is located in a defined "very high fire hazard severity zone" pursuant to the California Government Code § 51175 and the California Health and Safety Code § 13108.5. Because of this designation, prevention and preparedness are of utmost importance. Defensible space around all structures is vital to safety, and property owners are asked to do their part in keeping properties clear of overgrown vegetation and other fire hazards. A partnership between the professional firefighters and residents is essential if this foothill environment is to remain a safe and beautiful place to live.

Station 81

767 Birch Street

Telephone: (530) 872-6264

Facsimile: (530) 877-5957

Recorded Burn Info: (530) 872-6264

Office Hours: 9:00 am - 1:00 pm, Monday through Friday

Services

- Purchase Burn Permits (cash or check only)
- Report Hazard Concerns
- Purchase Hydrant Flows (cash or check only)
- Schedule Tours
- Records Requests prior to October 2012

Station 82

5545 S. Libby

Records Request

CAL FIRE

176 Nelson Avenue, Oroville

(530) 538-7888

Mail/come in with date of incident and address. \$20.00.

Supporting Documents

-  Wildfire Prepared Homeowner Guide (12 MB)
-  Wildfire Prepared Brochure (3 MB)
-  Wildfire Prepared Home Standard (5 MB)

Contact Information

Fire Station 81

767 Birch St. Paradise CA 95969

(530) 872-6264

Recorded Burn info: (530) 872-6264 option 1

Mon. – Fri. 9 am to 1 pm

Fire Station 82

5545 S. Libby Rd

Paradise, CA 95969

Chris Rainey

Fire Prevention Inspector II

Office: (530) 872-6291 ext. 304

crainey@townofparadise.com

Shane DeValera

Fire Prevention Inspector II

Office: (530) 872-6291 ext. 440

Cell: (530) 693-7338

sdevalera@townofparadise.com

[View Full Contact Details](#)



[Home](#) [Accessibility](#) [Staff Login](#)

5555 Skyway | Paradise, CA 95969 | Monday – Thursday 8:00am – 5:00pm

a municode design
Evacuation Status Map



Search

Police Department

Police Department



Message from the Chief of Police

"Welcome to the Paradise Police Department website. As Chief, I am extremely proud of the men and women who make up the department and serve this community. The employees and volunteers of this department are committed to providing quality public safety services to our community. We continue to do our utmost to maintain our outstanding reputation, high level of personalized service, and



progressive technological advances to keep Paradise citizens informed.

The Paradise Police Department is thankful to the community for its support of the department and its mission. Most importantly, we understand it is only with the cooperation, involvement and partnerships of the citizens of Paradise that we can make our town a better and safer place to live.

We are striving to create a website that is not only a source of information, but a learning tool that will provide our community and their children with the tools to keep them safe. Please feel free to browse our pages using the links and let us know what you think."

--Eric Reinbold, Chief of Police

Mission Statement

The purpose of the Paradise Police Department is to serve the members of the community; to protect their lives, liberties, and property. With well-trained and professional personnel we will strive to provide our Town with a sense of safety, security, and trust. We will prepare for this responsibility by our commitment to training and community awareness.

We will serve our community with integrity, honesty, dedication, loyalty, and professionalism, while striving for excellence in all we do. We value our responsive relationship with our community.

By using our available resources, we vow to vigorously and professionally pursue those who commit crimes, and be sensitive and empathetic to those who have been victimized. We will endeavor to improve the quality-of-life in our Town.

Our people are the Department's most valuable assets. We will promote pride and maintain an atmosphere of mutual cooperation, understanding, and teamwork. We recognize each member as an individual and treat each member with respect, dignity, and fairness.

We will prepare for the future to meet the changing needs of our Town. In all things, we will never compromise our core principles and values.

Contact Information

5595 Black Olive Dr
Paradise, CA 95969

(530) 872-6241

[View Full Contact Details](#)



[Home](#) [Accessibility](#) [Staff Login](#)

5555 Skyway | Paradise, CA 95969 | Monday – Thursday 8:00am – 5:00pm

a municode design
Evacuation Status Map

Check out the Spring / Summer 2023 Activity Guide - Available Now!

Dismiss

Click Here.

(/spring-summer-2023-prpd-activity-guide)



(<https://www.paradisepspd.com/>)

Register Online (https://www.activityreg.com/ClientPage_t2.wcs?clientid=PARADISE&siteid=1)

Contact Us (</contact-us>)

Portal - Invite access required
(<https://paradiseportal.specialdistrict.org/>)

Search...

FACILITIES

(/FACILITIES)

[PARKS & FACILITIES \(/PARKS-FACILITIES\)](/PARKS-FACILITIES)

[WEDDINGS \(/WEDDINGS-ON-THE-RIDGE\)](/WEDDINGS-ON-THE-RIDGE)

[ELECTRONIC SIGN AT TERRY ASHE RECREATION CENTER \(/ELECTRONIC-SIGN-AT-THE-TERRY-ASHE-RECREATION-CENTER\)](/ELECTRONIC-SIGN-AT-THE-TERRY-ASHE-RECREATION-CENTER)

[PARADISE WELCOME SIGN \(/PARADISE-WELCOME-SIGN\)](/PARADISE-WELCOME-SIGN)

Parks & Facilities



We Create Community and Quality of Life Through People, Park and Programs.

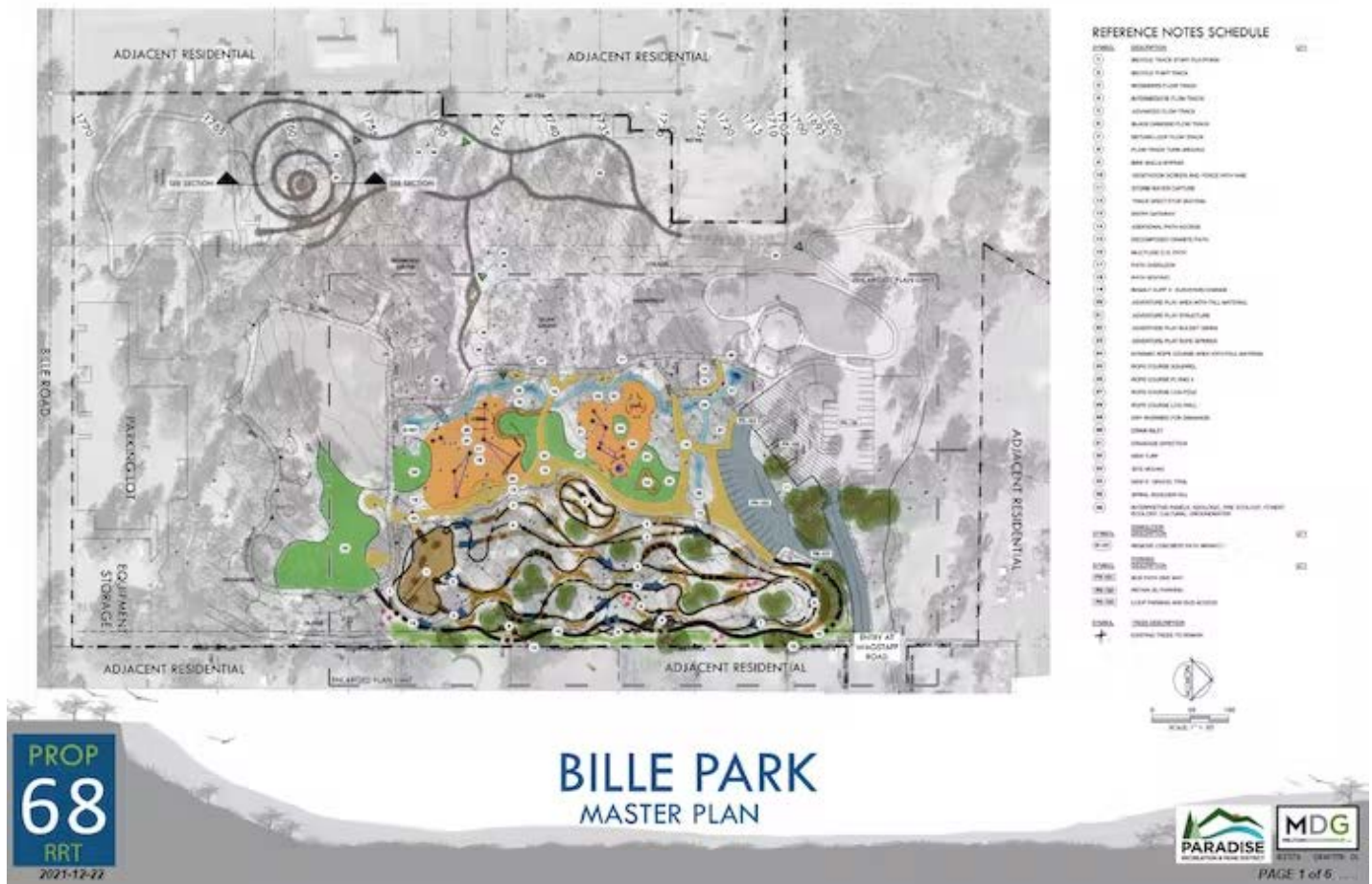


Lakeridge Park - Coming Soon!

The citizens of Magalia and the Upper Ridge have been working with PRPD staff and Board to get a park in Magalia since 2006. At LONG last PRPD is pleased to announce that the District has received funding to build Lakeridge Park in Magalia. This \$5,227,277 grant will fund the development of a new recreation center, grass play field, outdoor sport court, adventure playground, two traditional...

READ MORE »

(/lakeridge-park-coming-soon)



Bille Park Enhancements - Coming Soon!

Paradise Recreation and Park District (PRPD, District) is excited to announce that the Rural Recreation and Tourism grant proposal to enhance Bille Park has been awarded funding. The District applied for, and will receive, \$1,439,535 to develop new features and amenities for this highly beloved park. These new features and admenities include a high-ropes course, new adventure playground, native...

READ MORE »

(/bille-park-enhancements-coming-soon)

Information Kiosk & Wayfinding

Picnic Areas

Hiking / Biking Trails

Recovery Imagery

Interpretive Panels

Outdoor Education

Bird Watching & Overlooks

Parking Lot

Restroom & Upgraded Privacy Screen

PLANT PALETTE

LEGEND

DESIGN GUIDE REFERENCES

Forest Service Trail Accessibility Guidelines (FISAG)

TRAIL CLASS 2 USED FOR LAYOUT

MDG OAK CREEK PARK MASTER PLAN - SHEET 1 OF 3

Oak Creek Park - Coming Soon!

PRPD is pleased to announce that the District has received grant funding to build Oak Creek Park in Paradise. Based on public input received between 2019 and 2022 the District has identified hiking, biking, and walking trails to be among the most requested amenities for new park development. Oak Creek Park, approximately 20-acres, will feature a series of looping, natural surface trails for...

[READ MORE >>](#)

[\(/oak-creek-park-coming-soon\)](/oak-creek-park-coming-soon)



The Terry Ashe Recreation Center

The Terry Ashe Recreation Center is located at 6626 Skyway in the heart of Paradise with a gazebo surrounded by tall pines. Our newly renovated facility contains a large room and a kitchen along with a wood dance floor, sound system and lighting; an ideal place for celebrations of every kind.

READ MORE »

(/the-terry-ashe-recreation-center)



Paradise Lake

As of June 1st, 2020, the Paradise Recreation and Park District (PRPD) has taken over recreation amenities and operations at Paradise Lake from the Paradise Irrigation District (PID).

[READ MORE »](#)

[\(/paradise-lake\)](/paradise-lake)



Bille Park

Bille Park is located at 501 Bille Road. Surrounded by a redwood grove, the Counselor's Circle and group BBQ area will provide a serene setting for your special outdoor wedding and reception.

[READ MORE »](#)

[\(/bille-park\)](/bille-park)



Bille Park Expansion

Bille Park Expansion is located at 6261 W. Wagstaff Road. This beautiful park with its natural creek side setting, enchanting Gazebo, large covered Pavilion and kitchen will offer a spectacular location for your special day. This facility offers a scenic backdrop for your ceremony and reception with winding paved pathways, meadows, a waterfall cascading into a small pond, and a picturesque bridge...

[READ MORE »](#)

(/bille-park-expansion)



Aquatic Park

The Aquatic Park located at 5600 Recreation Drive, and offering colorful foliage in the fall, has an arbor and a group BBQ area. The creek flows into a tranquil pond with a fountain that makes an excellent backdrop for your priceless photos.

[READ MORE »](#)

[\(/aquatic-park\)](/aquatic-park)



Aquatic Park Swimming Pool

5600 Recreation Drive • 872-6380

READ MORE »

(/aquatic-park-swimming-pool)



Moore Road Ball Park, Lezlie Morrow Memorial Dog Park, & Horse Arena

(Forest Service Road off Clark Road-6705 Moore Rd)

Two ball park fields

Lezlie Morrow Dog park

Horse riding arena

READ MORE »

(/moore-road-ball-park-lezlie-morrow-memorial-dog-park-horse-arena)



Crain Memorial Park

Off Concow Road, on Jeffrey Pine Lane

[READ MORE >](#)

(crain-memorial-park)



Concow Pool

11666 Concow Rd.

[READ MORE »](#)

[\(/concow-pool\)](#)



Coutolenc Park

Coutolenc Park is currently under recovery construction.

[READ MORE »](#)

[\(/coutolenc-park\)](#)



Photo Credit: TiffanyDPhotography

Butte County



Weddings on the Ridge



Bille Park

- Outdoor Covered Pavilion with kitchenette
- Butte Creek Canyon / Sunset Views
- Grassy lawn, water feature & bridges



Paradise Lake

- Gazebo & Group Picnic Area
- Beautiful Lake & Forest Views

WEDDINGS ON THE RIDGE

[READ MORE »](#)

[\(/weddings-on-the-ridge\)](/weddings-on-the-ridge)



FACILITY RENTALS & RESERVATIONS

[Online Reservations click here \(Picnic Areas only\)](#)

[READ MORE »](#)

[\(/facility-rentals-reservations\)](/facility-rentals-reservations)

COPYRIGHT © 2023 PARADISE RECREATION & PARK DISTRICT
6626 SKYWAY, PARADISE CA 95969
TELEPHONE (530) 872-6393

[PHOTO RIGHTS \(/PHOTO-RIGHTS\)](#)

[PRIVACY POLICY \(/PRIVACY-POLICY\)](#)

[TRANSPARENCY \(TRANSPARENCY.HTML\)](#)

POWERED BY STREAMLINE ([HTTP://WWW.GETSTREAMLINE.COM/](http://www.getstreamline.com/)) | [SIGN IN](#)

([HTTPS://WWW.PARADISEPRPD.COM/USERS/SIGN_IN?DESTINATION=%2FPARKS-FACILITIES](https://www.paradisepprd.com/users/sign_in?destination=%2FPARKS-FACILITIES))

This site uses cookies to improve user experience and functionality. Please take a moment to review the [Cookie Policy \(/Pages/CookiePolicy\)](#). By continuing to use the site, you accept the terms of the policy.



Acknowledge

Traffic

Clark Rd & Armstrong Pl (ID: 601)

There are no upcoming buses for this stop.

[VIEW SCHEDULE \(/SCHEDULE?STOPCODE=601&ROUTENUMBER=40&DIRECTIONNAME=IN\)](#)

(https://maps.google.com/maps?ll=39.780935,-121.591432&z=15&hl=en-US&gl=US&mapclient=apiv3) Map data © 2023 200 m

Routes

project will likely be local-serving. Generally, however, retail development including stores larger than 50,000 square feet might be considered regional-serving, and so lead agencies should undertake an analysis to determine whether the project might increase or decrease VMT.

Mixed-Use Projects

Lead agencies can evaluate each component of a mixed-use project independently and apply the significance threshold for each project type included (e.g., residential and retail). Alternatively, a lead agency may consider only the project's dominant use. In the analysis of each use, a project should take credit for internal capture. Combining different land uses and applying one threshold to those land uses may result in an inaccurate impact assessment.

Other Project Types

Of land use projects, residential, office, and retail projects tend to have the greatest influence on VMT. For that reason, OPR recommends the quantified thresholds described above for purposes of analysis and mitigation. Lead agencies, using more location-specific information, may develop their own more specific thresholds, which may include other land use types. In developing thresholds for other project types, or thresholds different from those recommended here, lead agencies should consider the purposes described in section 21099 of the Public Resources Code and regulations in the CEQA Guidelines on the development of thresholds of significance (e.g., CEQA Guidelines, § 15064.7).

Strategies and projects that decrease local VMT but increase total VMT should be avoided. Agencies should consider whether their actions encourage development in a less travel-efficient location by limiting development in travel-efficient locations.

Redevelopment Projects

Where a project replaces existing VMT-generating land uses, if the replacement leads to a net overall decrease in VMT, the project would lead to a less-than-significant transportation impact. If the project leads to a net overall increase in VMT, then the thresholds described above should apply.

If a residential or office project leads to a net increase in VMT, then the project's VMT per capita (residential) or per employee (office) should be compared to thresholds recommended above. Per capita and per employee VMT are efficiency metrics, and, as such, apply only to the existing project without regard to the VMT generated by the previously existing land use.

If the project leads to a net increase in provision of locally-serving retail, transportation impacts from the retail portion of the development should be presumed to be less than significant. If the project consists of regionally-serving retail, and increases overall VMT compared to with existing uses, then the project would lead to a significant transportation impact.

RTP-SCS Consistency (All Land Use Projects)

Section 15125, subdivision (d), of the CEQA Guidelines provides that lead agencies should analyze impacts resulting from inconsistencies with regional plans, including regional transportation plans. For this reason, if a project is inconsistent with the Regional Transportation Plan and Sustainable Communities Strategy (RTP/SCS), the lead agency should evaluate whether that inconsistency indicates a significant impact on transportation.

3. Recommendations Regarding Land Use Plans

As with projects, agencies should analyze VMT outcomes of land use plans over the full area over which the plan may substantively affect travel patterns, including beyond the boundary of the plan or jurisdiction's geography. Analysis of specific plans may employ the same thresholds described above for projects. A general plan, area plan, or community plan may have a significant impact on transportation if it is not consistent with the relevant RTP-SCS.

Thresholds for plans in non-MPO areas may be determined on a case-by-case basis.

4. Other Considerations

Rural Projects Outside of MPOs

In rural areas of non-MPO counties (i.e., areas not near established or incorporated cities or towns), fewer options may be available for reducing VMT, and significance thresholds may be best determined on a case-by-case basis. Note, however, that clustered small towns and small town main streets may have substantial VMT benefits compared to isolated rural development, similar to the transit oriented development described above.

Impacts to Transit

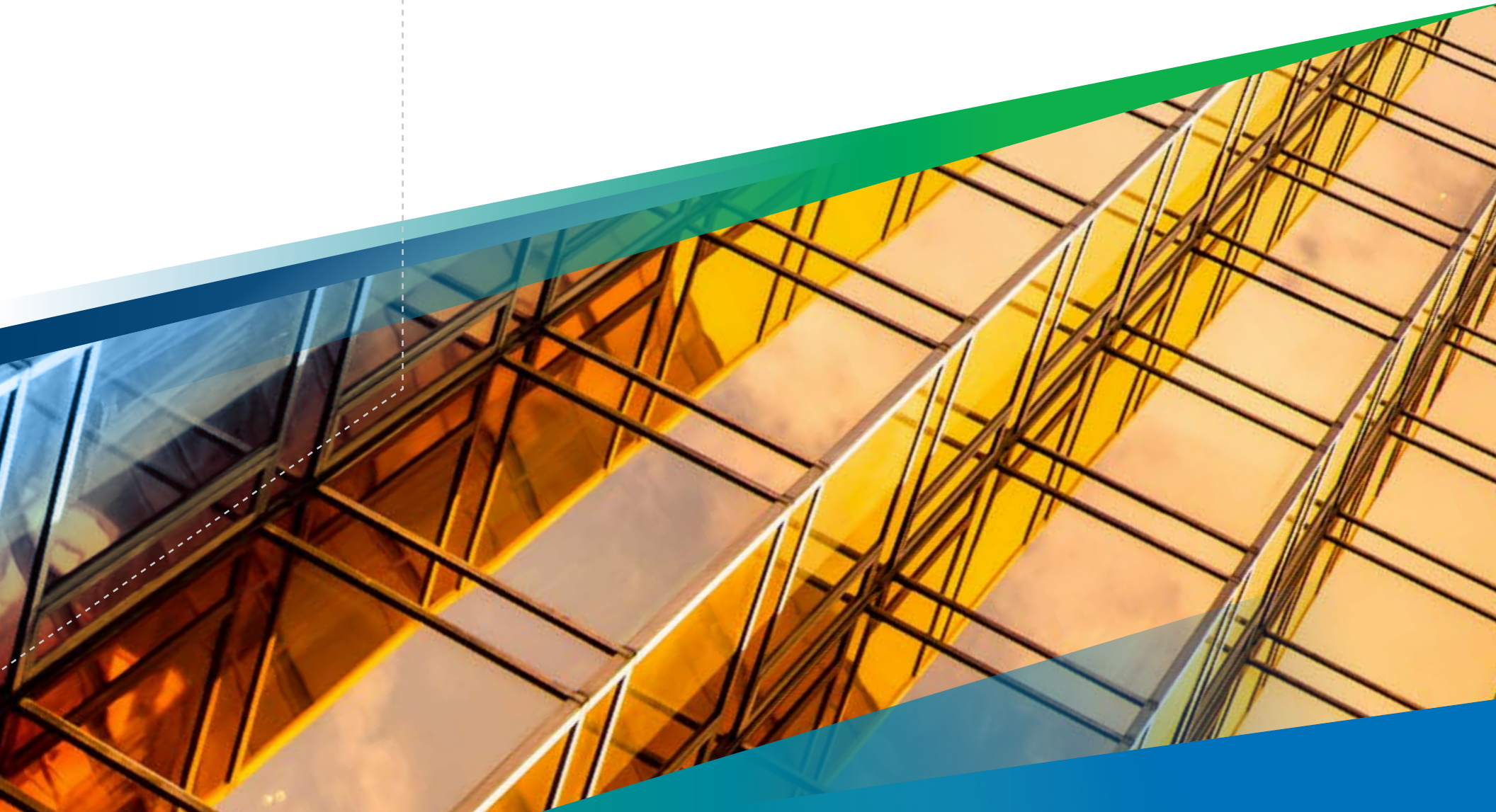
Because criteria for determining the significance of transportation impacts must promote "the development of multimodal transportation networks" pursuant to Public Resources Code section 21099, subd. (b)(1), lead agencies should consider project impacts to transit systems and bicycle and pedestrian networks. For example, a project that blocks access to a transit stop or blocks a transit route itself may interfere with transit functions. Lead agencies should consult with transit agencies as early as possible in the development process, particularly for projects that are located within one half mile of transit stops.

When evaluating impacts to multimodal transportation networks, lead agencies generally should not treat the addition of new transit users as an adverse impact. An infill development may add riders to transit systems and the additional boarding and alighting may slow transit vehicles, but it also adds



2022

BUILDING ENERGY EFFICIENCY STANDARDS SUMMARY



Executive Summary

The California Energy Commission (CEC) is the state's primary energy policy and planning agency with a mission to lead the state to a 100 percent clean energy future. The CEC develops policy to reduce energy usage and costs, limit the environmental impacts of energy generation and use, and ensure a safe, resilient, and reliable supply of energy.

What Does the CEC Have to Do With the Building Code?

Homes and businesses use nearly 70 percent of California's electricity and are responsible for a quarter of California's greenhouse gas (GHG) emissions. As California's energy policy agency, the CEC was mandated by the Warren-Alquist Act to periodically update and adopt building standards to increase energy efficiency of buildings and reduce GHGs. Part 6 of Title 24 implemented this mandate so that every three years the CEC presents Building Energy Efficiency Standards (Energy Code) updates for new construction and renovations to existing buildings.

After the CEC adopts these standards, they are submitted to the California Building Standards Commission for approval and inclusion with other changes to the building code. The Energy Code is designed to be cost-effective so that implementation is affordable while helping California manage energy demand and advance the state's climate and clean air goals.

HOMES AND BUSINESSES USE NEARLY 70 PERCENT OF CALIFORNIA'S ELECTRICITY AND ARE RESPONSIBLE FOR A QUARTER OF CALIFORNIA'S GREENHOUSE GAS (GHG) EMISSIONS.



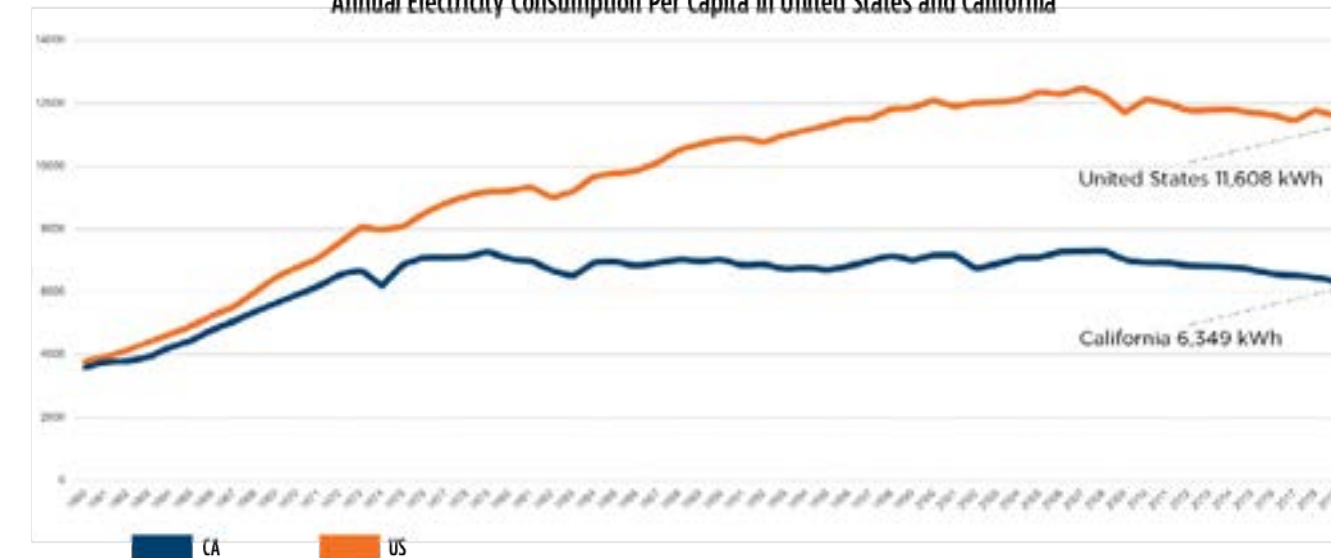
How Do Standards Affect Me?

The standards help everyone! As standards require upgrades such as better insulation and more effective climate control in buildings, the increases in energy efficiency reduce utility bills. This also improves comfort inside buildings. The standards increase the market value of properties by making them more affordable to operate. They reduce GHGs by using less energy from fossil fuel-burning power plants that emit harmful smog-forming pollutants and climate-changing gases. Some of the

water-saving measures in the standards lead to more efficient appliances and building fixtures that buoy California's water supply and save energy by using and moving less water.

Thanks in part to California's efficiency standards, the state's per capita energy use has stayed nearly flat since the early 1970s, even as the state's economy grew by 80 percent.

Annual Electricity Consumption Per Capita in United States and California



CALIFORNIANS USE 31 PERCENT LESS ENERGY COMPARED TO THE AVERAGE AMERICAN



WHAT'S NEW FOR 2022?

The proposed 2022 Energy Code update focuses on four key areas in new construction of homes and businesses:

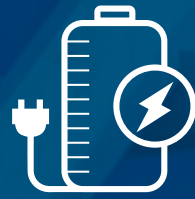
- Encouraging electric heat pump technology and use
- Establishing electric-ready requirements when natural gas is installed
- Expanding solar photovoltaic (PV) system and battery storage standards
- Strengthening ventilation standards to improve indoor air quality



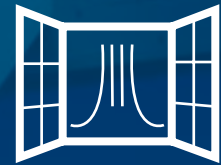
2022 Energy Code: Better for the Environment and You

Heat pumps use less energy and produce fewer emissions than traditional HVACs and water heaters.

Electric-ready building sets up owners to use cleaner electric heating, cooking, and electric vehicle (EV) charging when they're ready to invest in those technologies.



Using battery storage allows onsite energy to be available when needed and reduces the grid's reliance on fossil fuel power plants.



Better ventilation can reduce illness from poor air quality and reduce disease transmission.

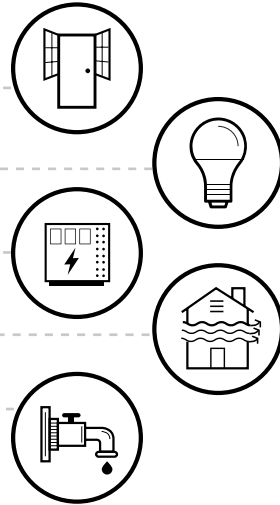


The Energy Code in Action

Since 1978, energy standards have supported California's long-term strategy to meet energy demand, conserve resources, and act as an environmental steward. All building standards under consideration must be cost-effective and technically feasible to be adopted.

The Energy Code governs:

- Window and door materials
- Lighting
- Electrical panels
- Insulation
- Faucets
- And more



**40 YEARS
OF ENERGY EFFICIENCY
STANDARDS FOR
BUILDINGS AND
APPLIANCES HAVE
SAVED CALIFORNIANS
MORE THAN
\$100 BILLION**

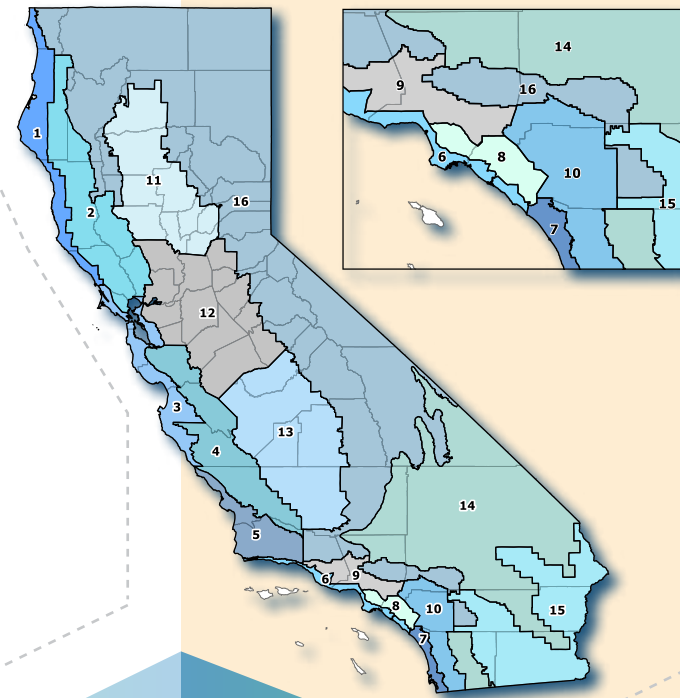
These requirements vary between home and business buildings, as well as among climate zones in which they are implemented. The Energy Code applies to new construction and renovations to existing buildings.

The Energy Code has not only revolutionized building construction in California, but influenced efficiency goals and practices in countries around the globe. Every update helps the state meet its energy and environmental goals while directly benefiting building owners and occupants through more comfortable buildings that save money on energy costs and, not incidentally, increase market value.

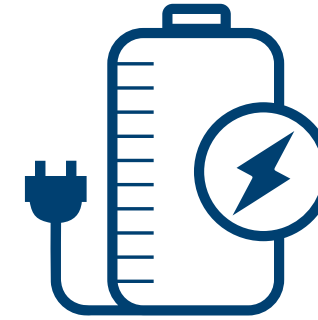
With climate change impacts accelerating, there is an even greater need for homes that are comfortable, efficient, and resilient. Each updated code guides the construction of buildings to keep energy use down, better withstand extreme weather, and reduce climate and air pollution.

It's an Area We Call the "Climate Zone"

California is so vast and varied in landscape and weather that there is no one building design that can be the most energy-efficient everywhere. To accommodate those differences, the state is divided into 16 climate zones. Each climate zone represents a geographic area based on such factors as temperature, weather, and typical energy use. Each zone has an assigned energy budget, based on the maximum amount of energy that a building (or portion of a building) can be designed to consume per year. Minimum efficiency requirements are created from that energy budget.



The Energy-Efficient Revolution Continues



The CEC was born of the energy crisis that affected the United States in the early 1970s. To address energy demand that outstripped supply, California created the CEC to design energy policy that reduced use through better efficiencies. The core focus of the building standards has been efficiency, but the 2019 Energy Code ventured into onsite generation by requiring solar PV on new homes, providing significant GHG savings. The 2022 update builds off this progress with expanded solar standards and the move to onsite energy storage that will help Californians save on utility bills while bolstering the grid.

UPDATES FOR 2022

New and more efficient technologies are being developed all the time, with many supported by funding from state programs that bring these energy innovations to markets and consumers. The 2022 Energy Code builds on California's technology innovations, encouraging inclusion of market-ready electric products in new construction, such as heat pumps for climate control and water heating.

The update also requires all new homes be electric-ready. That means buildings with gas stoves have the electrical panels and wiring to support a switch to electric stoves. Further advancements and cost reductions will continue to expand electric options for heating, cooking, laundering, and EV charging to meet all Californians' needs. These are crucial steps in the state's progress toward 100 percent clean electricity and carbon neutrality by midcentury, or earlier.

Proposed Standards

The 2022 Energy Code update revises energy efficiency standards for newly constructed buildings, as well as additions and alterations to existing buildings. The CEC engaged in a lengthy public process leading up to adoption of the proposed 2022 standards.

2022 Energy Code Benefits



Increases on-site renewable energy generation from solar.



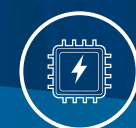
Increases electric load flexibility to support grid reliability.



Reduces emissions from newly constructed buildings.



Reduces air pollution for improved public health.



Encourages adoption of environmentally beneficial efficient electric technologies.

How Does the 2022 Energy Code Affect Homes?

- Establishes energy budgets based on efficient heat pumps for space or water heating to encourage builders to install heat pumps over gas-fueled HVAC units.
- Requires homes to be electric-ready, with dedicated 240-volt outlets and space (with plumbing for water heaters) so electric appliances can eventually replace installed gas appliances.
- Increases minimum kitchen ventilation requirements so that fans over cooktops have higher airflow or capture efficiency to better exhaust pollution from gas cooking and improve indoor air quality.
- Allows exceptions to existing solar PV standards when roof area is not available (such as for smaller homes).

How Does It Affect Businesses?

- Establishes combined solar PV and battery standards for select businesses. Systems are sized to maximize onsite use of solar energy and avoid electricity demand during times when the grid must use gas-powered plants.
- Establishes new efficiency standards for commercial greenhouses (primarily cannabis growing).
- Improves efficiency standards for building envelope, various internal systems, and grid integration equipment, such as demand-responsive controls to buoy grid stability.

**OVER 30 YEARS,
THE 2022 ENERGY CODE
IS ESTIMATED TO PROVIDE
\$1.5 BILLION
IN CONSUMER BENEFITS
AND REDUCE 10
MILLION METRIC
TONS OF GHGS, EQUIVALENT
TO TAKING NEARLY 2.2
MILLION CARS OFF
THE ROAD FOR A YEAR.**

Breaking Down the Updates

Heat Pumps: The New Standard

Heat pumps are an electric technology for water and space heating that increases efficiency, reduces GHGs, and enables load flexibility. Current California market share is less than 6 percent in new home construction.

Standards include:

- Single-family homes — heat pump water or space standard.
- Multifamily homes such as apartment buildings — heat pump space heating standard.
- Businesses — heat pumps standard for schools, offices, banks, libraries, retail, grocery.

New Homes to Be Electric-Ready

The standards require single-family homes to be electric-ready, including:

- Electrical circuits for space heating, water heating, cooking/ovens, and clothes dryers.
- Electrical panel, branch circuits, and transfer switch for battery storage.
- Dedicated circuits and panels to easily convert from natural gas to electric in the future.

Solar and Storage Use Expanded

The 2022 Energy Code extends solar and introduces battery storage standards to the following building types:

- High-rise multifamily (apartments and condos)
- Hotel-motel
- Tenant space
- Office, medical office, and clinics
- Retail and grocery stores
- Restaurants
- Schools
- Civic (theaters, auditoriums, and convention centers)



The Challenge of Existing Buildings

In addition to new buildings, the standards apply to substantial upgrades to existing homes and businesses.



At least 50 percent of single-family homes and nearly 60 percent of California's apartment complexes (about 14 million total residences) were built before the state's first energy standards.

Updating older buildings is critical to achieving the state's climate and clean energy goals.

Communities Ahead of the Curve

California is already an international leader in energy efficiency and clean energy. However, after each update, many cities and counties choose to adopt standards that exceed the state minimum. The California Green Building Standards ("CALGreen" or Part 11 of Title 24) include voluntary reach standards, which offer model building code language for local governments that wish to go beyond the minimum statewide requirements.

Reach standards are an important tool for jurisdictions to meet their own climate goals. It allows them to decide on standards that meet their needs and interests, so long as they also meet or exceed state code requirements.

Historically, such local ordinances have served as a bellwether for statewide standards. They provide a place to test market readiness for new technologies and regulations, drive innovation of new technologies and efficiencies, and bring down the cost of efficient building technologies by creating an installed user base that encourages scale manufacturing.

What's Next?

In developing the standards over the past two years, the CEC met with more than 50 industry stakeholder groups, and 43 public workshops were held.

Under the rulemaking, the standards are vetted over a 45- to 60-day period before they go to the CEC for adoption. Then they are submitted to the California Building Standards Commission for approval as one part of the whole building code. Builders, contractors, and other stakeholders have one year until implementation to gear up for the change.

2022 Energy Code Update Timeline

California Energy Commission Adoption
California Building Standards Commission Approval Hearing
Effective Date

August 2021
December 2021
January 1, 2023

For Further Reading

- The Rulemaking Process: bit.ly/3fPO2H8
- 2019 Building Energy Efficiency Standards Frequently Asked Questions: bit.ly/3fJHOs8
- 2019 California Energy Efficiency Action Plan: (overall webpage) bit.ly/3s4fYMc
- California Building Decarbonization Assessment: bit.ly/3iwpuEM



Governor
Gavin Newsom

Chair
David Hochschild

Executive Director
Drew Bohan

Commissioners
Karen Douglas, J.D.
Siva Gunda
J. Andrew McAllister, Ph.D.
Patricia Monahan

August 2021

energy.ca.gov | facebook.com/CAEnergy | twitter.com/CAEnergy | instagram.com/CAEnergy